

PLANNING & ZONING AGENDA ITEM #7

Planning & Zoning Meeting date: 5/14/13

SUBJECT: Approval of a Preliminary Plat for Prairie Crossing Plat I

SYNOPSIS: The subject property is proposed to be developed into 72 single family residential lots, 1 multi-family residential lot, a commercial office property, and a series of outlots planned for a retail center and regional detention. The total project area encompasses approximately 123 acres. The applicant recently presented a zoning request identifying this intended development pattern to the Planning and Zoning Commission in February of 2013. The applicant has identified a possible 3 phase build-out of the property.

STAFF RECOMMENDATION: Staff would recommend approval of the preliminary plat.

PROPOSED MOTION: Motion to Approve the Preliminary Plat for Prairie Crossing Plat I

ATTACHMENTS:

SUPPORTING DOCUMENTS:

- I. Staff Report
- II. Comment Response Letter, dated 5/10/13
- III. City Comment Letter, dated 5/7/2013
- IV. Preliminary Plat

Prepared by: Ben Landhauser, City Planner



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Ben Landhauser

RE: Prairie Crossing Plat 1 – Preliminary Plat

DATE: May 14, 2013

GENERAL INFORMATION:

Applicant: Alice’s, LC | C/O Knapp Properties.

Requested Action Preliminary Plat Approval

Location and Size: Property is generally located north of E. Hickman Road, west of NE Alice’s Road containing a total of approximately 122.67 acres more or less.

LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant – Undeveloped	Neighborhood Residential / Community Village	R-2/ R-3 /C-1B/C-4
North	Vacant – Undeveloped/Agricultural	Neighborhood Residential	R-4/R-3
South	Vacant – Undeveloped/Agricultural	Community Village	C-1B
East	Vacant – Undeveloped/ Team Technologies	Community Village /	C-4
West	Vacant – Undeveloped / Pointe of Grace Church	Neighborhood Residential	C-1

BACKGROUND:

The subject property is proposed to be developed into 72 single family residential lots, 1 multi-family residential lot, a commercial office property, and a series of outlots planned for a retail center and regional detention. The total project area encompasses approximately 123 acres. The applicant recently presented a zoning request identifying this intended development pattern to the Planning and Zoning Commission in February of 2013. The applicant has identified a possible 3 phase build-out of the property.

There are various outlots proposed as part of the preliminary plat. Outlot Z, which includes approximately 4.94 acres, is planned to be dedicated to the City of Waukee in order to satisfy the parkland dedication requirements for the entire residential buildout of the plat area. Outlots W and V are planned regional detention basins which accommodate all of the planned single family residential, a portion of the multi-family property, the existing Hy-Vee and West Bank sites as well as a portion of Outlot X which is intended to be developed into a large commercial retail center. Outlot Y is planned to be developed into primarily single family residential lots consistent with the 72 shown as part of this preliminary plat with a portion of Outlot Y, east of NE Frontier Avenue to be another commercial office lot and detention.

STREETS:

NE Westgate Drive is planned to be extended from Hickman Road, north through the plat. Westgate Drive is a major collector street and is sized as an 80 foot right of way adjacent to the commercial retail center and transitions into a 70 foot right of way as it winds through the multi-family and single family residential lots. A new street, NE Horizon Drive will be extended from NE Alice's Road to NE Westgate Drive as a 70 foot right of way and will function as a minor collector with the primary access to the multi-family and commercial office lots being from this thoroughfare. NE Frontier Avenue is planned to extend north from NE Horizon Drive as a 60 foot right of way and will serve as the zoning district boundary between the single family residential and commercial office uses. NE Bowman Drive and NE Meridian Drive are planned local streets (60 foot right of way) extending east/west between NE Frontier Avenue and NE Westgate Drive, with NE Bowman Drive extending to the west plat boundary for future extension and connection to the existing portion of the street at the NE Dartmoor Drive intersection. NE Bowman Drive will also serve as the primary access to the parkland being dedicated as part of this plat.

A paved hammerhead turnaround is proposed to be constructed within Outlot Z in lieu of the temporary gravel turnaround typically installed at the end of a street on the adjoining property. This location will be further discussed by staff and the applicant as this paved access would also be used as the approach into the park for a parking lot in the future.

With the extension of Westgate Drive from Hickman Road as part of the plat improvements, the applicant will be installing the left hand turn on Hickman Road for east bound traffic turning north onto NE Westgate Drive. The Westgate Drive/Hickman Road intersection is the planned street light location as agreed upon with the Iowa Department of Transportation and the applicant will be providing a bond equal to 1/4 of the estimated costs associated with the signalization.

The applicant will be providing a petition, contract, and waiver related to their responsible cost share in the future improvements to NE Alice's Road adjacent to Outlots V and W. A similar agreement was signed when Team Technologies developed their property. Those improvements to Alice's Road are anticipated to be at a later date and will be coordinated with the City of Clive who administers the east side of Alice's Road in this location.

EASEMENTS:

Several easements are proposed within the plat based upon the location of proposed utilities. A few storm water detention easements will be established as part of the initial phase of the plat to accommodate the needed storm water management of the development.

Easements related to landscape buffers required by the subdivision ordinance for the separation of differing land uses or property restrictions have been identified on the preliminary plat. A landscape buffer will be provided on the south side of Lots 58 – 72 as a land use buffer between the single family and multi-family uses planned for either side of NE Horizon Drive. A landscape buffer will also be provided along Lot 1 and Lot 9 adjacent to Point of Grace Church's property as the church was in place prior to this residential zoning district being created which places the requirement of the buffer on the single family residential property. These two buffers through the single family residential properties would be installed at the time of public improvements for Prairie Crossing Plat I. Landscape buffers between the commercial office lot (Lot 74) and single family residential lots along NE Frontier Avenue would be installed at the time Lot 74 is developed. Likewise, a landscape buffer would be required between the multi-family property (Lot 73) and the planned commercial retail center; which the applicant is proposing to address on the multi-family property when that property is fully developed.

