

PLANNING & ZONING AGENDA ITEM #6

Planning & Zoning Meeting date: 6/11/13

SUBJECT: Approval of a Site Plan Amendment for Stivers Ford

SYNOPSIS: The applicant is requesting approval of a site plan amendment for an approximately 12,000 square foot building addition for a new service center as well as a 186 stall parking lot addition south of the existing car dealership located at 1450 E Hickman Road.

STAFF RECOMMENDATION: Staff would recommend approval of the site plan amendment for Stivers Ford subject to remaining staff comments.

PROPOSED MOTION: Motion to Approve the site plan amendment for Stivers Ford subject to any remaining staff comments.

ATTACHMENTS:

SUPPORTING DOCUMENTS:

- I. Staff Report
- II. City Comment Letter, dated 5/28/2013
- III. Site Plan Amendment
- IV. Elevations

Prepared by: Brad Deets, Development Services Director



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Brad Deets

RE: Stivers Ford – Site Plan Amendment

DATE: June 10, 2013

GENERAL INFORMATION:

Applicant: Stivers Realty LC

Requested Action Site Plan Amendment Approval

Location and Size: Lot A of the Corrective Plat of Survey filed in Book 2003, Page 12376, City of Waukeee, Dallas County, Iowa, generally located on the southeast corner of Hickman Road and Waco Place containing 12.06 acres more or less.

LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Car Dealership	Neighborhood Residential	C-1
North	City of Clive – Commercial Development	---	---
South	Boulder Pointe Townhomes	Neighborhood Residential	R-3 (PD)
East	Earl May/Carwash	Neighborhood Residential	C-1A (PD)
West	Undeveloped	Neighborhood Residential	C-1 (PD)

BACKGROUND:

The subject property was developed as a car dealership in 2004 and includes an approximately 43,000 square foot dealership and 1,300 square foot separate used car facility. Stivers purchased the property and has been in operation at this site since 2005. At this time, the applicant is requesting approval of an approximately 12,000 square foot service center addition and parking lot expansion to the back of the existing building.



Aerial Photo of Property and Surrounding Area

PROJECT DESCRIPTION:

The proposed project includes the construction of a 12,350 square foot service center addition to the main building. A parking lot expansion which includes 186 stalls is proposed to the south of the building within existing green space.

ADDITION:

The addition is proposed to be constructed with an insulated metal panel to match the existing building. The metal wall panels that are being removed for the addition will be reused on the expansion. A series of service doors are proposed on both the east and south elevations of the new addition.

PARKING LOT ADDITION:

The proposed site plan includes a 186 stall parking lot expansion behind the building. The stalls include both standard sized stalls as well as deeper length stalls for larger vehicles. The proposed parking lot addition meets the recently approved site plan ordinance revisions which include the addition of landscaped islands for each row of 15 stalls as well as a certain number and type of trees within the islands. An approximately two

foot earthen berm with substantial plantings is proposed along Waco Place to shield vehicle headlights from the public right of way.

Substantial landscape buffering is being proposed along both the east property line and south property line which are adjacent residential developments. The landscape buffering along the south property line will be in addition to some substantial landscaping that will be put in as a part of the Boulder Pointe Development.

Parking lot lighting has been proposed for the new parking lot addition. Cut sheet information has been provided which shows the proposed parking lot lighting is consistent with our site plan ordinance.

UTILITIES:

Storm sewer for the proposed parking lot addition will be directed into an existing French drain tiling system that runs along the north side of the new parking lot addition. Storm water detention for the new parking lot addition will be detained within the parking lot and released to the existing pond located on the north side of the property. No other utility improvements are proposed.

MISCELLANEOUS:

The existing trash enclosure will be relocated to the east side of the site. The site plan shows the trash enclosure will be constructed out of brick. The gates include a metal frame with cedar boards.

STAFF RECOMMENDATION

At this time, staff would recommend approval of the site plan amendment for Stivers Ford subject to any outstanding staff comments.

CITY OF WAUKEE

Brad Deets
Development Services Director



Development Services Department

230 W. Hickman Road

Waukeee, IA 50263

Phone: (515) 978-9533

Fax: (515) 987-1845

May 28, 2013

Cooper Crawford & Associates
Attn: Brad Cooper
475 S. 50th Street, Suite 800
West Des Moines, IA 50265

RE: Stivers Lincoln Ford Site Plan

Dear Mr. Cooper,

Per your request, staff and Veenstra and Kimm have reviewed the proposed Stivers Lincoln Ford Site Plan for the proposed building addition and parking lot expansion located at 1450 E Hickman Road. This item is scheduled for Planning and Zoning Commission on June 11, 2013 followed by City Council on June 17, 2013. Based upon our joint review we have the following comments to offer regarding the preliminary plat:

