

PLANNING & ZONING AGENDA ITEM #5

Planning & Zoning Meeting date: 3/26/13

SUBJECT: Approval of a Rezoning request by amending the Planned Development for Williams Pointe Plat 9 including modification of the underlying zoning district of C-1A [Neighborhood Commercial District]/R-3 [Rental Multi-Family Residential District] to C-4[Office Park Commercial District]

SYNOPSIS: The subject property includes all of Williams Pointe Plat 9 as well as a small portion within Williams Pointe Plat 7. The area contained within Williams Pointe Plat 9 was included within a Planned Development Overlay which was approved by the City Council in 2005. The proposed overlay district included a layout which identified commercial retail/office buildings as well as a mixed use (retail/residential) building.

The applicant is requesting rezoning of the property to remove the R-3 multi-family residential district (which was a component of the mixed use building) in favor of a proposed office development and to include an approximately 1.25 acre portion of Lot 2 of Williams Pointe Plat 7 within the Williams Pointe Plat 9 Planned Development Overlay District.

STAFF RECOMMENDATION: Staff would recommend approval of the rezoning amendment to Williams Pointe Plat 9 Planned Development as it pertains to the rezoning request.

PROPOSED MOTION: Motion to Approve the rezoning for amendment to the Planned Development for Williams Pointe Plat 9 including modification of the underlying zoning district of C-1A [Neighborhood Commercial District]/R-3 [Rental Multi-Family Residential District] to C-4[Office Park Commercial District]

ATTACHMENTS:

SUPPORTING DOCUMENTS:

- I. Staff Report
- II. Engineer Comment Response Letter dated 3/12/13
- III. City Comment Letter dated 3/8/13
- IV. Rezoning Map
- V. Concept Plan
- VI. Concept Elevations
- V. Amended PD Document Draft
- V. Notification Letter, dated 3/18/13

Prepared by: Brad Deets, Development Services Director



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Ben Landhauser

RE: Williams Pointe Plat 9 Planned Development
Amendment

DATE: March 26, 2013

GENERAL INFORMATION:

Applicant:

Williams Pointe Commercial I

Requested Action

PD Amendment to remove the R-3 component within the Williams Pointe Plat 9 Planned Development and an addition of a 1.25 acre piece of Williams Pointe Plat 7

Location and Size:

Property is generally located on the east side of SE Alice's Road and north of SE University Avenue containing 12.93 acres total with the proposed area to be rezoned containing 3.06 acres.

LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant - Undeveloped	Community Village	PD C-1A/R-3
North	Vacant - Undeveloped	Community Village	C-4
South	Vacant - Undeveloped	Community Village	C-1
East	Williams Pointe Condos/ Windhall at Williams Pointe Apartments	Neighborhood Residential	PD R-3
West	Gilcrest Jewett	Community Village	M-1A/C-1A

BACKGROUND:

The subject property is within a Planned Development that was approved in October 2005. The Planned Development called for an integrated commercial/residential development composed of a total of six lots. All buildings would have consistent and compatible architecture and building materials with primarily office/limited commercial land uses. A large multiple story mixed use building was proposed for the north half of the development which would include retail and office use on the lower levels and residential on the upper. To date, Peoples Bank has been built within the development at the corner of SE University Avenue and SE Brick Drive.

The applicant is requesting approval of an amendment to the Planned Development and a rezoning of a portion of the property as well as the addition of a portion of the adjacent property into the Planned Development to facilitate a proposed office facility. The proposed amendment would remove the previously planned residential component and in exchange planned office would be developed.



ABOVE: Aerial of Property and Surrounding Area

PROJECT DESCRIPTION:

The applicant has submitted the necessary petition and consent to the PD Amendment (rezoning). The rezoning map indicates consent to the amendment from 85.88% of the property owners within 200 feet of the proposed change. Notification of the proposed amendment request was sent on March 18, 2013. To date, staff has not received any formal correspondence for or against the proposed rezoning request. Notification signs of the proposed planned development change have been erected on the property including the date of the City Council Public Hearing.

The applicant has provided a conceptual development plan of the proposed layout which identifies a proposed 30,000 square foot two-story office building along SE Alice's Road as well as the general circulation, parking configuration and pad sites for the remainder of the development still undeveloped. Access to the development would remain the same as originally proposed including one access point off of Alices Road, one access point off of University Avenue and two access points off of Brick Drive.

The Planned Development document for the project has been revised to reflect the addition of the approximately 1.25 acre piece of ground that had previously been platted as a part of Williams Pointe Plat 7 which is necessary to accommodate the proposed office building. Additionally, the provisions as it relates to the previously planned multi-use building have been removed.

March 22, 2013

Elevations have been included for your reference as it relates to the proposed office building. It should be noted however, that staff is continuing to work with the applicant regarding some of the building materials to bring the project into compliance with the site plan ordinance design requirements.

A copy of the proposed Planned Development Document has been attached for your review.

STAFF RECOMMENDATION

At this time all staff comments pertinent to the PD amendment have been addressed and staff would recommend approval of the proposed request.

CITY OF WAUKEE

Brad Deets

Development Services Director



March 12, 2013

City of Waukee
ATTN: Ben Landhauser
Development Services Department
230 W. Hickman Road
Waukee, Iowa 50263

RE: Williams Pointe Plat 9 PD Amendment & Williams Pointe 7 Rezoning (Access Systems)
Submittal #2

Dear Mr. Landhauser:

We have received and reviewed the comments from the City of Waukee, dated March 8, 2013, regarding the initial Rezoning Application submittal for Access Systems. Revisions and responses, written bold type, are as follows:

GENERAL COMMENTS

1. Staff will be working on the updates to the planned development document for Williams Pointe Plat 9 and should have changes over for your review early next week. Additional exhibits may be needed to get the document properly updated and reflective of the intended development concept now planned for the properties involved.

This comment is duly noted.

REZONING MAP

2. The rezoning map should be revised to include the entire parcel(s) planned to be used by Access Systems, but should also include the entire portion of Lot 2 Williams Pointe Plat 9 with the 200 foot buffer extending out from that area.

The Rezoning Map has been revised accordingly.

3. The ownership and consent information should be adjusted to address Comment #2 above. Additionally, the legal description should be adjusted to include the entirety of Lot 2 Williams Plat 9 in lieu of the portion currently referenced.

The ownership, consent information, and legal description have been revised accordingly.

4. The existing zoning indicated on the rezoning map should be revised to PD C-1A/R-3 and C-4.

The existing zoning designations have been revised.

5. The proposed zoning indicated on the rezoning map should be revised to PD C-4 and PD C-1A.

The proposed zoning designations have been revised.

6. The conceptual layout of the Access Systems site should be eliminated from the rezoning map.

The Access Systems site layout has been removed from the drawing.



CONCEPT PLAN

7. The plat and lot numbers for the areas in Plat 9 should be revised to reflect the recorded lot numbers or outlot designation from the final plat for Williams Pointe Plat 9 in lieu of the preliminary plat lot numbers previously used by the PD document for the various areas. Additionally, the easements should be indicated with recorded Book and Page.

The lot numbers have been revised accordingly. Book and Page numbers have been added to the easement call-outs.

8. The existing and proposed zoning designations should be revised as noted in the Rezoning Map Comments above.

Existing and proposed zoning designations have been revised.

9. The concept plan should be revised to identify any potential on-site detention contemplated on the Access Systems site.

The on-site detention for Access Systems has been added.

10. Staff would request that the access drive into the Access Systems site be revised to align with the existing stub and planned southerly extension of the nearest access drive just to the west of the current location. Please address.

The access drive into the Access Systems site has been revised to align its centerline with that of the existing southern stub.

11. Staff would request that a conceptual landscaping plan be provided for the Access Systems site as the other planned lots in the concept plan identify landscaping. Please address.

Conceptual landscape design for Access Systems has been added.

ELEVATIONS

12. Colored Elevations of all 4 sides of the building should be provided in PDF form for inclusion in the amended planned development document.

A PDF of colored elevations is included with this submittal.

13. Staff would note that as part of the zoning and site plan consideration, additional creativity and thought should be given for the planned exterior surface proposed along the warehousing component of the building to better align with the Site Plan Ordinance. Staff has provided the ordinance reference and Architectural Design Example Book for use to the applicant's design professionals and would encourage this item to be addressed prior to review of the proposal by the Planning and Zoning Commission or City Council. Please address.

This comment is duly noted. The Applicant and his designer are looking at this further. We will supply revised elevations upon further coordination.

MISCELLANEOUS

14. Staff would request the next submittal be provided in digital (PDF) form only. Please address.

PDF's of the drawings and this letter are included with this submittal.



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS

Attached with this submittal, you will find the following:

1. PDF of Revised Rezoning Map and Concept Plan
2. PDF of Colored Building Elevations

Please consider this submittal for review on the March 26th Planning and Zoning Commission meeting. Should you have any questions or need additional information, please don't hesitate to contact our office.

Sincerely,

CIVIL DESIGN ADVANTAGE

Keith Weggen, ASLA

Copy: Jay Agard, Access Systems
Joe Butler, Downing Construction
Scott Campney, Campney Commercial
Blake Brown, Denny Elwell Company
File



Development Services Department

230 W. Hickman Road

Waukeee, IA 50263

Phone: (515) 978-9533

Fax: (515) 987-1845

March 8, 2013

Civil Design Advantage, LLC
Attn: Keith Weggen
5501 NW 112th Street, Suite G
Grimes, IA 50111

RE: Williams Pointe Plat 9 PD Amendment & Williams Pointe 7 Rezoning: Access Systems

Dear Mr. Weggen:

Per your request, staff has reviewed the proposed amendment of the Williams Plat 9 Planned Development and associated rezoning of a portion of Lot 2 Williams Pointe Plat 7 related to the development of a new Access Systems location. The property in question is located near the northeast corner of the SE Alice's Road/ SE Univeristy Avenue intersection. Based upon our review, staff has the following comments related to the PD amendment/rezoning:

GENERAL COMMENTS

1. Staff will be working on the updates to the planned development document for Williams Pointe Plat 9 and should have changes over for your review early next week. Additional exhibits may be needed to get the document properly updated and reflective of the intended development concept now planned for the properties involved.