UTILITIES:

A 12 inch water main will be extended to the north within the NE Westgate Drive right of way as a mid point redundancy main to the existing/planned 12 inch water mains on Hickman Road, Alice's Road, and Warrior Lane, and Douglas Parkway. 8 inch water mains will be extended through the remainder of the plat within the other dedicated right of ways.

Sanitary sewer is provided by 2 primary mains. An 8 inch sanitary sewer will be extended from NE Alice's Road along the NE Horizon Drive right of way to serve all of the single family residential properties as well as the commercial office property. An 8 inch sanitary sewer main will also be extended north from Hickman Road within the NE Westgate Drive right of way to serve a large portion of the multi-family lot and the majority of Outlot X.

Storm water from the plat will be directed primarily to Outlots W and V which will be constructed as regional detention basins. A large detention pond will also be constructed within Lot 73 (multi-family lot) to accommodate the storm water from the portion of NE Westgate Drive, south of the pond as well as a good portion of the multi-family property and west portion of Outlot X. At the time of build out, another detention pond would be built within Outlot Y to accommodate that lot's detention requirements.

PARKLAND DEDICATION:

Based upon the number of lots and residential uses within the subdivision, the applicant is required to dedicate approximately 5 acres of parkland. This number is based on the assumed 103 total single family lots between the 72 shown on this preliminary plat and the remaining 31 that would be created within Outlot Y which requires 1.854 acres of land dedication. The 19.86 acre multi-family property would require approximately 3.10 acres of land dedication if we assume that the property is developed at 17 units per acre and around 2.5 acres are removed for detention purposes. The applicant currently proposes to dedicate 4.94 acres to the city to satisfy the anticipated dedication requirements of both the single family and multi-family properties.

Also included as part of the parkland dedication requirements, the applicant is required to make connections from planned trails to the park. A trail exists on the north side of NE Bowman Drive at the NE Dartmoor Drive intersection and staff anticipates seeing this trail extended to the planned park with the extension of

Bowman Drive. With this in mind, the applicant will install a 10 foot trail along the north side of NE Bowman Drive adjacent to the park. As the park is developed, this trail would wind through the park and over to a future east/west trail connecting to NE Alice's Road through the property north of this plat. Staff will have a diagram available showing these planned connections at the Planning and Zoning Commission meeting.

STAFF RECOMMENDATION

At this time staff feels comfortable with the preliminary plat and would recommend approval.

CITY OF WAUKEE

Ben Landhauser
City Planner



Development Services Department

230 W. Hickman Road

Waukeee, IA 50263

Phone: (515) 978-9533

Fax: (515) 987-1845

May 7, 2013

Civil Engineering Consultants, Inc.

Attn: Jerry Oliver

2400 86th Street, Unit 12

Des Moines, Iowa 50322

RE: Prairie Crossing Plat I – Preliminary Plat

Dear Mr. Oliver,

Per your request, staff and Veenstra and Kimm have reviewed the proposed Prairie Crossing Plat I Preliminary Plat containing approximately 122.67 acres of ground located at the northwest corner of the intersection of Hickman Road and Alice's Road. Based upon our joint review we have the following comments to offer regarding the preliminary plat:

1. ~~Adjoining plats and property owners including the West Bank site should be indicated on the preliminary plat.~~
2. ~~Staff questions if it is the intent to Plat the R-3 ground at this time or to plat it as an Outlot for a future phase as indicated in the zoning table information.~~
3. ~~The Zoning table included in the narrative should be revised to reflect the proposed lot callouts on the plan. **Outlot Z should be included in the lots identified under the R-2 zoning classification. This has been revised.**~~
4. ~~A Vicinity Sketch of the plat and the surrounding area should be included on the Preliminary Plat.~~
5. ~~The Preliminary Plat narrative references a Phasing Plan. Please identify on the plan the proposed phases. **Staff would recommend that Phase I be revised to include Lots 1 – 12, Lots 44 – 57, Lots 58 – 73, Outlot V, and Outlot Z. This has been revised.**~~
6. ~~Outlot Z should be labeled as parkland to be dedicated to the City.~~
7. ~~Staff questions the intended use of proposed Outlot U.~~
8. ~~The existing and proposed public and private streets and easements should be shown on the preliminary plat.~~
9. ~~Westgate Drive will function as a major collector having a minimum 31 foot wide roadway and an 80 foot wide right-of-way. **The east-west street between NE Westgate Drive and Alice's Road will function as a minor collector having a 31 foot wide roadway and a 70 foot wide right-of-way which should be reflected on the preliminary plat.** The remaining local streets are through streets requiring 29 feet of roadway and 60 foot wide right-of-ways. **The right-of-way has been increased to 70 feet.**~~
10. ~~The right of way should be indicated for NE Westgate Drive along the westerly properties located outside of the plat. Access points to the westerly properties per the concept plan should be indicated on the preliminary plat.~~

