

PLANNING & ZONING AGENDA ITEM #6

Planning & Zoning Meeting date: 5/14/13

SUBJECT: Approval of a Site Plan for Alice Place Retirement Village [255 SE Brick Drive]

SYNOPSIS: The subject property is proposed to be developed as a 75,505 square foot senior specific apartment building with 58 units. The applicant had previously requested and has had approved a change in zoning on the property from PD C-1 to PD R-3 by the City Council on which the Planning and Zoning Commission reviewed on October 23, 2012.

The applicant has applied for and received an award of \$746,723 in tax credits from the State of Iowa related to the proposed affordable senior apartment building.

STAFF RECOMMENDATION: Staff would recommend approval of the site plan.

PROPOSED MOTION: Motion to Approve the Site Plan for Alice Place Retirement Village [255 SE Brick Drive].

ATTACHMENTS:

SUPPORTING DOCUMENTS:

- I. Staff Report
- II. Comment Response Letter, dated 5/10/2013
- III. City Comment Letter dated 5/7/2013
- IV. Site Plan
- V. Elevations
- VI. Photometric Plan

Prepared by: Ben Landhauser, City Planner



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Ben Landhauser

RE: Alice Place Retirement Village

DATE: May 14, 2013

GENERAL INFORMATION:

Applicant: Alice Place, L.P.

Requested Action Site Plan Approval

Location and Size: Property is generally located on the north side of SE Laurel Street between SE Waco Place and SE Brick Drive, containing approximately 7.06 acres.

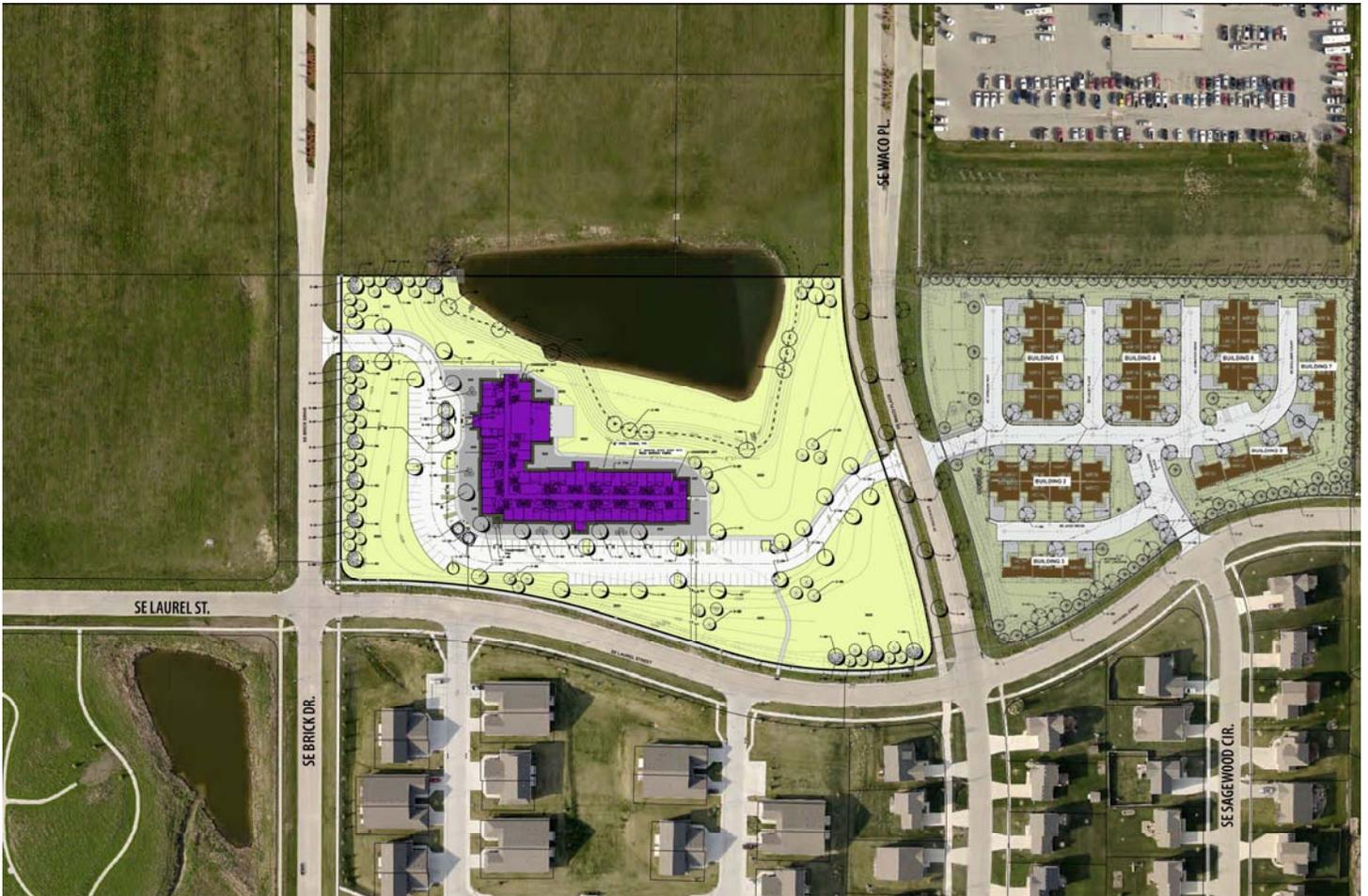
LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant - Undeveloped	Neighborhood Residential	PD R-3
North	Vacant - Undeveloped	Neighborhood Residential	PD C-1
South	Waukeee Family Townhomes & Williams Pointe Plat 10 Single Family Residential	Neighborhood Residential	PD R-4 / R-2
East	Undeveloped - Boulder Pointe Townhomes Site	Neighborhood Residential	PD R-3 / PD R-3A
West	Vacant - Undeveloped	Neighborhood Residential	PD C-1