REZONING MAP

2. The rezoning map should be revised to include the entire parcel(s) planned to be used by Access Systems, but should also include the entire portion of Lot 2 Williams Pointe Plat 9 with the 200 foot buffer extending out from that area.
3. The ownership and consent information should be adjusted to address Comment #2 above. Additionally, the legal description should be adjusted to include the entirety of Lot 2 Williams Plat 9 in lieu of the portion currently referenced.
4. The existing zoning indicated on the rezoning map should be revised to PD C-1A/R-3 and C-4.
5. The proposed zoning indicated on the rezoning map should be revised to PD C-4 and PD C-1A.
6. The conceptual layout of the Access Systems site should be eliminated from the rezoning map.

CONCEPT PLAN

7. The plat and lot numbers for the areas in Plat 9 should be revised to reflect the recorded lot numbers or outlot designation from the final plat for Williams Pointe Plat 9 in lieu of the preliminary plat lot numbers previously used by the PD document for the various areas. Additionally, the easements should be indicated with recorded Book and Page.
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11. Staff would request that a conceptual landscaping plan be provided for the Access Systems site as the other planned lots in the concept plan identify landscaping. Please address.

ELEVATIONS

12. Colored Elevations of all 4 sides of the building should be provided in PDF form for inclusion in the amended planned development document.
13. Staff would note that as part of the zoning and site plan consideration, additional creativity and thought should be given for the planned exterior surface proposed along the warehousing component of the building to better align with the Site Plan Ordinance. Staff has provided the ordinance reference and Architectural Design Example Book for use to the applicant's design professionals and would encourage this item to be addressed prior to review of the proposal by the Planning and Zoning Commission or City Council. Please address.

MISCELLANEOUS

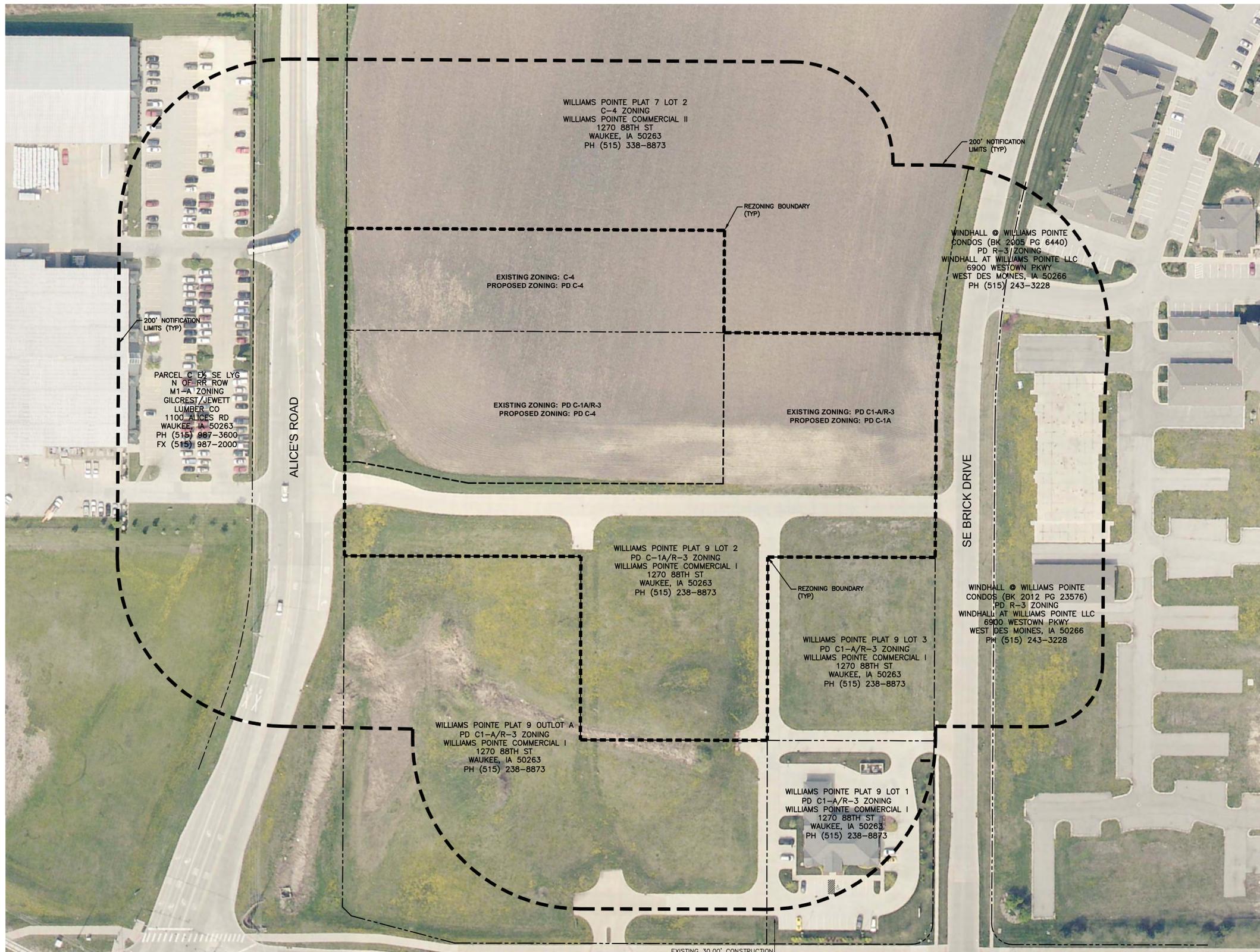
14. Staff would request the the next submittal be provided in digital (PDF) form only. Please address.

Should you have any questions or concerns regarding these comments, please feel free to contact Brad Deets or myself at 987-4522.

Sincerely,

Ben Landhauser
City Planner

FILE IN: C:\DATA\PROJECTS\WMA\REZONING\WMA-REZONING.DWG
 FILE DATE: 3/12/2013 5:30 PM
 PLOTTED BY: KEITH WEGGEN



VICINITY MAP

1" = 800'



OWNER

WILLIAMS POINTE COMMERCIAL I
 1270 88TH ST
 WAUKEE, IA 50263
 PH. (515) 238-8873

APPLICANT

ACCESS SYSTEMS
 CONTACT: JAY AGARD
 1050 SE OLSON DR
 WAUKEE, IA 50263
 PH. (515) 987-6227

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: KEITH WEGGEN
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH. (515) 369-4400
 FX. (515) 369-4410

REZONING BOUNDARY LEGAL DESCRIPTION

A PART OF LOT 2, WILLIAMS POINTE PLAT 7, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00°18'53" EAST ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 120.63 FEET; THENCE SOUTH 89°41'07" EAST, 450.00 FEET; THENCE SOUTH 00°18'53" WEST, 121.10 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 89°37'31" EAST ALONG SAID SOUTH LINE, 450.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.25 ACRES (54,390 SQUARE FEET).

AND

LOT 2, WILLIAMS POINTE PLAT 9

PROPOSED PD C-4 LEGAL DESCRIPTIONS

A PART OF LOT 2, WILLIAMS POINTE PLAT 7, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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EXISTING/ PROPOSED ZONING

EXISTING: PD C1-A/R-3 AND C-4
 PROPOSED: PD C-4 AND PD C1-A

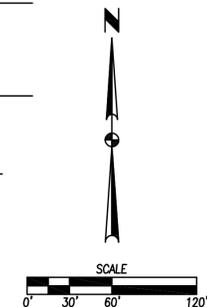
EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED

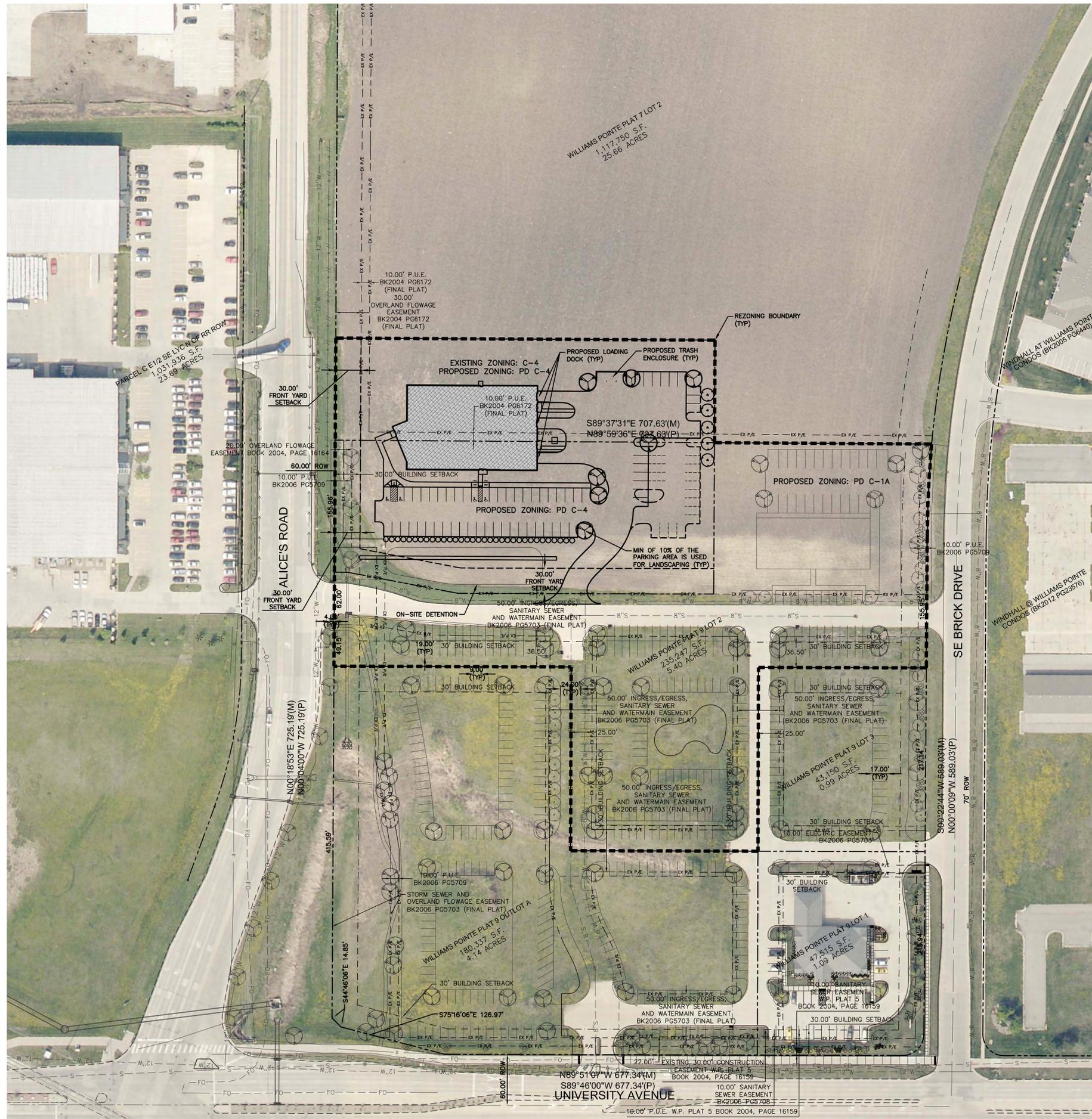
SUBMITTAL DATES

REZONING SUBMITTAL #1: 03/05/2013
 REZONING SUBMITTAL #2: 03/12/2013

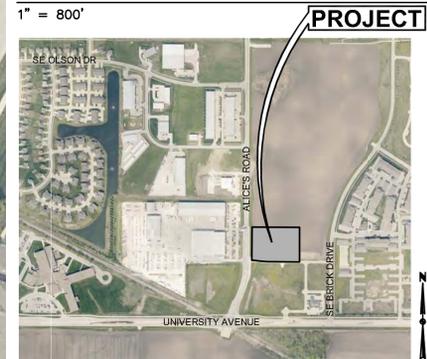
Name of Property Owner	Legal Description of Property	Mailing Address	Total Area of Property (SF)	Square Footage within 200' of Rezoning	% of Total Square Footage within 200' of Rezoning	Contacted	% Consenting	% Non-Consenting
Williams Pointe Commercial I	Williams Pointe Plat 7 Lot 2	1270 88th St	1,117,750 SF	168,544	28.10%	Yes	28.10%	
Williams Pointe Commercial I	Williams Pointe Plat 9 lot 1	1270 88th St	47,515 SF	38,523	6.42%	Yes	6.42%	
Williams Pointe Commercial I	Williams Pointe Plat 9 Lot 3	1270 88th St	43,150 SF	43,150	7.20%	Yes	7.20%	
Williams Pointe Commercial I	Williams Pointe Plat 9 Outlot A	1270 88th St	180,337 SF	144,161	24.04%	Yes	24.04%	
Gilcrest/Jewett Lumber Co.	Parcel C E 1/2 SE LYC N of RR ROW	1100 Alices Rd	1,031,936 SF	120,660	20.12%	Yes	20.12%	
Windhall at Williams Pointe LC	Williams Pointe Condos(BK2012 PG23576)	6900 Westown Pkwy	522,633 SF	64,609	10.77%	No		10.77%
Windhall at Williams Pointe LC	Williams Pointe Condos(BK2005 PG6440)	6900 Westown Pkwy	790,701 SF	20,071	3.35%	No		3.35%
	Total			599,718	100.00%		85.88%	14.12%



SUBMITTALS & REVISIONS
 DATE: 03/12/2013
 REZONING SUBMITTAL #2: 03/05/2013
 REZONING SUBMITTAL #1: 03/05/2013
 3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: NS
 CIVIL DESIGN ADVANTAGE
 PM: KW
 WAUKEE, IOWA
ACCESS SYSTEMS
REZONING MAP
 1
 2
 1303.071



VICINITY MAP



OWNER

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 1270 88TH ST
 WAUKEE, IA 50263
 PH. (515) 238-8873

APPLICANT

ACCESS SYSTEMS
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AND

LOT 2, WILLIAMS POINTE PLAT 9

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DEVELOPMENT SUMMARY

AREA:	3.06 ACRES (133,276 SF)
SETBACKS	
FRONT	= 30'
SIDE	= 0'
REAR	= 30'
OPEN SPACE	
TOTAL SITE	= 133,276 SF (3.06 AC.)
BUILDING	= 20,559 SF (15.4%)
PARKING AREAS	= 14,538 SF (10.9%)
DRIVEWAYS	= 29,151 SF (21.9%)
SIDEWALK	= 1,887 SF (1.4%)
OPEN SPACE REQUIRED	= 33,319 SF (25%)
OPEN SPACE PROVIDED	= 62,631 SF (47.0%)
PARKING	
REQUIRED	= 62 SPACES 3/1000 GFA)
PROVIDED	
ACCESSIBLE	= 4 SPACES
NON ACCESSIBLE	= 79 SPACES
TOTAL	= 83 SPACES

EXISTING/ PROPOSED ZONING

EXISTING: PD C1-A/R-3 AND C-4
 PROPOSED: PD C-4 AND PD C1-A

EXISTING/ PROPOSED USE

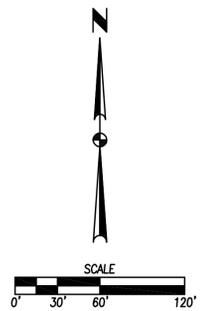
EXISTING: UNDEVELOPED
 PROPOSED: OFFICE

SUBMITTAL DATES

REZONING SUBMITTAL #1: 03/05/2013
 REZONING SUBMITTAL #2: 03/12/2013

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.



3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 WAUKEE, IOWA

CIVIL DESIGN ADVANTAGE
 ENGINEER:

ACCESS SYSTEMS
CONCEPTUAL DEVELOPMENT PLAN

2 / 2
 1303.071

DATE	03/12/2013
SUBMITTALS & REVISIONS	03/05/2013
REZONING SUBMITTAL #2	
REZONING SUBMITTAL #1	

GENERAL CONTRACTOR

DOWNING CONSTRUCTION INCORPORATED
 2500 WEST 2ND AVENUE PO BOX 196
 INDIANOLA, IOWA 50125
 PHONE: 515-961-5386 FAX: 515-961-0468



PERSPECTIVE RENDERING

NOTE: THIS IS AN ARTISTIC RENDERING ONLY. ACTUAL SITE GRADING, LANDSCAPING, & OTHER CONDITIONS MAY VARY. REFER TO CIVIL.

COVER SHEET INDEX

COVER 3D ARTWORK/ COVER SHEET

CIVIL

SHEET C1 PRELIMINARY SITE PLAN

ARCHITECTURAL

SHEET A1 MAIN LEVEL PLAN
 SHEET A2 MAIN LEVEL PRELIMINARY CUBICAL PLAN
 SHEET A3 MAIN LEVEL REFLECTED CEILING PLAN
 SHEET A4 SECOND LEVEL PLAN
 SHEET A5 SECOND LEVEL PRELIMINARY CUBICAL PLAN
 SHEET A6 SECOND LEVEL REFLECTED CEILING PLAN
 SHEET A7 WALL TYPES LEGEND & ROOF PLAN
 SHEET A8 EXTERIOR ELEVATIONS
 SHEET A9 EXTERIOR ELEVATIONS
 SHEET A10 BUILDING SECTIONS
 SHEET A11 WALL SECTIONS
 SHEET A12 DOOR & WINDOW ELEVATIONS
 SHEET A13 DOOR SCHEDULE
 SHEET A14 ROOM SCHEDULE & MICS INTERIOR ELEVATIONS

SHEET T1 TRASH ENCLOSURE

SUB-TOTAL SHEETS = 15

STRUCTURAL

SHEET S1 PRELIMINARY FOUNDATION PLAN

TOTAL SHEETS = 18

THIS PLAN IS THE PROPERTY OF
 DOWNING CONSTRUCTION INC.
 ANY USE WITHOUT WRITTEN
 PERMISSION IS PROHIBITED

DOWNING
 CONSTRUCTION INC.
 "Committed to Customer Satisfaction"
 Indianola, Iowa 50125 515-961-5386

Area Schedule (Gross Building)	
Name	Area
MAIN LEVEL BUSINESS (GROUP B)	12,581 SF
SECOND LEVEL BUSINESS (GROUP-B)	8,275 SF
MAIN LEVEL WAREHOUSE (GROUP S1)	7,720 SF
MEZZANINE (GROUP-S1)	2,478 SF
	31,055 SF

Room Color Scheme Legend

- BREAK ROOM
- CORRIDOR
- DEMOS
- EL. EQUIP.
- ELEVATOR
- FIELD TECH'S.
- IT CLUSTER
- IT SALES
- JANITOR'S
- MECHANICAL
- MENS
- OFFICE
- RECEPTION
- STORAGE
- VESTIBULE
- WAITING
- WAREHOUSE - NEW STOCK
- WAREHOUSE - SET-UP
- WAREHOUSE - TRADE-IN
- WAREHOUSE MEZZANINE
- WOMENS

Room Color Scheme Legend

- ADMIN/ ACCT.
- ASSISTANT
- BREAK ROOM
- CLOSET
- COATS
- CONFERENCE
- COPIER SALES
- CORRIDOR
- DATA CENTER
- DEMOS
- EL. EQUIP.
- ELEVATOR
- JANITOR'S
- MENS
- OFFICE
- PHONE
- PRINTER STATION
- RECEPTION
- SECURE UPS AREA
- SECURED ROOM
- SPRINKLER
- STAIRS
- VESTIBULE
- WAITING
- WAREHOUSE - NEW STOCK
- WAREHOUSE - SET-UP
- WAREHOUSE - TRADE-IN
- WAREHOUSE MANAGER
- WOMENS



SECOND LEVEL ARTWORK PLAN

SCALE: 1" = 20'-0"

FIRST LEVEL ARTWORK PLAN

SCALE: 1" = 20'-0"