1. Please provide a site plan review fee in the amount of \$90.00 as a part of the second submittal.
2. As a part of the next submittal, please provide an electronic copy of the plans to blandhauser@waukeee.org.
3. General Notes 5 and 10 on Sheet 1 should refer to Waukeee Standard Specifications.
4. The Book and Page of the existing watermain easement identified on the plans should be referenced.
5. The vicinity sketch references SE Stonebridge Drive. This should be revised to SE Stoneridge Drive.
6. Staff questions how the existing parking and driveway aisles will be reconfigured based upon the proposed building addition. Please identify on the site plan.
7. The Zoning Ordinance requires a minimum 25 foot parking setback for parking lots abutting a residential use. This is applicable along the south and east property lines. The parking lot layout will need to be adjusted accordingly.
8. The parking lot setback requirement adjacent to the public Right of Way is a minimum of 10 feet.
9. The northern row of parking within the proposed parking lot addition could be reduced to 17 foot long stalls in order to save two feet of pavement costs based upon the proposed parking island.
10. The site plan ordinance requires that all parking aisles be provided with a terminal landscaped island that is a minimum of 10 feet in width. The proposed center parking aisles will need to be revised to reflect this requirement.
11. A maximum of 15 stalls are allowed within any aisle before a landscaped island is required. The proposed parking in the southwest corner of the property shows 16 stalls. Please revise.
12. A minimum of 50% of the proposed islands are required to have an overstory tree in them.

13. Berming should be provided adjacent to the parking that abuts SE Waco Place. Staff would also suggest some berming be introduced along the south and east property lines which abut residential developments.
14. Shrubs should be introduced in front of the parking adjacent to SE Waco Place to provide additional headlight screening.
15. A 30 foot landscape buffer is required between commercially zoned property and R-3 zoned property to the south. The City has recently approved a site plan for the adjacent property to the south and a portion of the landscape buffer is being provided as a part of that development. Based upon the length of the property being 550 feet, a total of 22 overstory trees, 33 evergreens and 22 ornamental trees are required. A total of 11 overstory trees and 22 evergreens are being provided as a part of the site plan of the property to the south. The remaining minimum requirements (11 overstory, 11 evergreens and 22 ornamental trees) will need to be provided as a part of this site plan.
16. Notes 1 and 4 of the Landscaping Notes on Sheet 3 should be revised to reflect the City of Waukee.
17. A 30 foot landscape buffer is also required along the east property line as the adjacent property next to the parking lot addition is zoned R-3. Based upon the new parking lot area 170 feet (minus the 30 feet included as a part of the south landscape buffer), a total of 6 overstory trees, 8 evergreens and 6 ornamental trees are required.
18. One overstory tree per 40 lineal feet is required along SE Waco Place for the proposed parking lot addition. Based upon 170 lineal feet, four trees are required. This can be in lieu of and not in addition to the crabapple trees currently proposed on the plans.
19. Staff questions the location of the relocated existing dumpster. Additionally, staff questions what materials will be used for the relocated enclosure. A detail should be provided.
20. The existing lightpole shown just south of the proposed addition should be noted to be removed.
21. Staff questions if any additional wall mounted lighting is proposed to be used.
22. The location of proposed bollards for the addition should be indicated on the site plan.
23. A building material sample of the proposed building materials should be provided at the Planning and Zoning Commission.
24. Staff questions if there will be any additional rooftop or site mechanical units. A note should be added to the plans that all new rooftop mechanical or site mechanical units shall be effectively screened.

In order to maintain the schedule proposed at the beginning of this letter, revised plans shall be submitted by Tuesday June 4, 2013. Should you have any questions or concerns on the above referenced comments, please feel free to contact myself or Ben Landhauser at 987-4522.