11. ~~Provide contours for the proposed streets.~~
12. ~~Staff questions what is intended for the proposed medians at the intersection with Hickman Road and Alice's Road. Staff would recommend landscaping be provided within these medians which will be maintained by the City upon dedication of the plat. Staff would note that as part of the review of the construction drawings, a landscaping plan and planting schedule will need to be provided to identify the plantings proposed within the median. We understand.~~
13. **The applicant should be aware that the intersection of NE Westgate Drive and Hickman Road is intended to be a signalized intersection in the future. The applicant will be responsible for bonding for ¼ of the cost of this anticipated signal at the time of final plat. Westbank, the owner of the property to the west will also be responsible for ¼ the cost of the anticipated signal. We understand.**
14. ~~Street names should be indicated on the preliminary plat and provided for review. Street Lot C and D should be NE Bowman Drive which is the continuation of an existing street to the west. There are no other existing street names that need to be continued for Street Lot B, E or F. Staff would request an alternative name be proposed for NE Sunrise Drive as staff would prefer to not continue this street name which exists further west as it is not a through street. Staff would suggest the use of NE Horizon Drive, but would be open to the applicant selecting a different name. Additionally, staff would request that the name Oak Brook be changed as Waukee currently has 2 street names that use Oak (Oakview and Oakleaf). Staff would suggest the use of NE Meridian Drive as an option. The names have been changed to protect the innocent.~~
15. ~~Staff would suggest a 10 foot trail be constructed along Westgate Drive from the existing trail along Hickman Road with a trail connection extending into the proposed park along NE Bowman Drive (Street Lot D). After further discussing how the parkland would be accessed in the future from the planned trail system surrounding the development, staff would request a 10 foot trail be installed adjacent to Outlot Z (parkland) with a transition panel(s) provided from the 10 foot trail into the future 5 foot sidewalk that would be adjacent to Lot 11. A map has been attached for your reference identifying the preferred layout of the park relative to trail access into and out of the park. A hammerhead turnaround and sidewalk have been shown.~~
16. ~~The sidewalks within the plat are required to be 5 feet in width consistent with the current PROWAG and ADA requirements.~~
17. ~~A hydrant coverage map should be provided with the preliminary plat. Based upon the hydrant coverage map, additional hydrants should be identified as part of the preliminary plat to verify adequate coverage of all lots within the subdivision and a maximum hydrant spacing of 300 feet. More hydrants have been added and coverage map updated~~
18. **The sanitary sewer and water main connections proposed along NE Westgate Drive out to Hickman Road should be reflected on the preliminary plat. The location of where the sanitary sewer connection is made to the main within the Hickman Road right of way should be identified on the plat. This connection is now shown.**
19. **Utilities should be extended to allow all services to be installed to the front of the lot. For example, storm and sanitary adjacent to Lots 19 and 42. There are several locations where a manhole is proposed at a lot line which would not allow for services to be installed to the center of the lot(s). Additionally, the manhole proposed between Lots 16 and 17 should be extended further to the north to be in line with the north property line of Lot 17. Utilities have been extended.**

20. **The proposed detention basins, including the 100 year flood limits and elevations and overflows should be shown on the preliminary plat. The planned detention basins within Outlot W and Outlot V should be identified on the plat for clarity. Staff has attached the most recent version of the Hy-Vee site plan for reference of the improvement being completed as part of their site improvements around the proposed Outlot V. Additionally, a detention basin easement should be indicated on the preliminary plat related to the detention proposed on Lot 73. Conceptual detention and easements have been shown.**
21. **A stormwater management plan should be provided with the preliminary plat. Staff would request that the previous storm water management plan provided as part of the original development concept be updated to reflect the current development pattern as staff has concern with whether or not the planned detention (Outlot W, Outlot V, Lot 73) are adequate for all of the street water, retail development planned for Outlot X, and the proposed lots 1 – 74. If certain lots such as Lots 73 and Lot 74 will be responsible for providing their own detention outside of the Outlots and detention shown on Lot 73, that requirement should be indicated by note on the preliminary plat. Please address. See response #20 above.**
22. ~~Staff questions if any grading/berming is being completed as a part of this plat adjacent to the Team Technologies facility based upon the discussion that has occurred as a part of the rezoning process. Staff is aware of a plan provided by Hy-Vee that is believed to be agreed upon by Knapp Properties which would create a berm along the east property line of Lot 74 adjacent to Team's property utilizing excess dirt from Hy-Vee's site. Staff would like verification that this plan is still in the works or not going to happen. Please address. There is no certain plan at this point.~~
23. ~~Landscape buffers are required between differing zoning districts. A 25 foot landscape buffer is required between the R-2 and R-3 use, a 30 foot landscape buffer is required between the R-3 and C-1B use, a 30 foot landscape buffer is required between the R-3 and C-4 use and 30 foot buffer is required between the R-2 and C-4 use. Buffer locations should be indicated on the preliminary plat and a landscape buffer detail should be provided. A minimum of 1 overstory tree (8' deciduous), 2 evergreens (6') and 2 ornamentals (6' deciduous) are required for every 50 lineal feet of buffer required. A 25 foot landscape buffer should be provided across Lot 1 and a portion of Lot 9 adjacent to the Point of Grace Church as these are conflicting zoning districts requiring a buffer. The buffer is shown.~~
24. **Staff questions if any monument signage is proposed for the subdivision. The monument sign location is shown in Lot 1. No design at this point.**
25. **A temporary turnaround should be indicated at the west end of NE Bowman Drive. Alternatively, staff would be open to placing a turnaround on Outlot Z where the planned access to the park would be if the applicant does not believe an opportunity exists to create the temporary turnaround on the adjacent property to the west. Please contact staff to discuss the turnaround on Outlot Z if that is the preferred location to address the turnaround. See response to #15 above.**
26. **As part of the extension of NE Westgate Drive from Hickman Road, the applicant will be responsible for constructing the left hand turn within the Hickman Road right-of-way for east-bound Hickman traffic heading north onto Westgate Drive. As part of the construction drawing review, the applicant will need to receive a permit from IDOT related to any planned work within the Hickman Road right-of-way. The left turn lane is shown.**
27. **Also required as part of the development of the property adjacent to NE Alice's Road would be applicant's responsibility to sign a petition, contract, and waiver related to future improvements associated with the urban section on the west side of NE Alice's Road**

adjacent to Outlot W and Outlot V. The planned 10 foot trail was bonded for as part of The Crossing at Alice's Road Plat I. We understand.

- 28. The utility infrastructure extended to the Team Technologies site should be indicated on the preliminary plat on Sheet 3. Additionally, staff would prefer to have the current layout of the Team Technologies site included on Sheet 3 for reference. This has been added.**
- 29. The full extent of paving improvement made on NE Alice's Road as part of the development of Hy-Vee should be indicated on the preliminary plat for clarity. This has been added.**
- 30. The property on the east side of NE Alice's Road, north of the Wright Tree Service property should be identified as being in the City of Clive for clarity. This has been added.**

Revisions should be submitted by 5:00 PM, Tuesday, May 14th to keep on schedule for review of the preliminary plat by the Planning and Zoning Commission on May 28th and City Council on June 3rd. Should you have any questions or concerns on the above referenced comments, please feel free to contact myself or Brad Deets at 515-987-4522.