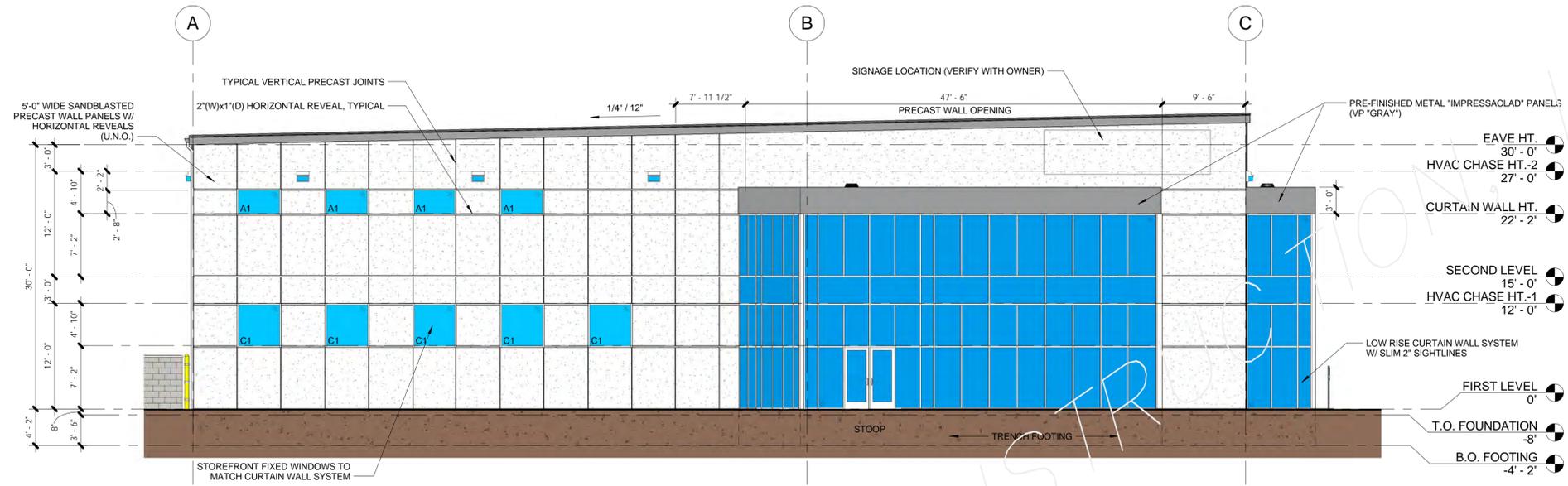
A.C. Pre-Engineered Building
 Waukee, Iowa

BID SET - NOT FOR CONSTRUCTION

DRAWN BY: CGL

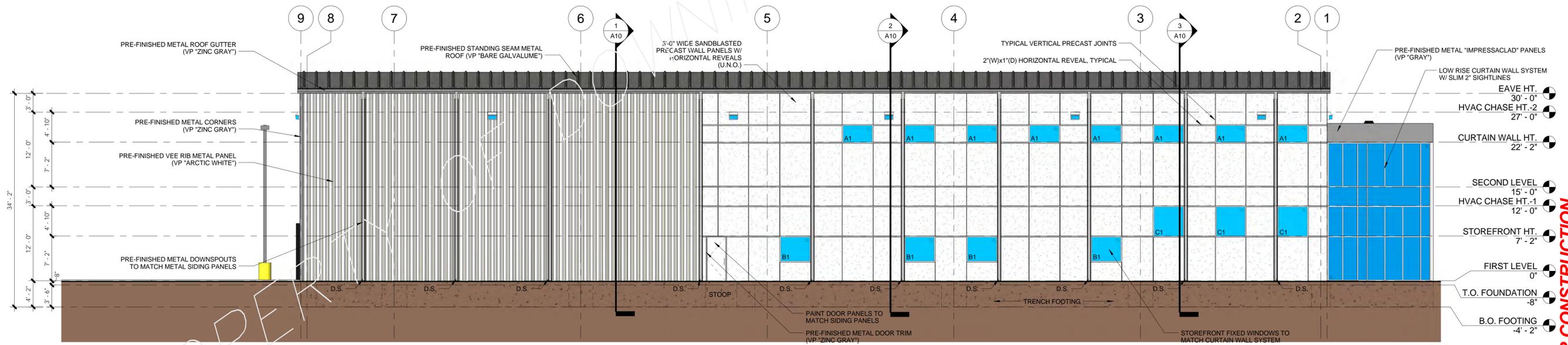
REVISED	02/05/2013 - New Site
	02/13/2013 - Site Mods.
	02/14/2013 - Bid Set

DRAWN	10/31/2012
SHEET	
COVER	18
OF	18



FRONT ELEVATION

1 SCALE: 1/8" = 1'-0"



LEFT ELEVATION

2 SCALE: 1/8" = 1'-0"

A.C. Pre-Engineered Building

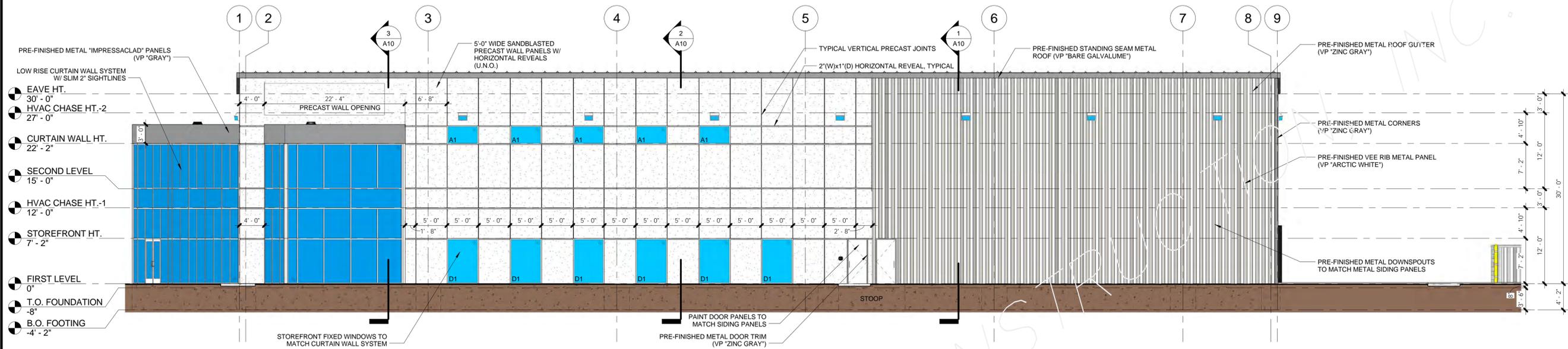
Waukee, Iowa

DRAWN BY: CGL

REVISED	02/05/2013 - New Site
	02/13/2013 - Site Mods.
	02/14/2013 - Bid Set
PLAN NO.	60-XXX

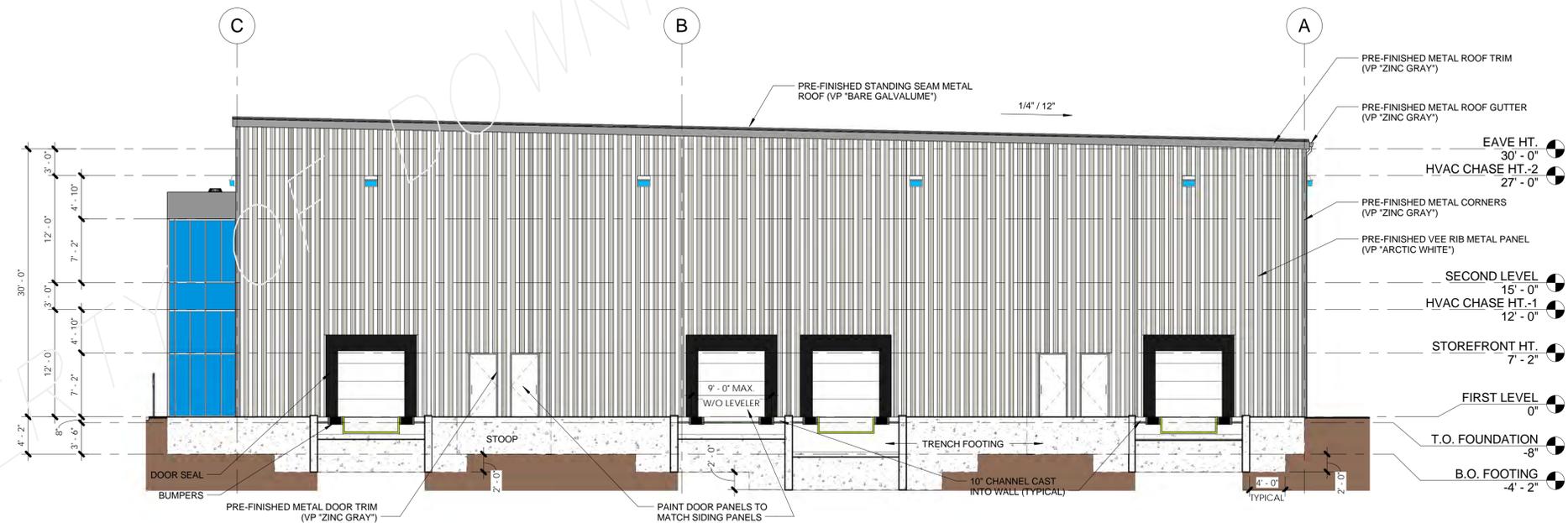
DRAWN	10/31/2012
SHEET	
A8	OF 14

BID SET - NOT FOR CONSTRUCTION



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

BID SET - NOT FOR CONSTRUCTION

DRAWN BY: CGL

REVISED
02/05/2013 - New Site
02/13/2013 - Site Mods.
02/14/2013 - Bid Set

PLAN NO.
60-XXX

DRAWN
10/31/2012

SHEET

A9 OF 14

A.C. Pre-Engineered Building

Waukee, Iowa

**DOWNING
CONSTRUCTION INC.**
"Committed to Customer Satisfaction"
Indianola, Iowa 50125 515-961-5386

WILLIAMS POINTE PLAT 9

PLANNED DEVELOPMENT

CITY OF WAUKEE

ORIGINALLY APPROVED BY WAUKEE CITY COUNCIL ON
AUGUST 1, 2005

AMENDED BY WAUKEE CITY COUNCIL ON OCTOBER 15, 2007

AMENDED BY WAUKEE CITY COUNCIL ON _____, 2007



September 2005

Amended and Approved by Waukee City Council on _____, 2013

WILLIAMS POINTE PLAT 9

Waukee, Iowa

Planned Development District (PD)

Item 1 Location, Size, Legal Description

- A. See Attached: Exhibit A – Vicinity Map
- B. See Attached: Exhibit B – Property Legal Description
- C. The property is bordered by Gilcrest/Jewett Lumber Company to the west across Alice’s Road, Williams Pointe Condominiums/Windhall at Williams Pointe Apartments to the east across SE Brick Drive, future commercial to the north and future commercial to the south across University Avenue.

Item 2 Topography

- A. See Attached: Exhibit C – Existing Topography and Features Map

Item 3 Location and Description of Major Site Features, including Tree Masses, Drainage ways, Wetlands, Soils

- A. See Attached: Exhibit C – Existing Topography and Features Map
- B. The site generally drains from east to west and carries the drainage from the existing Williams Pointe Condominiums/Windhall at Williams Pointe Apartments to a 42” RCP that crosses under Alice’s Road. According to the Dallas County Soil Survey, the type of soils in the area consist of Clarion loam, Nicollet loam, Canisteo silty-clay loam and Storden Loam.