BACKGROUND:

The subject property is proposed to be developed as a 75,505 square foot senior specific apartment building with 58 units. The applicant had previously requested and has had approved a change in zoning on the property from PD C-1 to PD R-3 by the City Council on which the Planning and Zoning Commission reviewed on October 23, 2012.

The applicant has applied for and received an award of \$746,723 in tax credits from the State of Iowa related to the proposed affordable senior apartment building.



ABOVE: Aerial of Property and Surrounding Area

PROJECT DESCRIPTION:

The proposed site plan identifies the development of a 3 story apartment building totaling approximately 75,500 square feet in size. The building would house a total of 58 apartment units. The primary building entry will face SE Brick Drive with access provided from both SE Brick Drive and SE Waco Place.

ACCESS AND PARKING:

Vehicular access to the site is proposed from SE Waco Place and SE Laurel Street. The access point on SE Waco Place is in alignment with the recently approved Boulder Pointe Townhome Project to provide for a unified access location into either site.

Per the Parking and Loading Areas Ordinance, the applicant is required to provide 1.25 parking spaces per unit and 1 stall per 5 units for guest parking which amounts to a requirement of 85 stalls for this site. The applicant has proposed to exceed this requirement with 98 stalls, including 10 handi-capped specific stalls. A one-way drop off lane is proposed at the primary entrance (west side) to the building.

PEDESTRIAN CIRCULATION:

A continuous sidewalk has been provided around the perimeter of the building with connections made to the public sidewalk/trail on all three adjoining streets (SE Brick Drive, SE Waco Place, and SE Laurel Street). A 10 foot public trail exists currently along the west side of SE Waco Place and was installed with the other plat improvements for Williams Pointe Plat 13.

UTILITIES:

All proposed public utilities are being routed to the building from existing service stubs on SE Brick Drive and SE Laurel Street. Storm water is being collected internal to the site and directed to the existing detention pond shared between this site and the Williams Pointe Plat 14 commercial lots to the north. The existing detention pond was sized to accommodate the detention needs of lots within Williams Pointe Plat 13 and 14 with the exception of the properties adjacent to E. Hickman Road. As part of the development of this site, the applicant is proposing to slightly modify the pooling level within the site for a more harmonious aesthetic relationship between the building and pond.