Sincerely,

Ben Landhauser
City Planner



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a detention basin easement should be indicated on the preliminary plat related to the detention proposed on Lot 73.

21. **A stormwater management plan should be provided with the preliminary plat. Staff would request that the previous storm water management plan provided as part of the original development concept be updated to reflect the current development pattern as staff has concern with whether or not the planned detention (Outlot W, Outlot V, Lot 73) are adequate for all of the street water, retail development planned for Outlot X, and the proposed lots 1 – 74. If certain lots such as Lots 73 and Lot 74 will be responsible for providing their own detention outside of the Outlots and detention shown on Lot 73, that requirement should be indicated by note on the preliminary plat. Please address.**
22. **Staff questions if any grading/berming is being completed as a part of this plat adjacent to the Team Technologies facility based upon the discussion that has occurred as a part of the rezoning process. Staff is aware of a plan provided by Hy-Vee that is believed to be agreed upon by Knapp Properties which would create a berm along the east property line of Lot 74 adjacent to Team's property utilizing excess dirt from Hy-Vee's site. Staff would like verification that this plan is still in the works or not going to happen. Please address.**
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27. **Also required as part of the development of the property adjacent to NE Alice's Road would be applicant's responsibility to sign a petition, contract, and waiver related to future improvements associated with the urban section on the west side of NE Alice's Road adjacent to Outlot W and Outlot V. The planned 10 foot trail was bonded for as part of The Crossing at Alice's Road Plat 1.**
28. **The utility infrastructure extended to the Team Technologies site should be indicated on the preliminary plat on Sheet 3. Additionally, staff would prefer to have the current layout of the Team Technologies site included on Sheet 3 for reference.**
29. **The full extent of paving improvement made on NE Alice's Road as part of the development of Hy-Vee should be indicated on the preliminary plat for clarity.**

30. The property on the east side of NE Alice's Road, north of the Wright Tree Service property should be identified as being in the City of Clive for clarity.

Revisions should be submitted by 5:00 PM, Tuesday, May 14th to keep on schedule for review of the preliminary plat by the Planning and Zoning Commission on May 28th and City Council on June 3rd. Should you have any questions or concerns on the above referenced comments, please feel free to contact myself or Brad Deets at 515-987-4522.

Sincerely,

Ben Landhauser
City Planner

PRELIMINARY PLAT
PRAIRIE CROSSING
PLAT 1
 WAUKEE, IOWA

FOR
 ALICES, L.C.
 C/O KNAPP PROPERTIES
 4444 WESTOWN PARKWAY, SUITE 200
 WEST DES MOINES, IOWA 50266

LEGAL DESCRIPTION
 ALL OF OUTLOT 'X', THE CROSSINGS AT ALICES ROAD PLAT 3, AN OFFICIAL PLAT
 RECORDED IN BOOK 2008, PAGE 1526 AT DALLAS COUNTY, IOWA.

ALL BEING IN AND FORMING A PART OF THE CITY OF WAUKEE,
 DALLAS COUNTY, IOWA.

AREA
 122.6607 ACRES

ZONING
 EXISTING - R-2 / LOTS 1 THRU 72 & OUTLOT 'Y'
 - R-3 / OUTLOT 'X'
 - C-4 / OUTLOT 'V'
 - C1-B / OUTLOT 'W'

BULK REGULATIONS
C1-B OUTLOT 'X'
 FRONT YARD SETBACK = 50 FEET
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 40 FEET / IF ADJACENT TO 'R' DISTRICT
 MAXIMUM HEIGHT = 50 FEET (SEE CODE)
 MAXIMUM STORIES = 3 STORIES

C4 LOT 74 & OUTLOTS 'V' & 'W'
 FRONT YARD SETBACK = 40 FEET
 SIDE YARD SETBACK = 0 FEET
 REAR YARD SETBACK = 25 FEET / IF ADJACENT TO 'R' DISTRICT OR R.O.M.
 MAXIMUM HEIGHT = 30 FEET
 MAXIMUM NUMBER = PRINCIPAL BUILDING - 4 STORIES & ACCESSORY BUILDING 1 STORY.

R-2 LOTS 1-74, OUTLOT 'Y' & OUTLOT 'Z'
 FRONT YARD SETBACK = 30 FEET
 SIDE YARD SETBACK = 7 FEET MINIMUM 15 FEET TOTAL
 REAR YARD SETBACK = 40 FEET / OTHER PRINCIPAL BUILDING
 MAXIMUM HEIGHT = 40 FEET PRINCIPAL BUILDING & 14 FEET ACCESSORY BUILDING.
 MAXIMUM NUMBER = PRINCIPAL BUILDING - 3 STORIES & ACCESSORY BUILDING 1 STORY.

R-3 LOT 73
 FRONT YARD SETBACK = 30 FEET
 SIDE YARD SETBACK = 7 FEET MINIMUM 15 FEET TOTAL
 REAR YARD SETBACK = 30 FEET / DWELLING
 MAXIMUM HEIGHT = 40 FEET / OTHER PRINCIPAL BUILDING
 MAXIMUM NUMBER = PRINCIPAL BUILDING - 3 STORIES & ACCESSORY BUILDING 1 STORY.