Item 4 Location of 100 Year Floodplains

- A. Not Applicable

Item 5 Generalized Land Use Plan

- A. See Attached: Exhibit D – Rezoning Map (**Amended _____, 2013**)
Exhibit E – Preliminary Development Layout (**Amended _____, 2013**)
- B. The proposed development plan shows an 8-lot development with a private street system. Peoples Bank was constructed in 2005 and sits on Lot 1 of Williams Pointe Plat 9. The remaining lots are intended for a mixture of retail and office uses.

- Item 6 Proposed Types and Densities of Development**
A. See Attached: Exhibit F – Bulk Regulations (Amended _____, 2013)
- Item 7 General Location and Size of Building or Building Footprints**
A. See Attached: Exhibit E – Preliminary Development Layout
Refer to Section 3 for Conceptual Elevation Views
- Item 8 Site Master Plan, Including General Envelopes of Buildings, Parking, Open Space, and Other Site Features**
A. See Attached: Exhibit E – Preliminary Development Layout
B. Exhibit E shows the location of Peoples Bank on Lot 1 of Williams Pointe Plat 9 and the approximate location of an office building along Alice’s Road. The remaining lots show an approximate building pad location and parking for the lot. The uses and development requirements will meet the zoning regulations set forth by the PD Bulk Regulations.
- Item 9 Description and Location of all Use Types Included in the Project, including Maximum Floor Areas Devoted to Each Use**
A. See Attached: Exhibit F – Bulk Regulations
- Item 10 Location and Design of Vehicular, Bicycle, and Pedestrian Circulation Systems, including Relationship to External Transportation System and Location of Driveways or Access Points Adjacent to the Project**
A. See Attached: Exhibit E – Preliminary Development Layout
B. This property contains four access points to the development. There is a full access location onto Alice’s Road across from Gilcrest/Jewett Lumber, a full access location on University Avenue and two full access locations onto SE Brick Drive.
C. The remainder of the development includes a private internal access road system with 25’ road widths and head-in parking off of the drives. Ingress/Egress easements are shown on the preliminary plat to provide adequate access for all the lots.
D. There will be sidewalks throughout the development to allow pedestrian traffic accessibility to the site. A 10’ P.C.C. trail has been installed along University Avenue that connects into the Waukee City trail system. A 4’ foot P.C.C. sidewalk will also be installed along Alice’s Road and will be routed to the east of the existing detention pond. Internal sidewalks will be generally located on the north and west side of the private drives.

- Item 11** **Schematic Location and Development Standards for Open Space, including Conceptual Landscape Plan**
- A. See Attached: Exhibit F – Bulk Regulations
- Item 12** **Building Design Standards, including Height, Materials, Sections, and Other Information Required to Describe the Project**
- A. See Section 3: Architectural Character for the existing Peoples Bank and the proposed office building.
- B. All of the lots within the development shall meet the uses and development requirements set forth by Exhibit F – Bulk Regulations.
- Item 13** **Location of Existing and Proposed Utilities, Sanitary Sewer, Storm Water Facilities, and Water, Gas and Electrical Distribution Systems**
- A. See Attached: Exhibit C – Existing Topography & Features Map
- Item 14** **Proposed Site Development Regulations, Including Maximum FAR or Other Density Regulations, Building and Impervious Coverage, Setbacks, Maximum Heights, and Other Design Standards Specific to the Project**
- A. See Attached: Exhibit F – Bulk Regulations
- Item 15** **Proposed Signage**
- A. At the time of development, each site plan would propose specific signage for their particular lot that would meet requirements set forth in the Waukee Zoning Ordinance which outlines specific requirements for the size, number and types of signs allowed for each type of zoning.
- Item 16** **Proposed Public and Private Ownership Boundaries, including Proposed Private Lots and Common Ownership Areas**
- A. See Attached: Exhibit D – Rezoning Map
- Item 17** **Preliminary Plat, If Applicable**
- A. Not Applicable

Item 18 Final Plat, If Applicable

A. Not Applicable

**Item 19 Schedule Indicating Proposed Phasing and Scheduling of
Development**

A. Phase I construction of Peoples Bank site plan was approved by the Waukee City Council on July 18, 2005 and has been constructed. Phase II construction would include the proposed office building along SE Alice's Road and is proposed to be constructed upon City Council approval of a site plan in the summer of 2013.

**Item 20 Deed Restrictions, Covenants, Agreements, Association Bylaws, and
Other Documents Controlling the Use of the Property, Type of
Construction or Development or Activities of Future Residents**

**EXHIBIT 'A' – VICINITY
MAP**



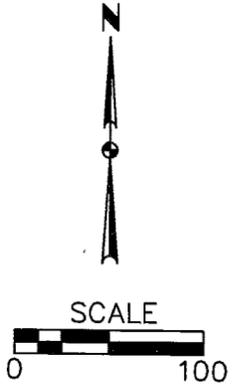
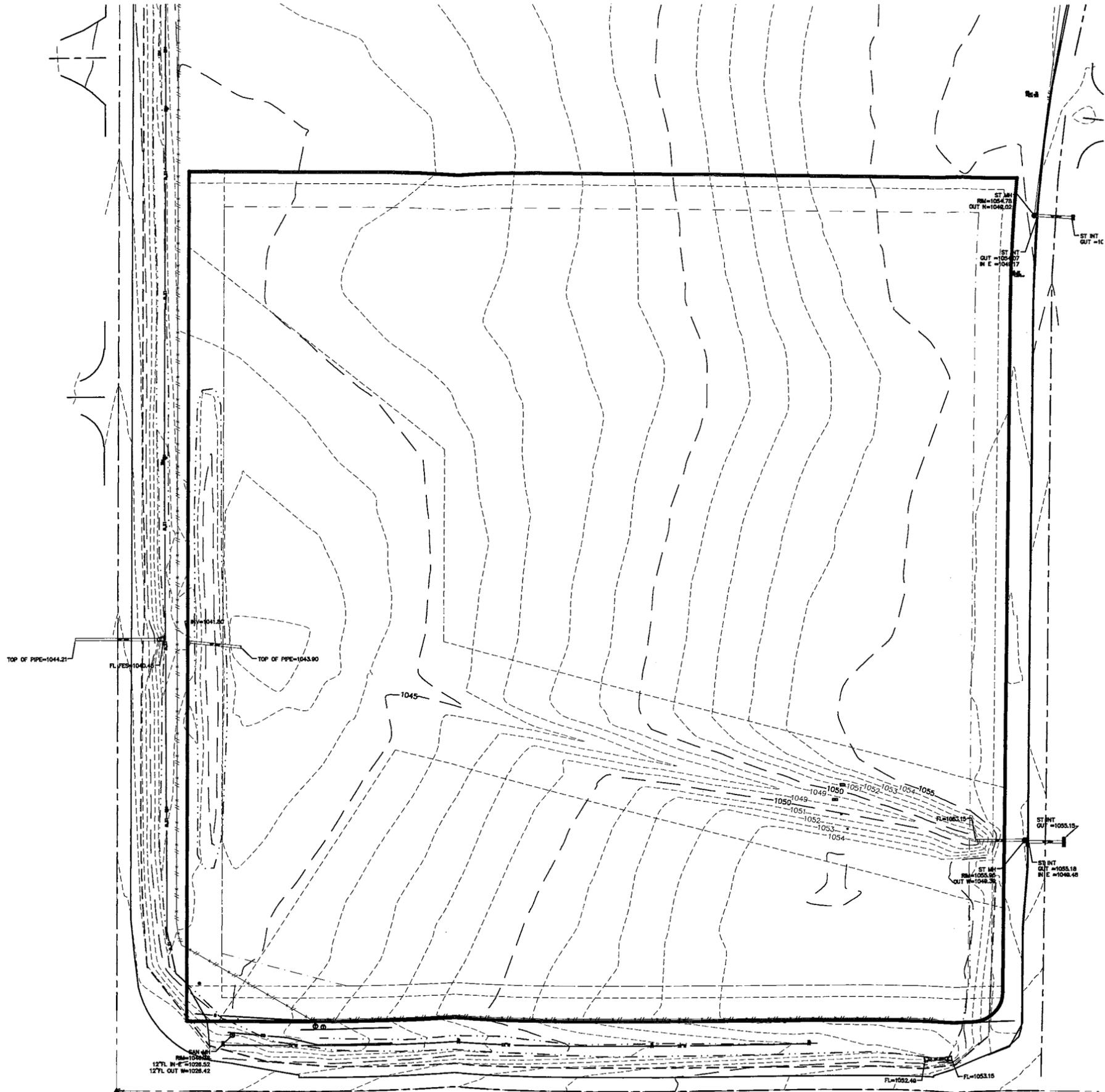
EXHIBIT 'B'
LEGAL DESCRIPTION

LOTS 1 THROUGH 3 AND OUTLOT A OF WILLIAMS POINTE PLAT 9, AN OFFICIAL PLAT, CITY OF WAUKEE, DALLAS COUNTY, IOWA; AND

A PART OF LOT 2, WILLIAMS POINTE PLAT 7, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00°18'53" EAST ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 120.63 FEET; THENCE SOUTH 89°41'07" EAST, 450.00 FEET; THENCE SOUTH 00°18'53" WEST, 121.10 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 89°37'31" EAST ALONG SAID SOUTH LINE, 450.00 FEET TO THE POINT OF BEGINNING;

CONTAINING 12.93 ACRES MORE OR LESS.