OPEN SPACE AND LANDSCAPING:

A total of 76 percent open space (61,480 square feet) is provided on the site which exceeds the minimum of 20%.

The planned development for Williams Pointe North requires a landscape buffer, minimum 15 feet in depth, be provided for all properties adjacent to a commercial district. With regard to this property, the buffering requirement applies to the north and west property lines which abut commercial districts. Additionally, in discussion and review of the recent request for zoning change, the applicant is providing a landscape buffer adjacent to SE Laurel Street in the southeast corner of the site across from the single family homes on SE Waco Place to provide a greater visual separation between the homes and the proposed apartment building. A total of 61 overstory, 49 evergreens, and 3 ornamental trees are proposed throughout the site to meet the buffering and general site beautification requirements. 126 shrubs are proposed in addition to the tree plantings which exceeds the minimum number (62) required for the site by ordinance exclusive of the landscape buffers.

ELEVATIONS:

Elevations have been provided for your review and appear to meet the new ordinance requirements related to scale, massing, and materials. Material samples will be available at the meeting for your review and consideration.

STAFF RECOMMENDATION

At this time staff feels comfortable with the site plan and would recommend approval.

CITY OF WAUKEE

Ben Landhauser
City Planner

COMMENT RESPONSE LETTER

Alice Place Site Plan

May 10, 2013

The following are remaining comments and responses to the City of Waukee's latest comment letter dated May 7, 2013.

GENERAL COMMENTS

1. ~~Staff questions if natural gas services are planned for the proposed units. Please address.~~ Staff would request additional information be provided identifying how and where the natural gas is intended to be routed to the building, along with the location of the meter location(s) for the building. Information as to the number and types of appliances/utilities planned to use natural gas would also be beneficial. Please address.
 - **The gas meter and pipe location has been shown on the utility plan. The heat will be gas but all appliances are anticipated to be electric.**
2. ~~IDNR Sanitary and Water Permits should be provided for review and approval.~~ Staff will verify that these will not be needed based upon the size of services being run through the property.
 - **This comment is duly noted.**

SITE PLAN

COVER SHEET

DETAILS

9. The Rock Apron For Pipe Outlet detail should be revised to include the required installation of an apron guard.
 - a. **The detail has been modified to include the apron guard.**

DIMENSION PLAN

20. ~~Site striping and traffic circulation controls should be indicated on the site plan for clarity as there is an assumed one-way past the main entry to the building.~~ The one-way drop off lane appears to be set up as a clockwise access and staff questions if the drive should be counter clockwise as would be more typical. Please address.
 - a. **The arrow has been modified to flow the other way.**
22. ~~Staff questions how garbage is intended to be stored and picked up for the property. An enclosure should be identified on the site plan if applicable and a detail of the enclosure included with the elevation drawings. Please address.~~ Verify that there is a minimum of 2 feet from the edge of the proposed trash enclosure wall and the edge of the nearest parking stall per the Parking and Loading Areas Ordinance. Additionally, staff would request that the dumpster detail be moved to Sheet 2 and a reference to the detail location within the plan set be called out on the dimension plan.
 - a. **The enclosure has been modified to provide 2 feet of clearance between the parking space.**
23. ~~All public sidewalks should be revised to a minimum 5 feet in width to comply with current ADA requirements.~~ Verify that all details provided as a part of the plan set are reflective of the 5 foot width.
 - a. **The typical cross section has been modified to 5 feet.**

GRADING PLAN

24. Grading Note #13 should be revised to eliminate the question as to when the installation of said improvements are necessary to identify the need to provide an as-built grading plan to the City of Waukee Engineering Department.
- a. **The note has been modified.**
28. ~~Staff questions if a rock shoulder needs to be installed around the pond edge to prevent erosion. Please address.~~ Staff questions how the edge of the pond is intended to be stabilized. Please address.
- a. **I will discuss this with the client. The intention is to have a manicured grass edge up to the pond. No riprap is being proposed at this time.**
29. ~~ADA ramps should be provided for all applicable handicapped aisles indicated on the site. Staff questions if curb stops or bollards should be provided to keep vehicles from encroaching on the sidewalk adjacent to the handi-capped stalls. Please address.~~
- a. **Wheel stops have been provided and a detail added to Sheet 2.**