PHASING SCHEDULE
 PHASE ONE - SUMMER 2013 LOTS 1-12, LOTS 44-57, LOTS 58-73, OUTLOT 'V' & OUTLOT 'Z'
 PHASE TWO - SUMMER 2014 LOTS 10-13, LOT 74 & OUTLOT 'W'
 PHASE THREE - SUMMER 2014 OUTLOT 'Y'
 UNKNOWN OUTLOT 'X'

UTILITIES
 SANITARY SEWER - CITY OF WAUKEE PUBLIC SANITARY SEWER
 WATER MAIN - CITY OF WAUKEE PUBLIC WATER MAIN

CERTIFICATIONS

HERESY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

JERRY P. OLIVER, IOWA REG. NO. 7844 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014
 PAGES OR SHEETS COVERED BY THIS SEAL: This sheet only

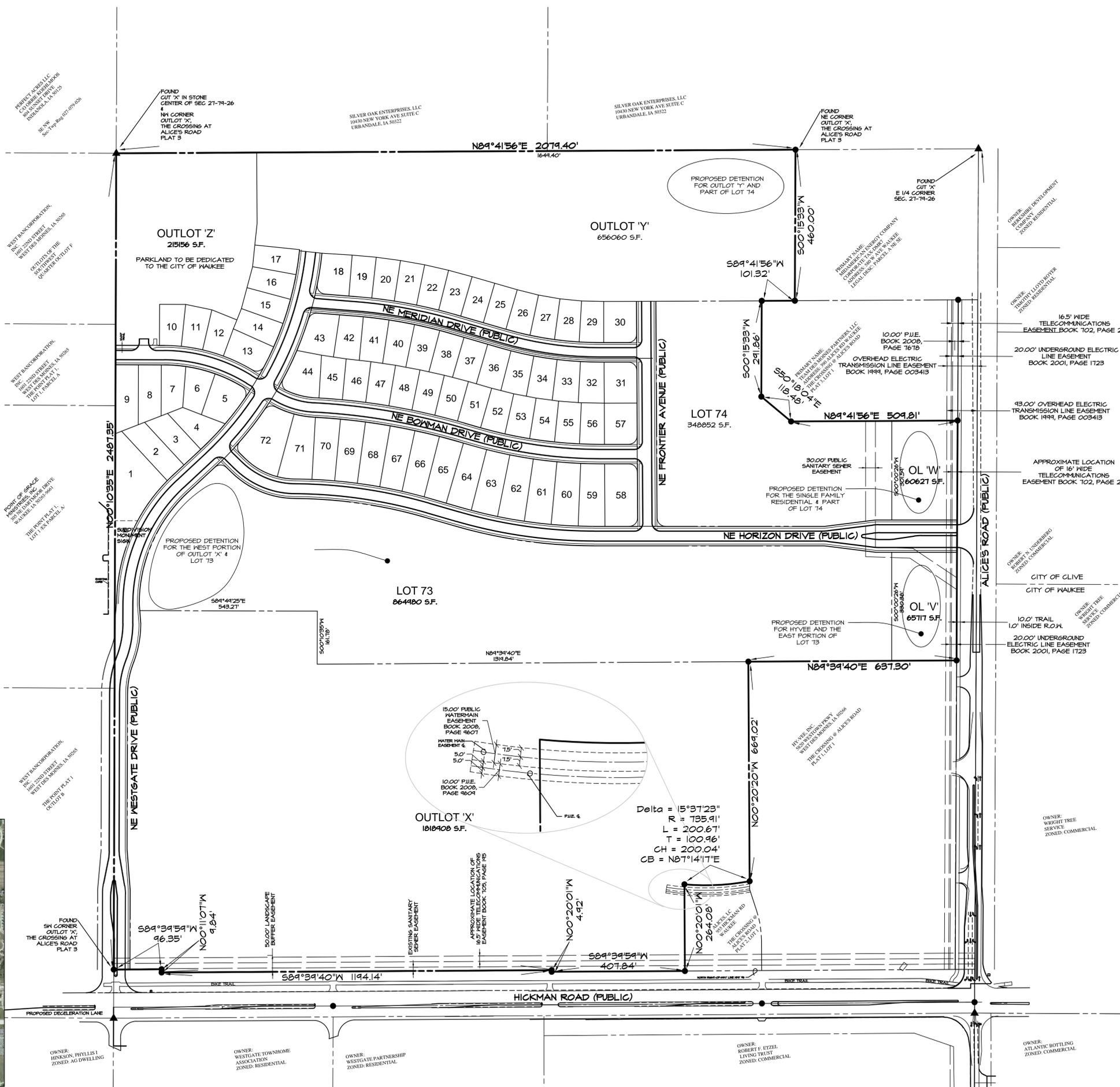
HERESY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JERRY P. OLIVER, IOWA REG. NO. 7844 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014
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LEGEND

EXISTING/PROPOSED

- PLAT BOUNDARY
- ST" SANITARY SEWER & SIZE
- SAN" SANITARY SEWER & SIZE
- W" WATER MAIN & SIZE
- MANHOLE
- STORM INTAKE
- ▽ FIRE HYDRANT
- ▽ VALVE
- △ F.E.S.
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE



PRELIMINARY PLAT
PRAIRIE CROSSING PLAT 1
 WAUKEE, IOWA

CEC
 Civil Engineering Consultants, Inc.

Scale: 1"=150'