REVISIONS	DATE

5501 NW 112th SUITE G GRIMES, IOWA 50111
 PH: (515) 369-4400 Fax: (515) 369-4410

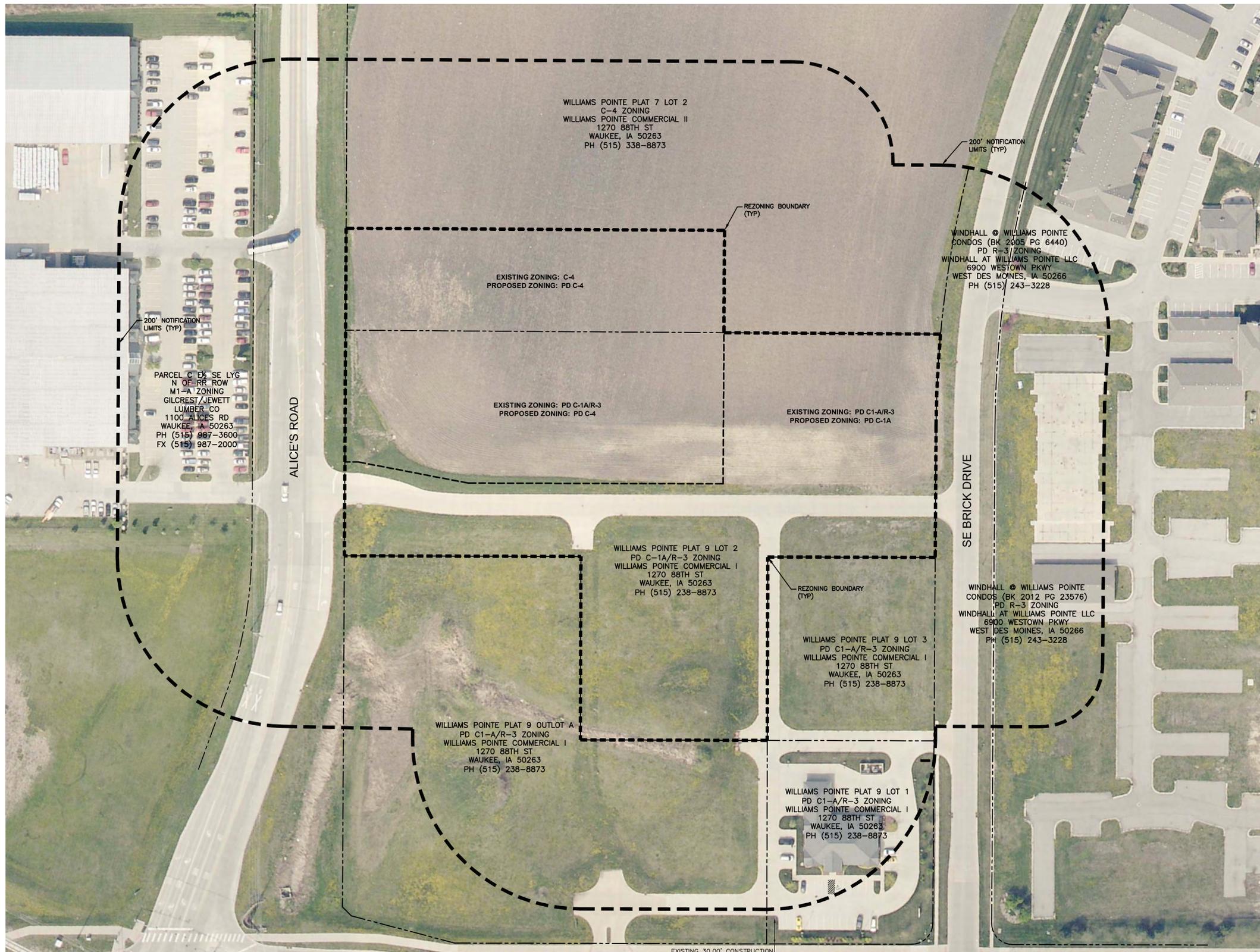


WAUKEE, IOWA

WILLIAMS POINTE PLAT 9
EXHIBIT 'C'

TECH: _____

FILE IN: C:\DATA\PROJECTS\WMA\REZONING\WMA-REZONING.DWG
 FILE DATE: 3/12/2013 5:30 PM
 PLOTTED BY: KEITH WEGGEN, TECH



VICINITY MAP

1" = 800'



OWNER

WILLIAMS POINTE COMMERCIAL I
 1270 88TH ST
 WAUKEE, IA 50263
 PH. (515) 238-8873

APPLICANT

ACCESS SYSTEMS
 CONTACT: JAY AGARD
 1050 SE OLSON DR
 WAUKEE, IA 50263
 PH. (515) 987-6227

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
 CONTACT: KEITH WEGGEN
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH. (515) 369-4400
 FX. (515) 369-4410

REZONING BOUNDARY LEGAL DESCRIPTION

A PART OF LOT 2, WILLIAMS POINTE PLAT 7, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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AND

LOT 2, WILLIAMS POINTE PLAT 9

PROPOSED PD C-4 LEGAL DESCRIPTIONS

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EXISTING/ PROPOSED ZONING

EXISTING: PD C-1A/R-3 AND C-4
 PROPOSED: PD C-4 AND PD C-1A

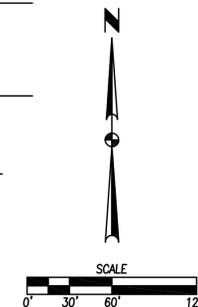
EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED

SUBMITTAL DATES

REZONING SUBMITTAL #1: 03/05/2013
 REZONING SUBMITTAL #2: 03/12/2013

Name of Property Owner	Legal Description of Property	Mailing Address	Total Area of Property (SF)	Square Footage within 200' of Rezoning	% of Total Square Footage within 200' of Rezoning	Contacted	% Consenting	% Non-Consenting
Williams Pointe Commercial I	Williams Pointe Plat 7 Lot 2	1270 88th St	1,117,750 SF	168,544	28.10%	Yes	28.10%	
Williams Pointe Commercial I	Williams Pointe Plat 9 lot 1	1270 88th St	47,515 SF	38,523	6.42%	Yes	6.42%	
Williams Pointe Commercial I	Williams Pointe Plat 9 Lot 3	1270 88th St	43,150 SF	43,150	7.20%	Yes	7.20%	
Williams Pointe Commercial I	Williams Pointe Plat 9 Outlot A	1270 88th St	180,337 SF	144,161	24.04%	Yes	24.04%	
Gilcrest/Jewett Lumber Co.	Parcel C E 1/2 SE LYC N of RR ROW	1100 Alices Rd	1,031,936 SF	120,660	20.12%	Yes	20.12%	
Windhall at Williams Pointe LC	Williams Pointe Condos(BK2012 PG23576)	6900 Westown Pkwy	522,633 SF	64,609	10.77%	No		10.77%
Windhall at Williams Pointe LC	Williams Pointe Condos(BK2005 PG6440)	6900 Westown Pkwy	790,701 SF	20,071	3.35%	No		3.35%
	Total			599,718	100.00%		85.88%	14.12%



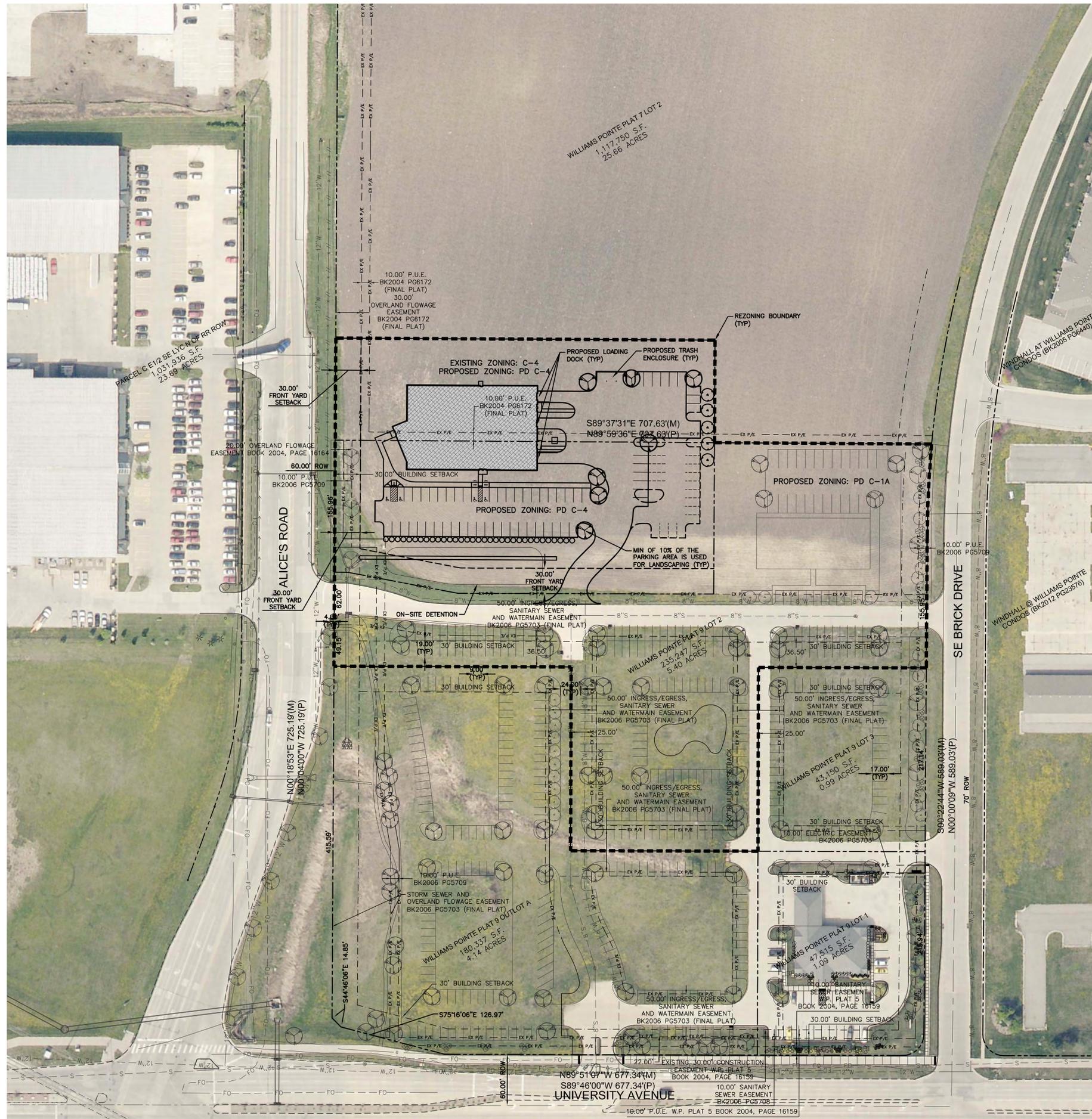
ACCESS SYSTEMS
 REZONING MAP

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

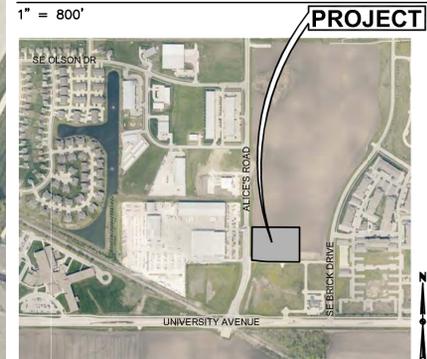
CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