Sincerely,

Brad Deets
Development Services Director

SITE PLAN STIVERS LINCOLN FORD

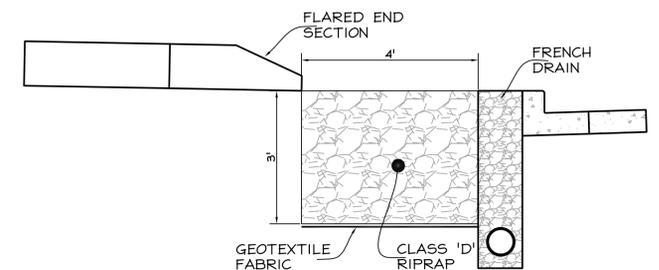
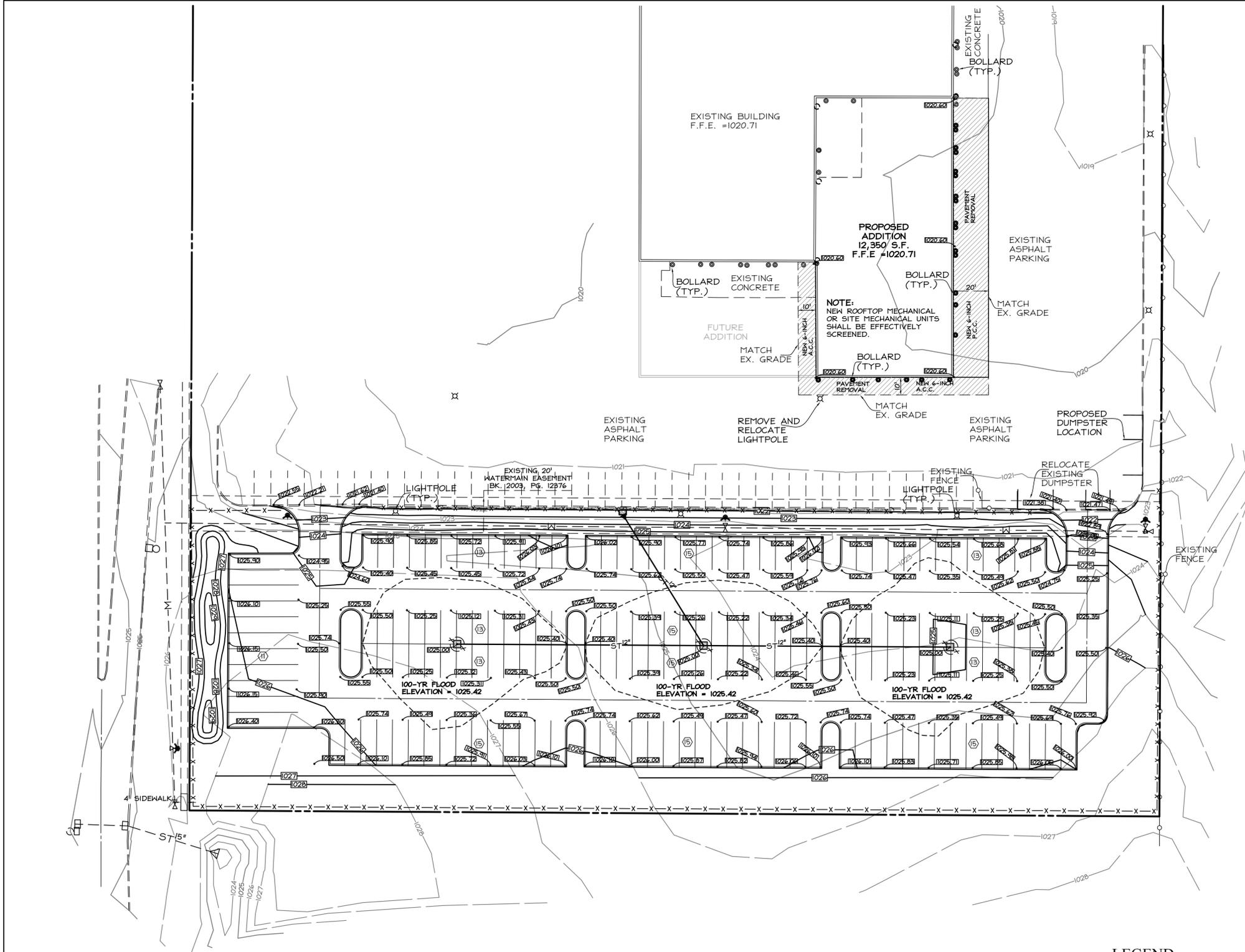
Waukee, Iowa

GRADING NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNDERGOING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
5. STOCKPILE SUFFICIENT TOPSOIL RESPREAD A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
6. ALL AREAS TO RECEIVE FILL TO BE BENCHED.
7. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES.
8. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 98% STANDARD PROCTOR.
9. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE BETWEEN 0-4%.
10. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
11. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
12. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2012 STATEWIDE URBAN DESIGN AND SPECIFICATIONS.
14. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
15. ALL WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH WAUKEE STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS AND THE 2012 STATEWIDE URBAN DESIGN AND SPECIFICATIONS.

EROSION & POLLUTION CONTROL NOTES

1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS PLAN.
2. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
3. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
4. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
5. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER, THE CITY OF WAUKEE STORM WATER COORDINATOR, AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
6. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 21 DAYS, IT SHALL BE SEEDED BY DAY 7.
7. PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
8. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
9. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR BY THE END OF THE DAY OR PRIOR TO A RAIN EVENT.
10. SILT FENCING TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM, LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
11. ADDITIONAL SILT FENCING (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
12. SILT FENCING TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
13. ALL INTAKES SHALL HAVE SILT FENCING PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. BELOW GRADE INLET PROTECTION REQUIRED FOR ALL PUBLIC STREETS. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER.
14. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
15. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
16. ALL PERIMETER EROSION CONTROLS/SILT FENCE SHALL REMAIN IN PLACE, AND BE MAINTAINED, UNTIL UPSTREAM AREAS ARE STABILIZED.
17. CONTRACTOR SHALL PROVIDE FILTER FABRIC AROUND INTAKE GRATES, OR A SIMILAR EROSION CONTROL PRACTICE AFTER PAVING OPERATIONS.
18. WRITTEN CERTIFICATION WILL BE PROVIDED AT COMPLETION THAT GENERAL PERMIT #2 - 4 INCH TOPSOIL REQUIREMENTS HAS BEEN MET.



OUTLET TO RIP-RAP DETAIL

NO SCALE

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

Location: Part Sec. 35, T79N, R26W.
 Nature of Construction Activity: Building and parking addition.
 Areas: Total site area = 11.327 acres
 Site area affected = 3.372 acres
 Runoff coefficient = 0.40 (rational method)
 Approximate slopes anticipated: 3:1, or flatter.
 Runoff from this project will flow into unnamed ditches which will flow into the Little Walnut Creek.