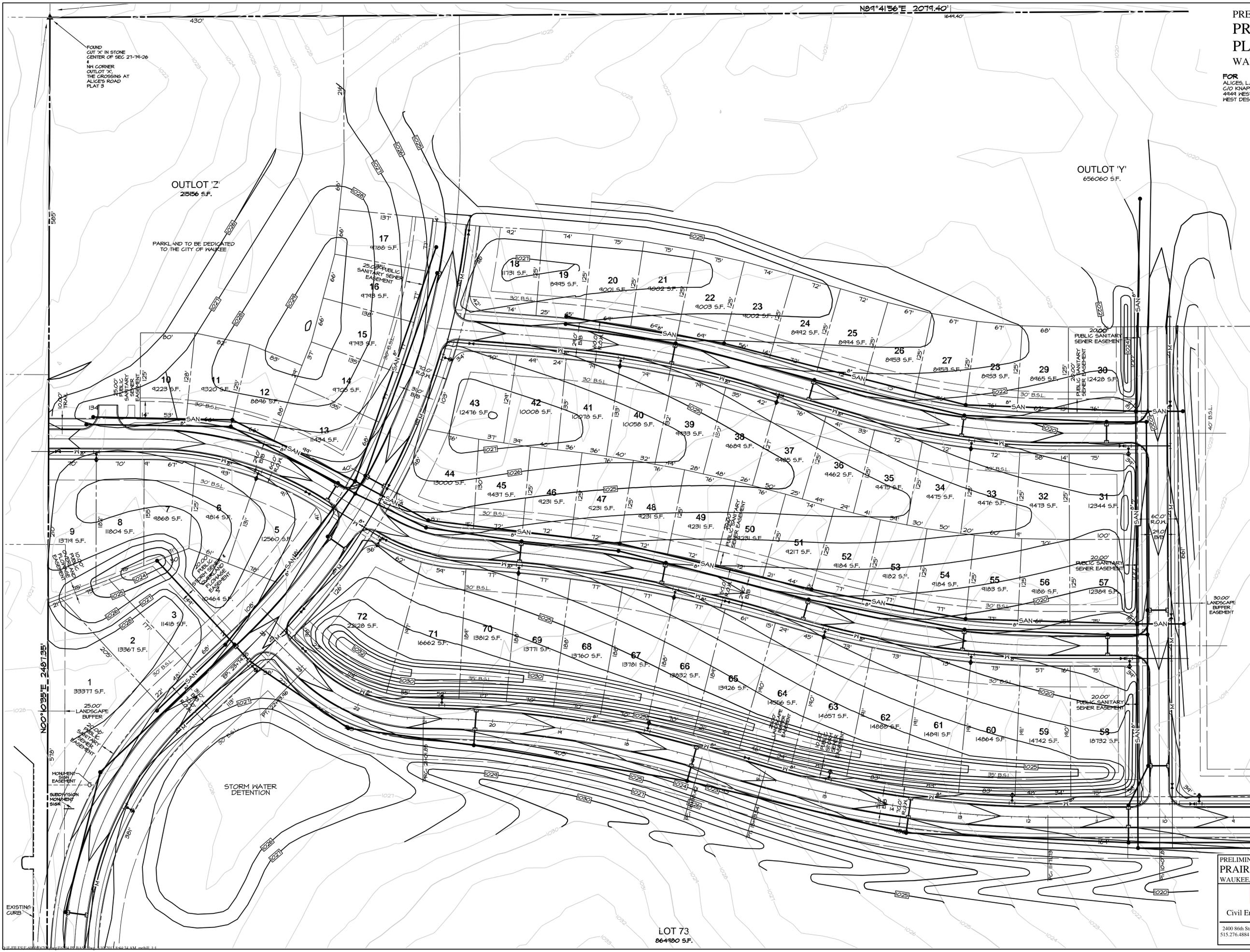
DATE CREATED: APRIL 10, 2013
 REVISIONS: MAY 01, 2013
 MAY 10, 2013

SHEET 1 OF 3

2400 86th Street, Unit 12 - Des Moines, Iowa 50322
 515.276.4884 - Fax: 515.276.7084 - mail@cecil.com

PRELIMINARY PLAT
 PRAIRIE CROSSING
 PLAT 1
 WAUKEE, IOWA

FOR
 ALICES, L.L.C.
 C/O KNAPP PROPERTIES
 4444 WESTOWN PARKWAY, SUITE 200
 WEST DES MOINES, IOWA 50266



LEGEND

EXISTING/PROPOSED	
	PLAT BOUNDARY
	STORM SEWER # SIZE
	SANITARY SEWER # SIZE
	WATER MAIN # SIZE
	MANHOLE
	STORM INTAKE
	FIRE HYDRANT
	VALVE
	F.E.S.
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SILT FENCE

PRELIMINARY PLAT
 PRAIRIE CROSSING PLAT 1
 WAUKEE, IOWA

CEC
 Civil Engineering Consultants, Inc.

Scale: 1"=60'

NORTH

DATE CREATED: APRIL 10, 2013
 REVISIONS: MAY 01, 2013
 MAY 10, 2013

SHEET 2 OF 3

LOT 73
 864180 S.F.

FOUND CUT 'X' IN STONE
 CENTER OF SEC 21-14-26
 NW CORNER
 OUTLOT 'X',
 THE CROSSINGS AT
 ALICES ROAD
 PLAT 3

OUTLOT 'Z'
 215156 S.F.

OUTLOT 'Y'
 656060 S.F.