EROSION & SEDIMENT CONTROL PLAN

31. The note related to the construction entrance location should be legible.
- a. **This has been modified.**
32. Staff questions if any modification is needed relative to the existing flared end section outlet and the corresponding rip-rap due to the proposed grading work extending near this location. Please address.
- a. **A note has been added to the utility plan to address the rip-rap.**

UTILITY PLAN

34. ~~Hydrant radii (250 feet) should be indicated on the site plan. Hydrant radii of 150 feet should be indicated for the adjoining streets of the site.~~
- a. **The hydrant radii has been shown for offsite hydrants.**
35. ~~The amount of rip-rap proposed at the outlet locations should be called out on the site plan. Staff questions if a note should be added to the plan set related to the existing outlet into the detention pond identifying the contractor's responsibility to replace any rip rap disturbed as a part of construction. Please address.~~
- a. **A note has been added.**
36. ~~The existing flared end section outlet elevation should be indicated on the plan set for clarity. Verify this elevation is accurate.~~
- a. **The flowline has been verified. It is supposed to be the same as the outlet pipe.**
38. Staff questions if the 6 inch sanitary service is adequate for the size and number of units proposed in the building. Please address.
- a. **After talking with the architect, he feels a 6-inch is adequate however we are going to upsize the service to be conservative.**
40. Verify that all of the water information is accurate as there appears to be several locations called out with conflicting information related to 8 inch and/or 6 inch water line sizes, fittings, etc.
- a. **The water has been modified to represent a 6-inch water service.**
41. A note should be added to the plan set identifying all hydrants to have a Storz adapter.
- a. **This note was added to the utility notes.**

LANDSCAPE PLAN

47. In addition to the islands being provided within the parking lot separating runs of 15 or less parking stalls, the islands are required to have a tree placed within them which should be addressed as part of the landscape plan.
 - a. **Trees have been shown within the parking islands.**

SWPPP

ELEVATIONS

53. ~~As noted during the review of the elevation drawings at the time of rezoning, the applicant needs to spend time reviewing the City's Site and Building Standards Ordinance (Chapter 304) and the adopted Architectural Design Example Book (Page 6) to better align the design of the building with the provisions established in the ordinance and example book. Generally speaking, staff would request that the elevations provide for a greater variation in color, building material types, building material height, reduction in scale/massing, and emphasis places on the main entrance(s). The elevations should also provide for heavier materials (larger profile) at the base/lower levels and lighter materials above. The proposed roofline is simplistic and not well resolved where the east/west roof meets the north/south roof which should be addressed. The building should provide for the same level of interest and detail on all sides of the building. Staff met with the project architect and identified a few areas where additional consideration should be given to making the building appear as consistent on all sides and planes as possible. Staff would request that these changes be addressed and revisions provided for review.~~
 - a. **Revised elevations have been provided.**

57. Building material samples should be provided for Staff review prior to the Planning and Zoning Commission and City Council meetings.

- a. **This comment is duly noted.**

58. Verify the proposed elevations are reflective of the actual stone, brick, and residential siding types planned for this building.

- a. **Revised elevations have been provided.**

MISCELLANEOUS

60. Staff would request the the next submittal be provided in digital (PDF) form. Please address.

- a. **PDF of the submittal has been provided.**



Development Services Department

230 W. Hickman Road

Waukeee, IA 50263

Phone: (515) 978-9533

Fax: (515) 987-1845

May 7, 2013

Civil Design Advantage, LLC
Attn: Erin Ollendike
5501 NW 112th Street, Suite G
Grimes, IA 50111

RE: Alice Place Retirement Village – Site Plan

Dear Mrs. Ollendike:

Per your request, staff has reviewed the proposed site plan for the Alice Place Retirement Village related to Lot 2 of Williams Pointe Plat 13. The property in question is located in the northwest corner of the SE Waco Place/SE Laurel Street intersection, north of the Waukeee Family Townhomes development. Based upon our review, staff has the following comments related to the site plan:

GENERAL COMMENTS

1. ~~Staff questions if natural gas services are planned for the proposed units. Please address.~~ **Staff would request additional information be provided identifying how and where the natural gas is intended to be routed to the building, along with the location of the meter location(s) for the building. Information as to the number and types of appliances/utilities planned to use natural gas would also be beneficial. Please address.**
2. ~~IDNR Sanitary and Water Permits should be provided for review and approval.~~ **Staff will verify that these will not be needed based upon the size of services beign run through the property.**
3. ~~The proposed erosion and sediment control plan should be included as part of the plan set. Additionally, staff questions how the storm water release rate is being controlled. Please address.~~

SITE PLAN

COVER SHEET

4. ~~Verify the name and contact information indicated for the architect is accurate.~~
5. ~~The zoning indicated for the project should be revised to reflect the adopted zoning designation of PD R-3.~~
6. ~~The address of the project should be indicated on the site plan. Based on the building entrance facing SE Brick Drive, the address should be indicated as 255 SE Brick Drive.~~
7. ~~A note should be added to the site plan indicating an as-built site plan (in PDF form and hard copy) to be provided to the City of Waukeee upon completion of all site improvements.~~
8. ~~A note should be added to the plan set indicating the contractor's responsibility to contact the Development Services Department to set up a pre-construction meeting prior to any work beginning on the site.~~

DETAILS

9. **The Rock Apron For Pipe Outlet detail should be revised to include the required installation of an apron guard.**

DIMENSION PLAN

10. ~~General Note #5 should be revised to specify the City of Waukeee Engineering Department.~~

11. A note should be added to the plan set indicating the contractor's responsibility to provide an updated site plan and detail information for any changes to the site plan and receive written approval of said change(s) from the City of Waukee Engineering Department prior to executing the change.
12. The overall building footprint should be indicated on the site plan. Additionally, the total building square footage (all 3 floors worth) should be indicated on the site plan for clarity.
13. All existing easements should be indicated on the site plan with recorded Book and Page.
14. The possible location of a monument sign meeting the minimum setback requirement of 15 feet from all property lines should be identified on the site plan for future reference. Staff would be comfortable identifying 2 possible locations on the site plan with a note provided identifying the number of monument signs to be reviewed and approved by the Development Services Department.
15. Due to the length of access between SE Brick Drive and SE Waco Place, staff questions if it would be beneficial to provide an access from SE Laurel Street in line with the west side of SE Jonas Circle. Additionally, staff would request a pedestrian connection to SE Laurel Street be provided as a part of the site development. Please address.
16. Staff questions if it would be beneficial to flip the building and parking so that the access drive and parking would be on the north side of the building and would thereby shorten/lessen the amount of paving on the site. If the building and parking are not flipped, staff would recommend enhancing the pedestrian access adjacent to the pond to better utilize the amenity on site. Please address.
17. Staff questions if proper egress from the building is being provided on the north and south side of the building for the building segment that extends east/west. Staff would note that the building footprint indicated on the landscape plan identifies a patio/porch with egress without a corresponding stoop and/or sidewalk which should be addressed.
18. The parking areas should be revised as the Landscape and Open Space Ordinance requires the inclusion of islands for segments of stalls in excess of 15 stalls in a single row.
19. The area(s) proposed to be used as a fire lane where access is provided to the FDC should be enlarged to provide for a lane width of 26 feet per the adopted Fire Code.
20. Site striping and traffic circulation controls should be indicated on the site plan for clarity as there is an assumed one-way past the main entry to the building. **The one-way drop off lane appears to be set up as a clockwise access and staff questions if the drive should be counter clockwise as would be more typical. Please address.**
21. Verify consistency between the site plan and elevation drawings relative to the number of egress doors shown on the elevation drawings and site plan along with the need to include stoops and egress paths as applicable.
22. Staff questions how garbage is intended to be stored and picked up for the property. An enclosure should be identified on the site plan if applicable and a detail of the enclosure included with the elevation drawings. Please address. **Verify that there is a minimum of 2 feet from the edge of the proposed trash enclosure wall and the edge of the nearest parking stall per the Parking and Loading Areas Ordinance. Additionally, staff would request that the dumpster detail be moved to Sheet 2 and a reference to the detail location within the plan set be called out on the dimension plan.**
23. All public sidewalks should be revised to a minimum 5 feet in width to comply with current ADA requirements. **Verify that all details provided as a part of the plan set are reflective of the 5 foot width.**