TECH: NS
 PM: KW

DATE: 03/12/2013
 SUBMITTALS & REVISIONS: 03/05/2013
 REZONING SUBMITTAL #2
 REZONING SUBMITTAL #1



VICINITY MAP



OWNER

WILLIAMS POINTE COMMERCIAL I
 1270 88TH ST
 WAUKEE, IA 50263
 PH. (515) 238-8873

APPLICANT

ACCESS SYSTEMS
 CONTACT: JAY AGARD
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ENGINEER/SURVEYOR

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AND

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DEVELOPMENT SUMMARY

AREA:	3.06 ACRES (133,276 SF)
SETBACKS	
FRONT	= 30'
SIDE	= 0'
REAR	= 30'
OPEN SPACE	
TOTAL SITE	= 133,276 SF (3.06 AC.)
BUILDING	= 20,559 SF (15.4%)
PARKING AREAS	= 14,538 SF (10.9%)
DRIVEWAYS	= 29,151 SF (21.9%)
SIDEWALK	= 1,887 SF (1.4%)
OPEN SPACE REQUIRED	= 33,319 SF (25%)
OPEN SPACE PROVIDED	= 62,631 SF (47.0%)
PARKING	
REQUIRED	= 62 SPACES 3/1000 GFA)
PROVIDED	
ACCESSIBLE	= 4 SPACES
NON ACCESSIBLE	= 79 SPACES
TOTAL	= 83 SPACES

EXISTING/ PROPOSED ZONING

EXISTING: PD C1-A/R-3 AND C-4
 PROPOSED: PD C-4 AND PD C1-A

EXISTING/ PROPOSED USE

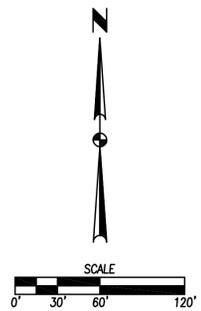
EXISTING: UNDEVELOPED
 PROPOSED: OFFICE

SUBMITTAL DATES

REZONING SUBMITTAL #1: 03/05/2013
 REZONING SUBMITTAL #2: 03/12/2013

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.



ACCESS SYSTEMS
 CONCEPTUAL DEVELOPMENT PLAN

2
2

1303.071

WAUKEE, IOWA

ENGINEER: CIVIL DESIGN ADVANTAGE
 PHONE: (515) 369-4400
 FAX: (515) 369-4410

TECH: 3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400
 FAX: (515) 369-4410

DATE	03/12/2013
SUBMITTALS & REVISIONS	03/05/2013
REZONING SUBMITTAL #2	03/12/2013
REZONING SUBMITTAL #1	03/05/2013

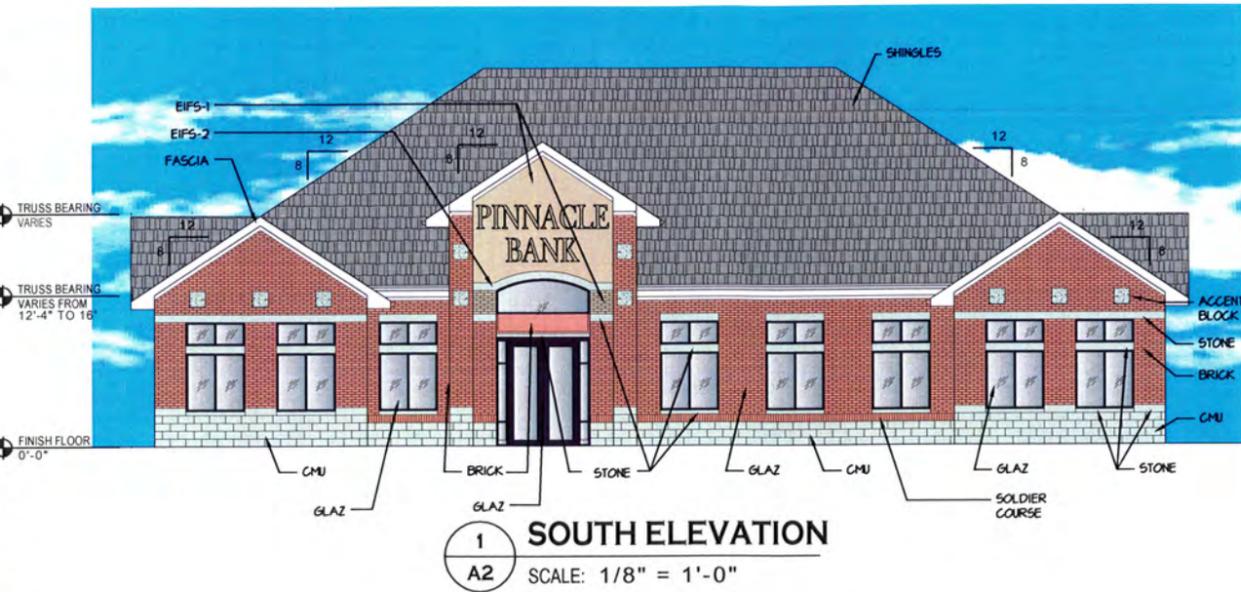
**Williams Pointe Plat 9
Planned Development
Exhibit 'F'**

Amended by Waukeee City Council on _____, 2013

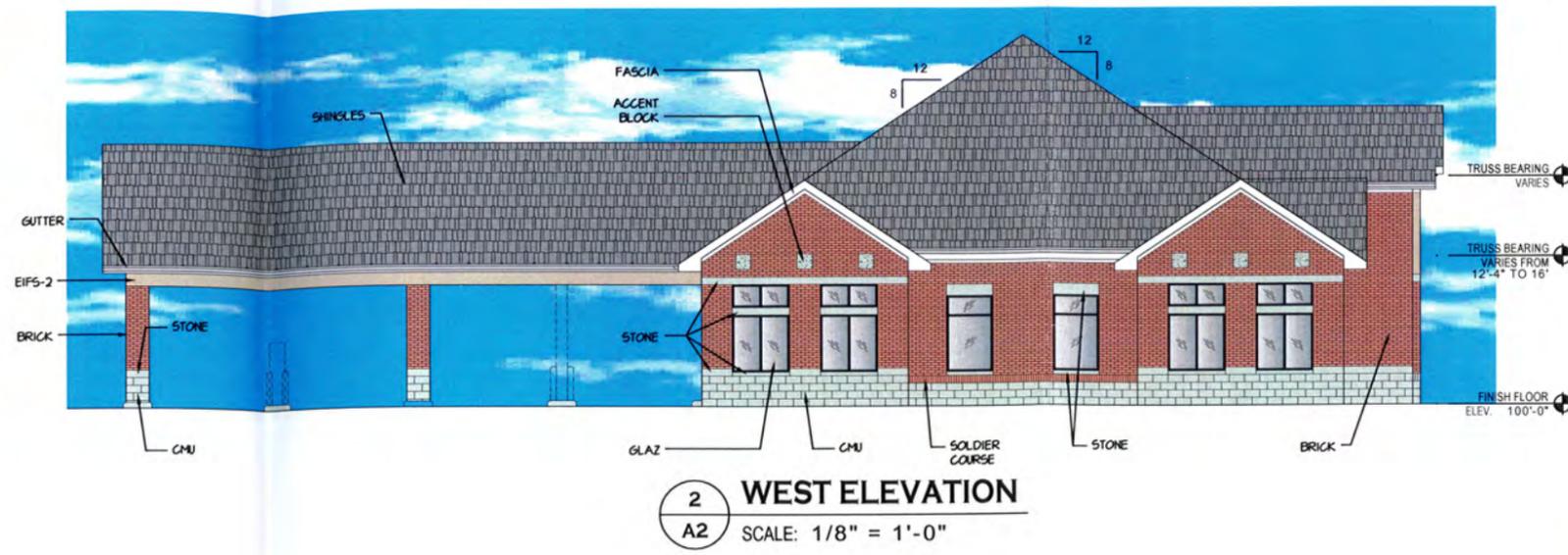
BULK REGULATIONS

'C-1' Community and Highway Service Commercial District Zoning Regulations and 'C-4' Office Park Commercial District shall apply except as listed below:

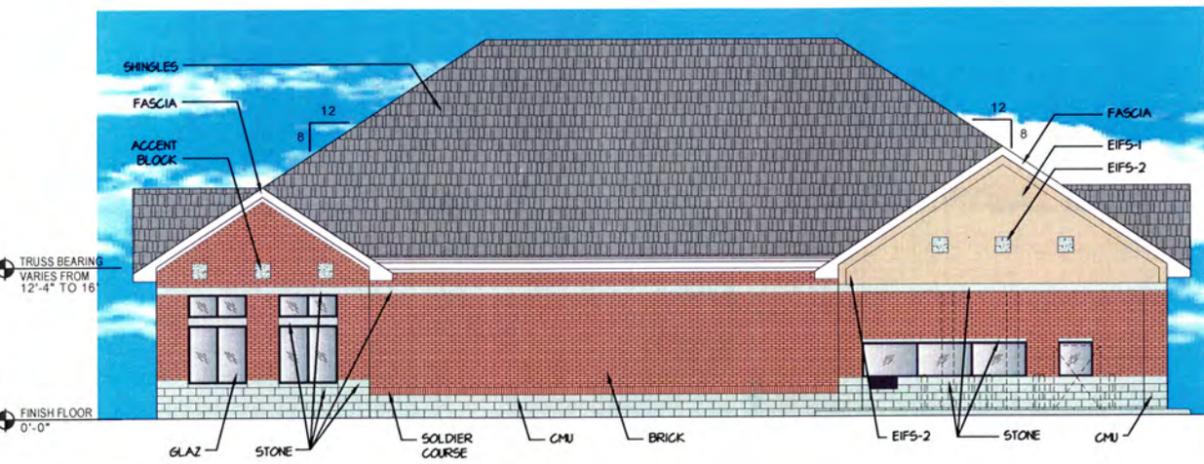
- A. Front Yard: 30 feet perimeter boundary and 30 feet setback from the internal property lines.
- B. Side Yard: No minimum shall apply except when bordering an 'R' District in which case the side yard shall be 15 feet.
- C. Rear Yard: 30 feet perimeter boundary and 30 feet from the internal property lines.
- D. Each lot will have a minimum 20% open space requirement.
- E. Commercial Parking: Parking will meet current City of Waukeee Ordinance requirements for minimum parking based upon use.