- Erosion and sediment controls**
- Stabilization practices**
- Existing vegetation is preserved whenever possible.
 - Permanent seeding and/or sodding.
- Structural practices**
- Silt fences
 - Drainage swales
 - Rock outlet protection (riprap)
- Storm water management**
- Infiltration of runoff onsite.
 - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
- Waste disposal**
- All building material wastes must be removed from the site.
 - Off-site vehicle tracking of sediments shall be minimized.

MAINTENANCE

- Maintain effective operating conditions of all protective measures identified in this plan.
- Silt fencing is cleaned when they have lost 50% of their capacity.
 - Drainage swales remain undisturbed.
 - Rock outlet protection (riprap) remains intact.
 - Clean spilled debris by the end of day or prior to rain event.

INSPECTIONS

- Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days.
- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
 - Observe erosion and sediment controls to ensure that they are operating correctly.
 - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
 - Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
 - Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection.
 - An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
 - A summary of the scope of the inspection.
 - Qualifications of the personnel making the inspection.
 - Major observations relating to the implementation of the prevention plan.
 - Any actions taken.
 - Signature.

NON-STORM WATER DISCHARGES

- Water main flushing**
- Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
 - Rock outlet protection (riprap)
 - Silt fencing
 - Existing vegetation

CONTRACTORS

The grading contractor shall have the responsibility of implementing the measures contained in this plan.

LEGEND

- EXISTING/PROPOSED**
- PLAT BOUNDARY
 - W 8" WATER MAIN # SIZE
 - SAN 8" SANITARY SEWER # SIZE
 - ST 8" STORM SEWER # SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4" GAS MAIN # SIZE
 - MANHOLE
 - INTAKE
 - HYDRANT
 - POWER POLE/LIGHT POLE
 - UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SILT FENCE OR APPROVED FILTRATION SOCK
 - TREES

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 5-21-2013
 REVISIONS: 6-4-2013

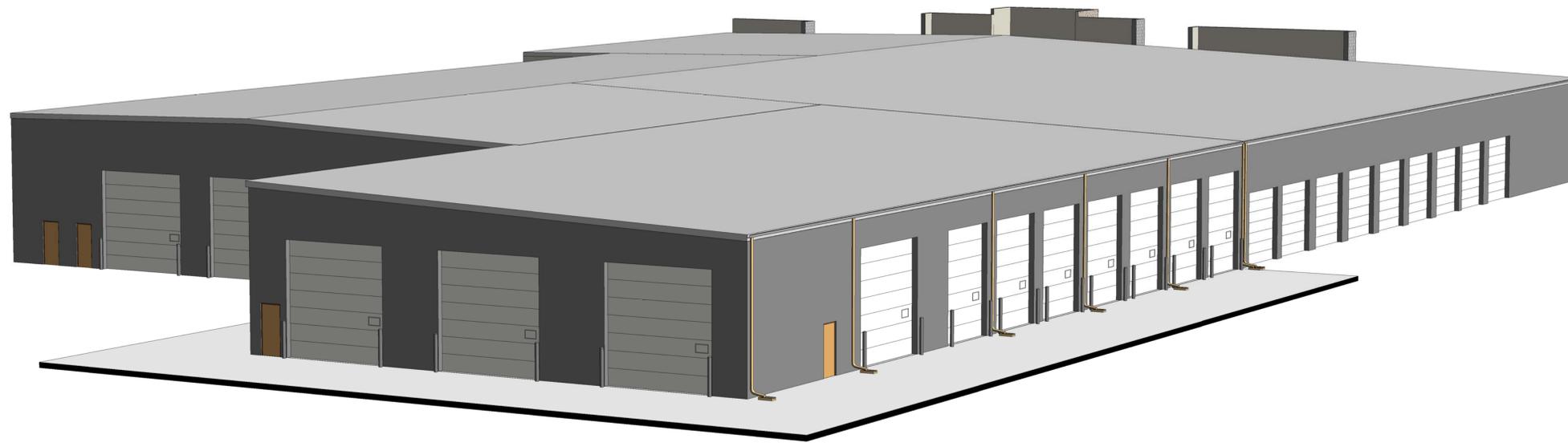
APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

GRADING PLAN
 STIVERS LINCOLN FORD

JOB NUMBER
CC 1520
 SHEET
 2 OF 4

STIVERS LINCOLN FORD

SERVICE BAYS & BODY SHOP ADDITION



DRAWING LIST

A000	COVER PAGE
ARCHITECTURAL	
AS100	SITE PLAN
A010	COMPOSITE PLAN
A110	FLOOR PLAN
A200	EXTERIOR ELEVATIONS

ISSUE #	ISSUE DATE	DESCRIPTION
#1	04/17/13	REVIEW SET

DRAWN BY: Author CHECKED BY: Checker DBS #: 10-3-808 NBI #: 10-5-635

GENERAL CONTRACTOR ARCHITECT
 NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
 1450 EAST HICKMAN, WAUKEE, WI 53186-1315
 Phone: (262) 248-0754 / Fax: (262) 248-0166