GRADING PLAN

24. **Grading Note #13 should be revised to eliminate the question as to when the installation of said improvements are necessary to identify the need to provide an as-built grading plan to the City of Waukee Engineering Department.**
25. Spot elevations should be provided at all proposed building corners.
26. The 100-year flood limit should be illustrated on the site plan for clarity.

27. ~~The detention pond overflow route should be indicated on the site plan.~~
28. ~~Staff questions if a rock shoulder needs to be installed around the pond edge to prevent erosion. Please address.~~ **Staff questions how the edge of the pond is intended to be stabilized. Please address.**
29. ~~ADA ramps should be provided for all applicable handicapped aisles indicated on the site.~~ **Staff questions if curb stops or bollards should be provided to keep vehicles from encroaching on the sidewalk adjacent to the handi-capped stalls. Please address.**
30. ~~Staff would request that berming be provided in the southeast corner of the site to correspond with the proposed landscaping to provide for a better buffering between the proposed apartment building and single family residential properties off of SE Waco Place. Please address.~~

EROSION & SEDIMENT CONTROL PLAN

31. **The note related to the construction entrance location should be legible.**
32. **Staff questions if any modification is needed relative to the existing flared end section outlet and the corresponding rip-rap due to the proposed grading work extending near this location. Please address.**

UTILITY PLAN

33. ~~Verify that a hydrant is within 100 feet of the FDC. Additionally, the Fire Department has requested a hydrant be provided on either side (east and west) of the building.~~
34. ~~Hydrant radii (250 feet) should be indicated on the site plan.~~ **Hydrant radii of 150 feet should be indicated for the adjoining streets of the site.**
35. ~~The amount of rip-rap proposed at the outlet locations should be called out on the site plan.~~ **Staff questions if a note should be added to the plan set related to the existing outlet into the detention pond identifying the contractor's responsibility to replace any rip rap disturbed as a part of construction. Please address.**
36. ~~The existing flared end section outlet elevation should be indicated on the plan set for clarity.~~ **Verify this elevation is accurate.**
37. ~~A detail of the proposed flared end sections should be provided identifying the proposed footing and apron guard.~~
38. **Staff questions if the 6 inch sanitary service is adequate for the size and number of units proposed in the building. Please address.**
39. ~~Sanitary sewer cleanouts should be provided and called out on the site plan.~~
40. **Verify that all of the water information is accurate as there appears to be several locations called out with conflicting information related to 8 inch and/or 6 inch water line sizes, fittings, etc.**
41. **A note should be added to the plan set identifying all hydrants to have a Storz adapter.**

LANDSCAPE PLAN

42. ~~The open space provided, along with the impervious and pervious surface areas calculations should be indicated on the site plan.~~
43. ~~The location of all proposed ground mounted mechanical units and transformer locations should be indicated on the plan for clarity. Additionally, the means of screening should be identified on the landscape plan.~~
44. ~~All trees shown within the 100-year flood limits of the detention pond should be relocated out of the 100-year flood level.~~
45. ~~All areas proposed to be seeded and/or sodded should be indicated on the landscaping plan.~~
46. ~~A note should be added to the plan set indicating Permanent Occupancy of the building subject to IDNR requirements for site establishment.~~

47. In addition to the islands being provided within the parking lot separating runs of 15 or less parking stalls, the islands are required to have a tree placed within them which should be addressed as part of the landscape plan.