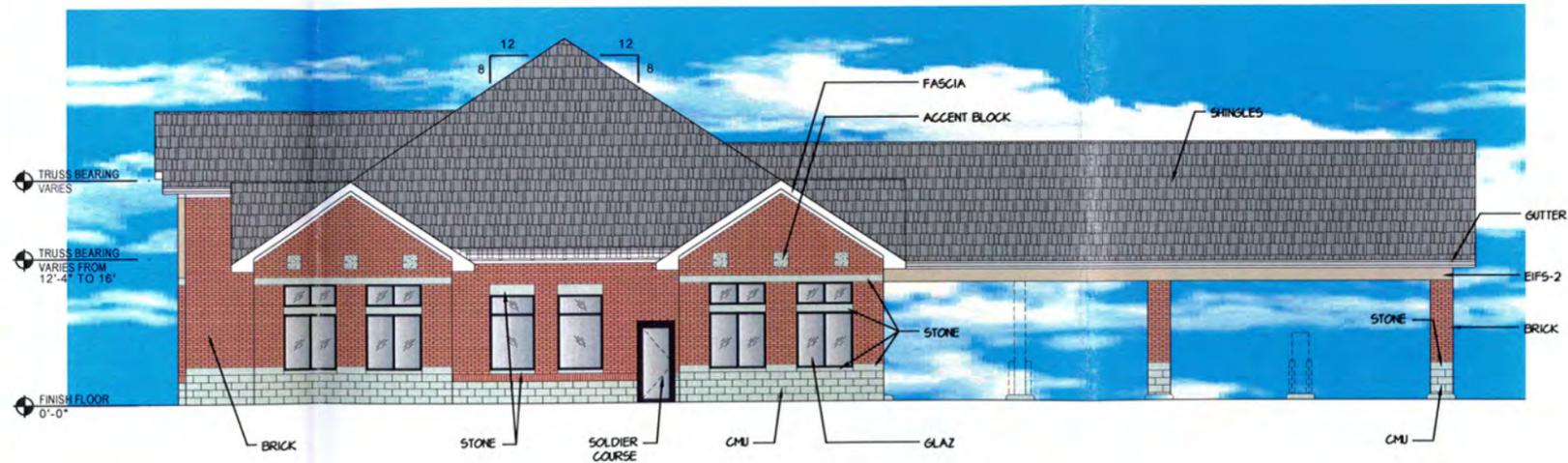
1 SOUTH ELEVATION
A2 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
A2 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A2 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
A2 SCALE: 1/8" = 1'-0"

simonson
simonson & associates architects llc
2420 128th street urbandale ia 50233
phn 515 440 5626 fax 515 440 0964

This drawing has been prepared by the Architect, or under the supervision of the Architect. This drawing is provided as an instrument of service by the Designer / Architect and its use for any purpose other than that intended is prohibited. Any reproduction, use, or disclosure of information contained herein without the written consent of the Architect is strictly prohibited. (C) Copyright 2005 by Simonson & Associates Architects, L.L.C.

PINNACLE BANK
WILLIAMS POINTE COMMERCIAL
WAUKEE, IOWA

NO.	ISSUE / REVISION	DATE
1	SCHEMATIC DESIGN	05-10-05
2	PRELIMINARY ARCHITECTURAL PRICING SET	05-16-05
3	CITY SUBMITTAL	05-20-05
4		06-21-05
5		08-23-05

Job No. **05078**
Date **AUG 18, 2005**
Sheet Title **EXTERIOR ELEVATIONS**
Sheet No.

MC1

GENERAL CONTRACTOR

DOWNING CONSTRUCTION INCORPORATED
 2500 WEST 2ND AVENUE PO BOX 196
 INDIANOLA, IOWA 50125
 PHONE: 515-961-5386 FAX: 515-961-0468



PERSPECTIVE RENDERING

NOTE: THIS IS AN ARTISTIC RENDERING ONLY. ACTUAL SITE GRADING, LANDSCAPING, & OTHER CONDITIONS MAY VARY. REFER TO CIVIL.

COVER SHEET INDEX

COVER 3D ARTWORK/ COVER SHEET

CIVIL

SHEET C1 PRELIMINARY SITE PLAN

ARCHITECTURAL

SHEET A1 MAIN LEVEL PLAN
 SHEET A2 MAIN LEVEL PRELIMINARY CUBICAL PLAN
 SHEET A3 MAIN LEVEL REFLECTED CEILING PLAN
 SHEET A4 SECOND LEVEL PLAN
 SHEET A5 SECOND LEVEL PRELIMINARY CUBICAL PLAN
 SHEET A6 SECOND LEVEL REFLECTED CEILING PLAN
 SHEET A7 WALL TYPES LEGEND & ROOF PLAN
 SHEET A8 EXTERIOR ELEVATIONS
 SHEET A9 EXTERIOR ELEVATIONS
 SHEET A10 BUILDING SECTIONS
 SHEET A11 WALL SECTIONS
 SHEET A12 DOOR & WINDOW ELEVATIONS
 SHEET A13 DOOR SCHEDULE
 SHEET A14 ROOM SCHEDULE & MICS INTERIOR ELEVATIONS

SHEET T1 TRASH ENCLOSURE

SUB-TOTAL SHEETS = 15

STRUCTURAL

SHEET S1 PRELIMINARY FOUNDATION PLAN

TOTAL SHEETS = 18

THIS PLAN IS THE PROPERTY OF
 DOWNING CONSTRUCTION INC.
 ANY USE WITHOUT WRITTEN
 PERMISSION IS PROHIBITED

DOWNING
 CONSTRUCTION INC.
 "Committed to Customer Satisfaction"
 Indianola, Iowa 50125 515-961-5386

Area Schedule (Gross Building)	
Name	Area
MAIN LEVEL BUSINESS (GROUP B)	12,581 SF
SECOND LEVEL BUSINESS (GROUP-B)	8,275 SF
MAIN LEVEL WAREHOUSE (GROUP S1)	7,720 SF
MEZZANINE (GROUP-S1)	2,478 SF
	31,055 SF

Room Color Scheme Legend

- BREAK ROOM
- CORRIDOR
- DEMOS
- EL. EQUIP.
- ELEVATOR
- FIELD TECH'S.
- IT CLUSTER
- IT SALES
- JANITOR'S
- MECHANICAL
- MENS
- OFFICE
- RECEPTION
- STORAGE
- VESTIBULE
- WAITING
- WAREHOUSE - NEW STOCK
- WAREHOUSE - SET-UP
- WAREHOUSE - TRADE-IN
- WAREHOUSE MEZZANINE
- WOMENS

Room Color Scheme Legend

- ADMIN/ ACCT.
- ASSISTANT
- BREAK ROOM
- CLOSET
- COATS
- CONFERENCE
- COPIER SALES
- CORRIDOR
- DATA CENTER
- DEMOS
- EL. EQUIP.
- ELEVATOR
- JANITOR'S
- MENS
- OFFICE
- PHONE
- PRINTER STATION
- RECEPTION
- SECURE UPS AREA
- SECURED ROOM
- SPRINKLER
- STAIRS
- VESTIBULE
- WAITING
- WAREHOUSE - NEW STOCK
- WAREHOUSE - SET-UP
- WAREHOUSE - TRADE-IN
- WAREHOUSE MANAGER
- WOMENS



SECOND LEVEL ARTWORK PLAN

SCALE: 1" = 20'-0"

FIRST LEVEL ARTWORK PLAN

SCALE: 1" = 20'-0"

A.C. Pre-Engineered Building
 Waukee, Iowa

BID SET - NOT FOR CONSTRUCTION

DRAWN BY: CGL

REVISED	02/05/2013 - New Site
	02/13/2013 - Site Mods.
	02/14/2013 - Bid Set

DRAWN	10/31/2012
SHEET	
COVER	18
OF	60-XXX



City of Waukeee
230 W. Hickman Road
Waukeee, IA 50263
Phone: (515) 978-9533
Fax: (515) 987-1845

NOTICE OF REZONING

March 18, 2013

Re: Proposed Rezoning – Williams Pointe Plat 7 and Williams Pointe Plat 9

Dear Property Owner:

Williams Pointe Commercial I and Williams Pointe Commercial II, owner of the property located at the intersection of SE Alice's Road and SE University Avenue have petitioned the City of Waukeee to rezone the property from a combination of C-1A [Neighborhood Commercial District]/R-3 [Rental Multi-Family Residential District] to a combination of C-1A [Neighborhood Commercial District]/C-4 [Office Park Commercial District] and to amend the Planned Development for Williams Pointe Plat 9. Information specific to how the property is proposed to be developed can be found on the City's website at: www.waukeee.org/developmentprojectswaukeee. A concept plan identifying the location of the property proposed to be rezoned and an anticipated layout has been attached to the back of this letter for your reference.

The Waukeee Planning and Zoning Commission will receive public input on this revised application at their meeting at **6:00 PM on March 26, 2013 in the City Hall Council Chambers, 230 W. Hickman Road (HWY 6), Waukeee**. As a neighboring property owner, you are being notified and invited to present your views concerning this application, either verbally by attending the meeting, or in writing. Written comments must be received by the City prior to the Planning and Zoning Commission meeting. Written comments should be addressed to the City of Waukeee, Attn: Director of Development Services, 230 W. Hickman Road, Waukeee, Iowa 50263.

Following the Planning and Zoning Commission's review and recommendation, the City Council will hold a **public hearing** on this application. A public hearing has been scheduled for **5:30 PM, on April 1, 2013, in the City Hall Council Chambers** at the above address. All interested parties are encouraged to attend and express their views.

If you know of any interested parties who have not received a copy of this letter, we would appreciate it if you would inform them of the time, date and place of the Planning and Zoning Commission's meeting and City Council public hearing. If you have any questions concerning this application or if you would like additional information, please call the Development Services Department at 515-987-4522 or the petitioners' professional, Brad Cooper at (515) 224-1344.

Sincerely,

Brad Deets
Development Services Director