PARKLAND TO BE DEDICATED
 TO THE CITY OF WAUKEE

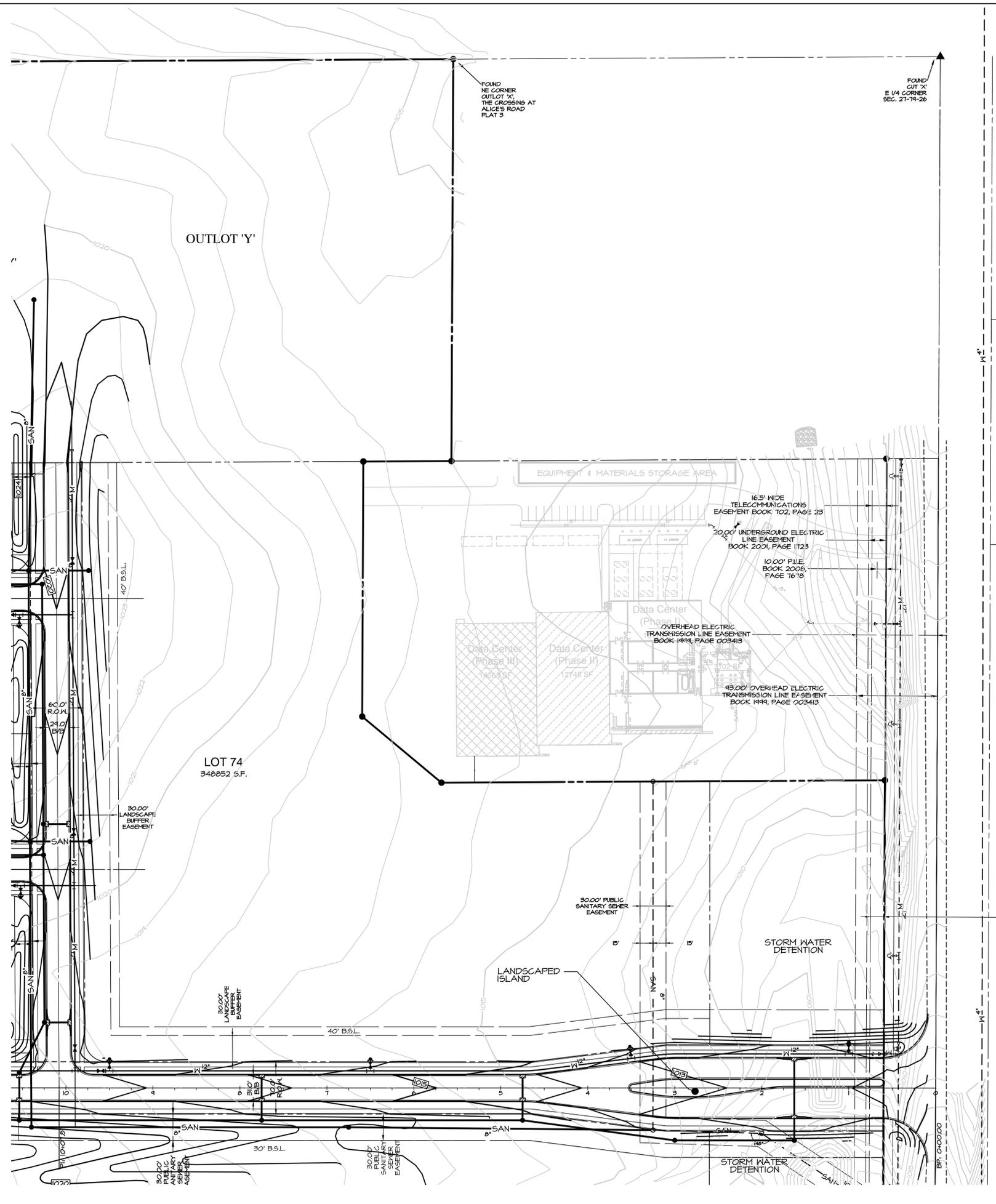
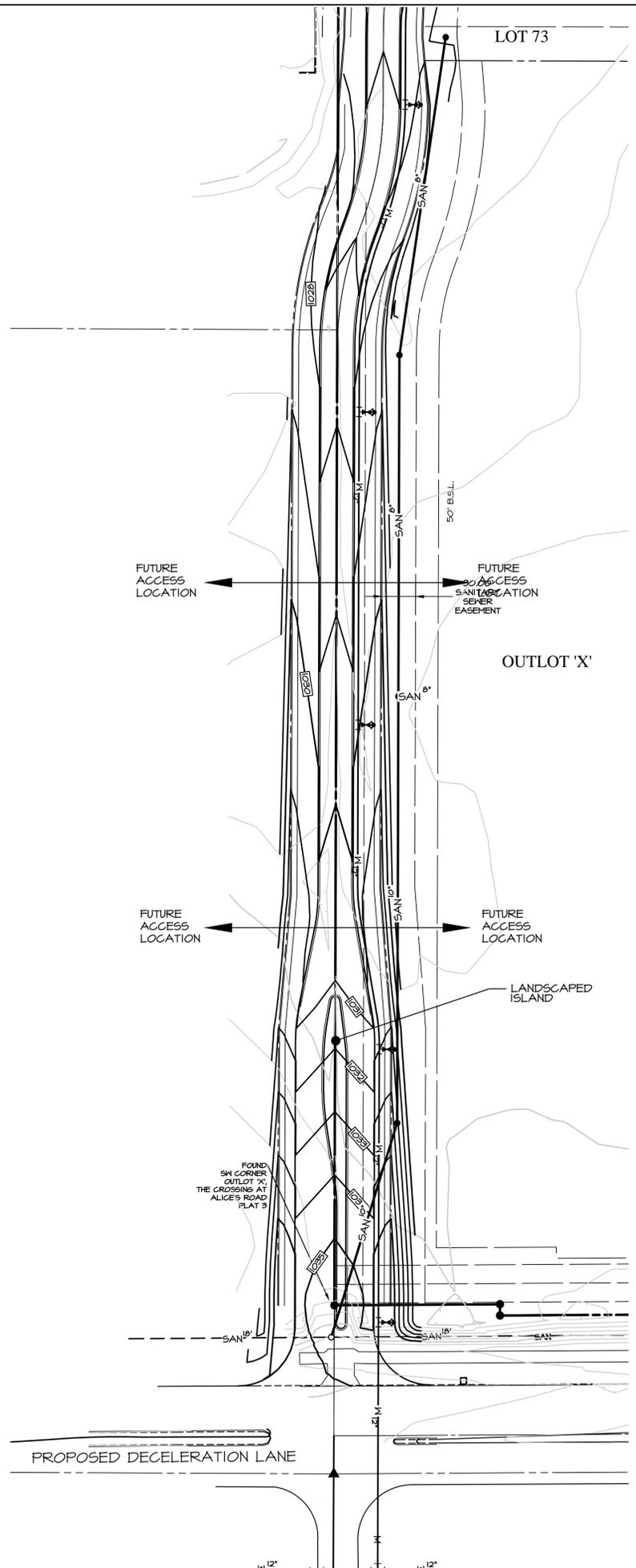
STORM WATER
 DETENTION

EXISTING CURB

FILED IN THE OFFICE OF THE CLERK OF SUPERIOR COURT FOR WAUKEE COUNTY, IOWA, THIS 10TH DAY OF MAY, 2013.