SWPPP

48. Provide a copy of the Construction Site SWPPP Review Checklist signed by SWPPP designer.
49. Provide a copy of the SWPPP prepared for obtaining GP2 coverage.
50. Provide a copy of the IDNR issued General Permit #2 authorization letter (can accept from issuance on DNR website if all other required items are complete).
51. Complete COSESCO application and submit with \$65 fee for the first required quarterly COSESCO inspection.
52. The applicant will be required to provide the following as a part of the completion of the public improvements prior to approval of a certificate of occupancy:
 - a. ~~Post Construction *What practices considered for this site?*~~
 - i. ~~Provide a site plan specific to the storm water management facilities of the property indicating the permanent measures utilized by the designer and requirements for maintenance of said facilities.~~
 - b. ~~As-built plans of all storm water management facilities on site and a certification statement signed by SWPPP designer indicating that facilities were constructed as designed will be required.~~

ELEVATIONS

53. ~~As noted during the review of the elevation drawings at the time of rezoning, the applicant needs to spend time reviewing the City's Site and Building Standards Ordinance (Chapter 304) and the adopted Architectural Design Example Book (Page 6) to better align the design of the building with the provisions established in the ordinance and example book. Generally speaking, staff would request that the elevations provide for a greater variation in color, building material types, building material height, reduction in scale/massing, and emphasis places on the main entrance(s). The elevations should also provide for heavier materials (larger profile) at the base/lower levels and lighter materials above. The proposed roofline is simplistic and not well resolved where the east/west roof meets the north/south roof which should be addressed. The building should provide for the same level of interest and detail on all sides of the building. **Staff met with the project architect and identified a few areas where additional consideration should be given to making the building appear as consistent on all sides and planes as possible. Staff would request that these changes be addressed and revisions provided for review.**~~
54. ~~Verify that there are not intended to be windows on the stairwells on the east side of the building.~~
55. ~~The roofline identified in the west elevation of the building does not provide the same articulation as the east elevation which should be addressed.~~
56. ~~Shadow lines and shading should be included in the elevation drawings providing for the appropriate understanding of the depth and separation of planes proposed.~~
57. **Building material samples should be provided for Staff review prior to the Planning and Zoning Commission and City Council meetings.**
58. **Verify the proposed elevations are reflective of the actual stone, brick, and residential siding types planned for this building.**

MISCELLANEOUS

59. ~~A photometric plan identifying all site and wallpack lighting fixtures should be provided for review. Additionally, manufacture's cutsheets of all proposed site and building wall lighting fixtures should be included in the submittal.~~

60. **Staff would request the the next submittal be provided in digital (PDF) form. Please address.**

Revisions should be received no later than **2:30 PM, Friday, May 10th** in order to stay on schedule for the Planning and Zoning Commission meeting on **May 14th at 6:00 PM**. Following a successful recommendation from the Planning and Zoning Commission, the project would be placed on the agenda for City Council on **May 20th at 5:30 PM**. Should you have any questions or concerns regarding these comments, please feel free to contact Brad Deets or myself at 987-4522.

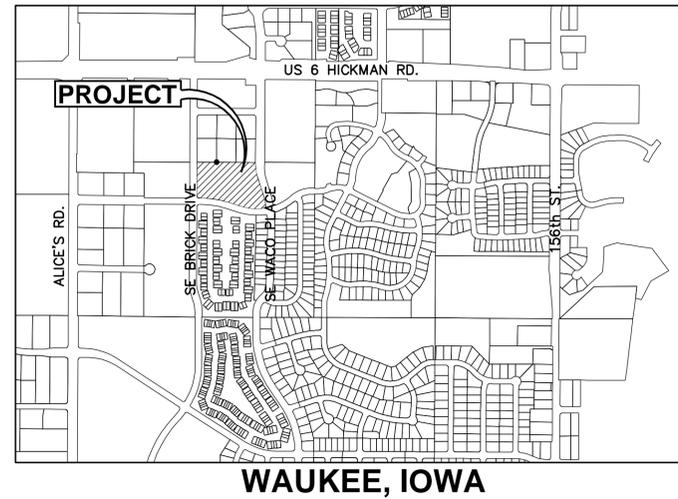
Sincerely,

Ben Landhauser
City Planner

SITE PLAN FOR: ALICE PLACE RETIREMENT VILLAGE

WAUKEE, IOWA

VICINITY MAP
NOT TO SCALE



INDEX OF SHEETS

NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS / HYDRANT COVERAGE PLAN
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GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