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STIVERS LINCOLN FORD

SERVICE BAYS & BODY

SHOP ADDITION

1450 EAST HICKMAN, WAUKEE, IOWA

A

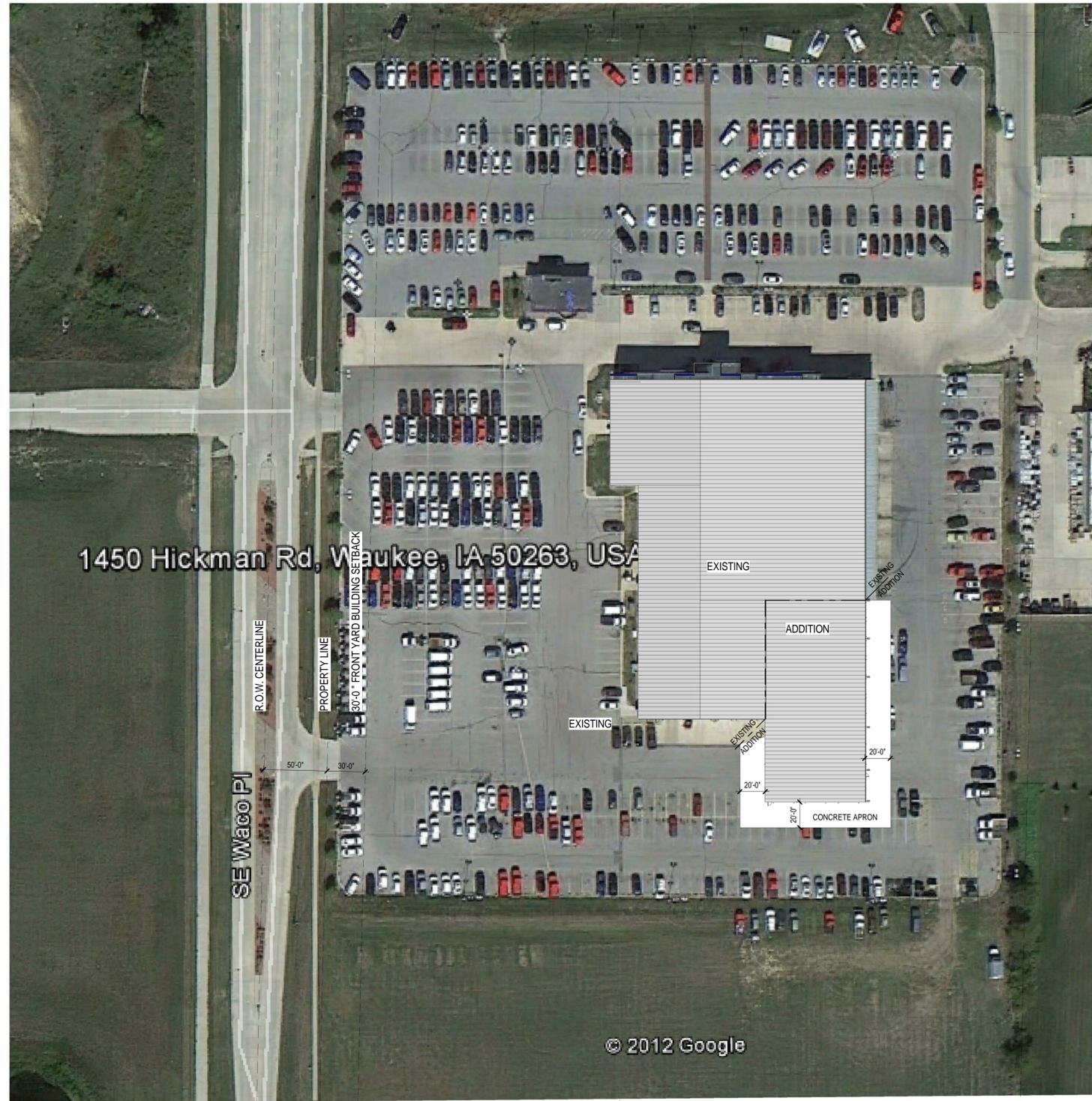
B

C

D

E

4/18/2013 8:28:57 AM



1450 Hickman Rd, Waukee, IA 50263, USA

SE Waco Pl

R.O.W. CENTERLINE

PROPERTY LINE

30'-0" FRONT YARD BUILDING SETBACK

50'-0"

30'-0"

EXISTING

EXISTING

ADDITION

EXISTING

EXISTING

CONCRETE APRON

© 2012 Google

30'-0" REAR BUILDING SETBACK

PROPERTY LINE



E2 SITE PLAN - SCHEME "C"
AS100 1" = 50'-0"

ISSUE #	ISSUE DATE	DESCRIPTION
#1	04/17/13	REVIEW SET

GENERAL CONTRACTOR ARCHITECT
NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
1425 10th Street, Waukee, IA 50263-1315
Phone: (515) 243-0754 Fax: (515) 243-0106