PRELIMINARY PLAT
PRAIRIE CROSSING
PLAT 1
 WAUKEE, IOWA

FOR
 ALICES, L.C.
 C/O KNAPP PROPERTIES
 4444 WESTOWN PARKWAY, SUITE 200
 WEST DES MOINES, IOWA 50266



LEGEND

EXISTING/PROPOSED	DESCRIPTION
—	FLAT BOUNDARY
— 36" —	STORM SEWER # & SIZE
— SAN 8" —	SANITARY SEWER # & SIZE
— 12" —	WATER MAIN # & SIZE
— 18" —	MANHOLE
○	STORM INTAKE
●	FIRE HYDRANT
▽	VALVE
△	F.E.S.
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
— X —	SILT FENCE

PRELIMINARY PLAT
PRAIRIE CROSSING PLAT 1
 WAUKEE, IOWA

CEC
 Civil Engineering Consultants, Inc.

Scale: 1"=60'

NORTH

DATE CREATED: APRIL 10, 2013
 REVISIONS: MAY 01, 2013
 MAY 10, 2013

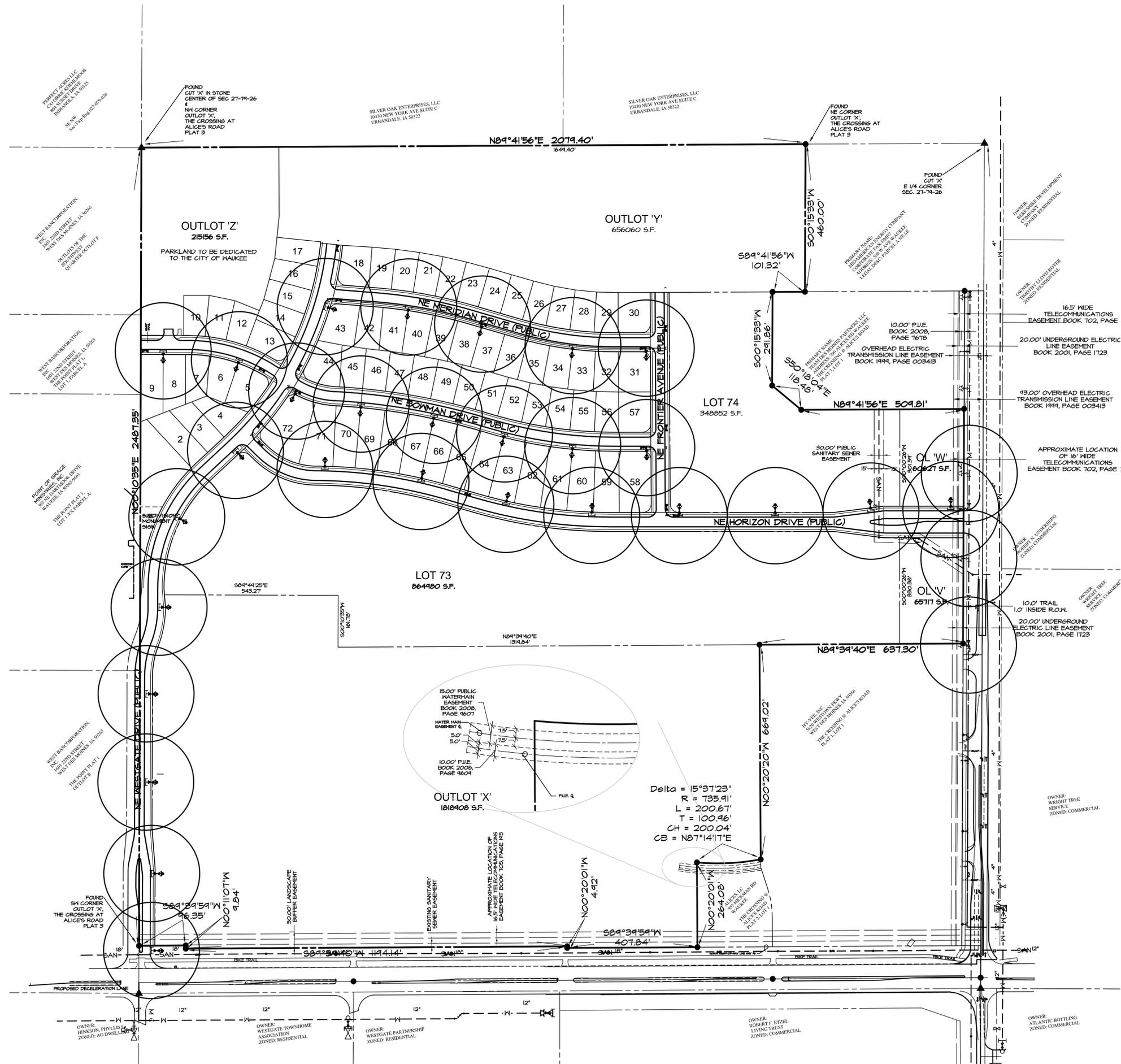
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SHEET **3** OF 3

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FIRE HYDRANT COVERAGE
**PRAIRIE CROSSING
 PLAT 1**
 WAUKEE, IOWA

FOR
 ALICES, L.C.
 C/O KNAPP PROPERTIES
 4844 WESTOWN PARKWAY, SUITE 200
 WEST DES MOINES, IOWA 50266



LEGEND

EXISTING/PROPOSED	
—	PLAT BOUNDARY
—	STORM SEWER # SIZE
—	SANITARY SEWER # SIZE
—	WATER MAIN # SIZE
○	HANDHOLE
●	STORM INTAKE
⊕	FIRE HYDRANT
⊖	VALVE
△	F.E.S.
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	SILT FENCE

FIRE HYDRANT COVERAGE
PRAIRIE CROSSING PLAT 1
 WAUKEE, IOWA

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 Civil Engineering Consultants, Inc.

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Scale: 1"=150'

NORTH

SHEET 1 OF 1

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