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**STIVERS LINCOLN FORD
SERVICE BAYS & BODY
SHOP ADDITION**

1450 EAST HICKMAN, WAUKEE, IOWA

SITE PLAN

AS100

DRAWN BY: Author CHECKED BY: Checker DBS #: 10-3-808 NBI #: 10-5-635

4/18/2013 3:35:00 PM

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B

C

D

E

1

2

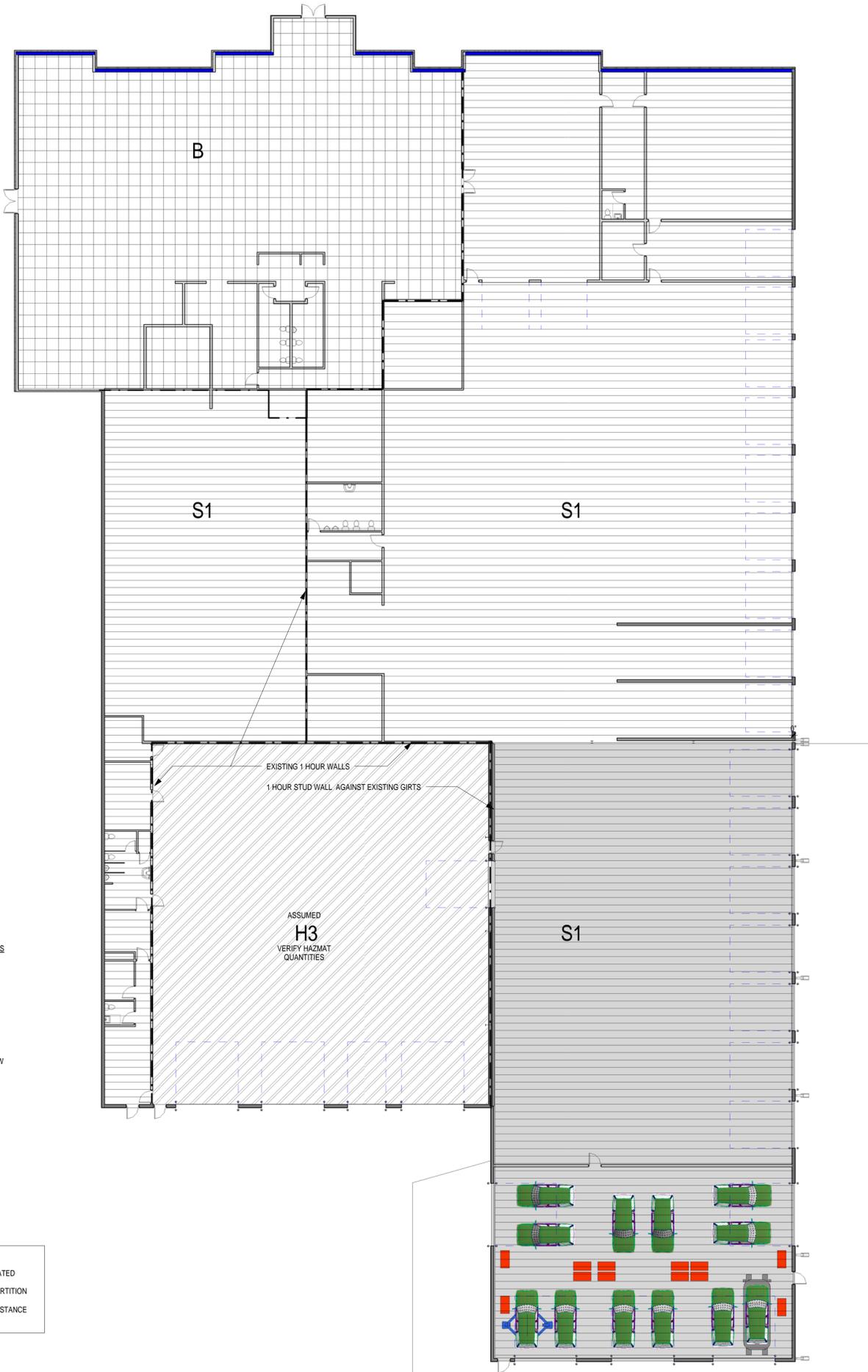
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4

5

6

7



OCCUPANCY TYPES

	B
	H-3
	S-1
	NEW

LINE TYPE LEGEND

	1 HOUR RATED
	SMOKE PARTITION
	TRAVEL DISTANCE



E4 COMPOSITE PLAN
A010 1/16" = 1'-0"

ISSUE #	ISSUE DATE	DESCRIPTION
#1	12/08/12	REVIEW SET

GENERAL CONTRACTOR ARCHITECT
NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
1450 EAST HICKMAN, WAUKEE, WI 53186
Phone: (262) 248-0154 / Fax: (262) 248-0156



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SHOP ADDITION
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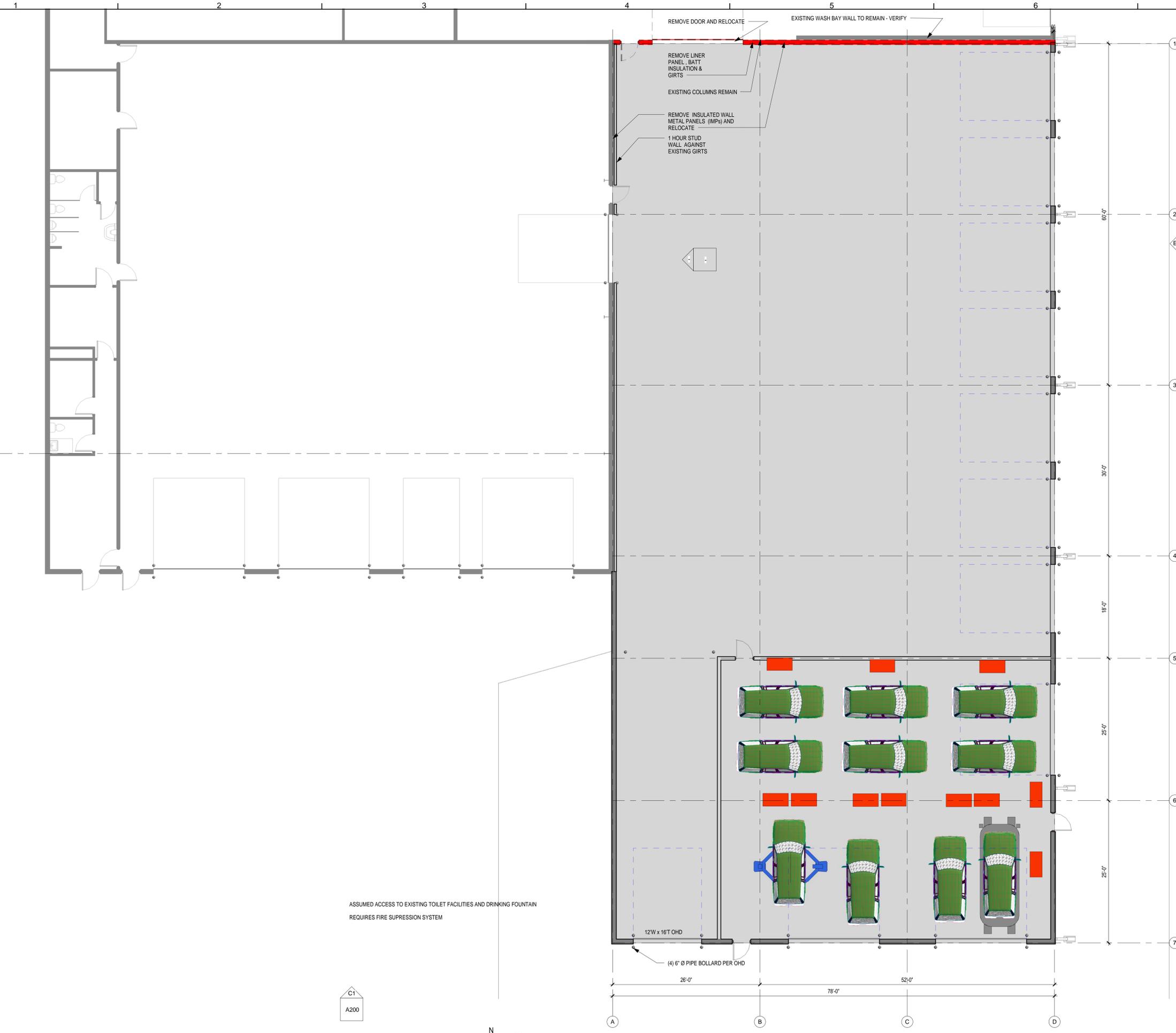
COMPOSITE PLAN

A010

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4/25/2013 3:59:36 PM

A
B
C
D
E



C1
A200



D1
A110
FLOOR PLAN - SCHEME "C"
1/8" = 1'-0"

ISSUE #	ISSUE DATE	DESCRIPTION
#1	04/25/13	REVIEW SET

GENERAL CONTRACTOR: ARCHITECT
 NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
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 Phone: (262) 248-0154 / Fax: (262) 248-0156

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STIVERS LINCOLN FORD SERVICE BAYS & BODY SHOP ADDITION

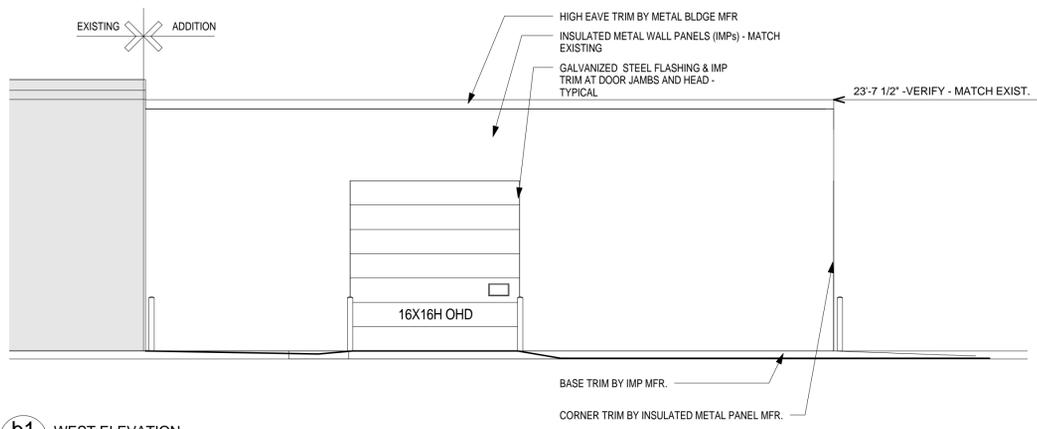
1450 EAST HICKMAN, WAUKEE, IOWA

FLOOR PLAN

A110

DRAWN BY: Author/CHECKED BY: Checker DBS #: 10-3-808 NBI #: 10-5-635

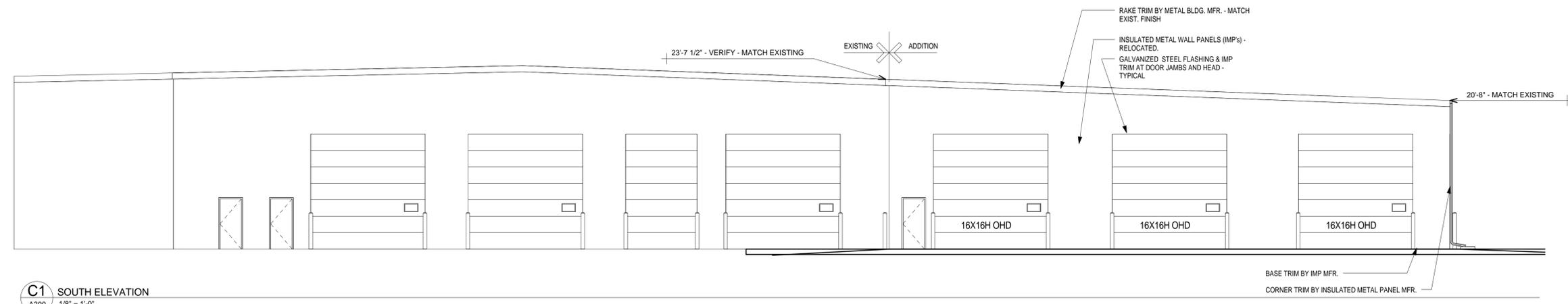
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b1 WEST ELEVATION
A200 1/8" = 1'-0"

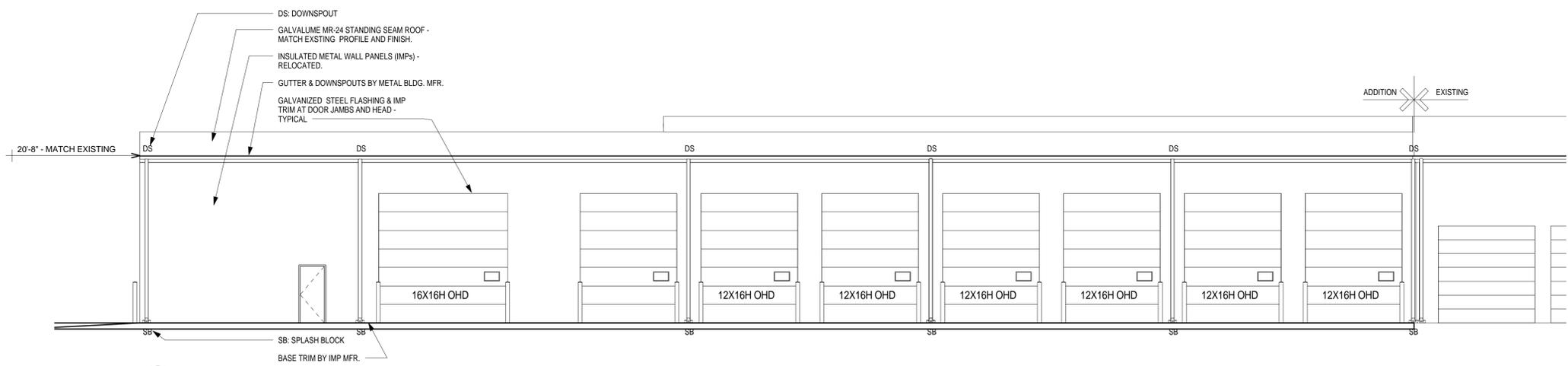
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C



C1 SOUTH ELEVATION
A200 1/8" = 1'-0"

D



E1 EAST ELEVATION
A200 1/8" = 1'-0"

E

ISSUE #	ISSUE DATE	DESCRIPTION
#1	04/17/13	REVIEW SET

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 NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
 1450 EAST HICKMAN, WAUKEE, WI 53186-1515
 Phone: (262) 248-0754 / Fax: (262) 248-0166

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DESIGNBUILD
 SOLUTIONS

**STIVERS LINCOLN FORD
 SERVICE BAYS & BODY
 SHOP ADDITION**

1450 EAST HICKMAN, WAUKEE, IOWA

**EXTERIOR
ELEVATIONS**

A200