OWNER/APPLICANT

ALICE PLACE, L.P.
20 SANDSTONE COURT
LE CLAIRE, IA 52753

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

STOCK DESIGN ARCHITECTURE
CONTACT: MONTE STOCK
307 N 36TH STREET, SUITE 111
QUINCY, IL 62301

BENCHMARKS

DALLAS COUNTY G118
SOUTHWEST CORNER OF UNIVERSITY AVENUE AND 59TH
PLACE IN THE CITY OF WEST DES MOINES.
ELEVATION=972.25

PROJECT BENCHMARK
TAGGED BURY BOLT ON HYDRANT LOCATED AT THE NW
CORNER OF SE LAUREL DRIVE AND SE LEGACY.
ELEVATION=1036.60

PROJECT BENCHMARK
ARROW ON HYDRANT AT THE SE CORNER OF SE BRICK
AND SE LAUREL STREET.
ELEVATION=1032.11

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 4/9/2013
-SITE PLAN SUBMITTAL TO CITY #2: 4/29/2013
-SITE PLAN SUBMITTAL TO CITY #3: 5/10/2013

LEGAL DESCRIPTION

WILLIAMS POINTE PLAT 13, LOT 2

ZONING

PD - PLANNED DEVELOPMENT
(UNDERLYING ZONING: R-3 MULTI-FAMILY)

PROJECT SITE ADDRESS

255 SE BRICK DRIVE

BULK REGULATIONS

• 'R-3' MULTI-FAMILY RESIDENTIAL DISTRICT ZONING
REGULATIONS SHALL APPLY TO THIS AREA EXCEPT AS
LISTED BELOW.

1. PRINCIPAL PERMITTED USES FOR THIS AREA SHALL INCLUDE CONDOMINIUM DWELLINGS, AND APARTMENT DWELLINGS
2. MINIMUM LOT AREA: 10,000 SQUARE FEET PERIMETER BOUNDARY (CONDOMINIUMS/APARTMENTS) 2,500 SQUARE FEET PER HOUSING UNIT LOT
3. MAXIMUM DENSITY: 18 HOUSING UNITS PER GROSS ACRE
4. FRONT YARD: 25 FEET PERIMETER BOUNDARY
5. SIDE YARD: NO MINIMUM SHALL APPLY EXCEPT WHERE BORDERING A R-1, R-2, R-3, R-5, C OR M DISTRICTS IN WHICH CASE THE SIDE YARD SHALL BE 15 FEET; THE BUILDINGS SHALL HAVE A MINIMUM OF 10 FEET BETWEEN THEM.
6. REAR YARD: 25 FEET PERIMETER BOUNDARY; THE BUILDINGS SHALL HAVE A MINIMUM OF 20 FEET BETWEEN THEM.

DATE OF SURVEY

APRIL 2013

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = MAY 2013
ANTICIPATED FINISH DATE = DECEMBER 2013



UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1208.344

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

ERIN K. OLLENDIKE
IOWA ENGINEER
1692

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E. DATE _____

PRELIMINARY

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2013
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1-6

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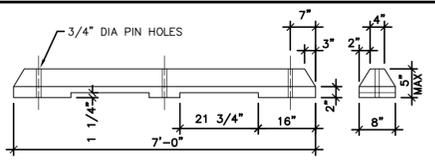
ALICE PLACE RETIREMENT VILLAGE

DATE	
REVISIONS	
THIRD SUBMITTAL	05/10/13
SECOND SUBMITTAL	04/29/13
FIRST SUBMITTAL	04/09/13

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
TECH: JMM



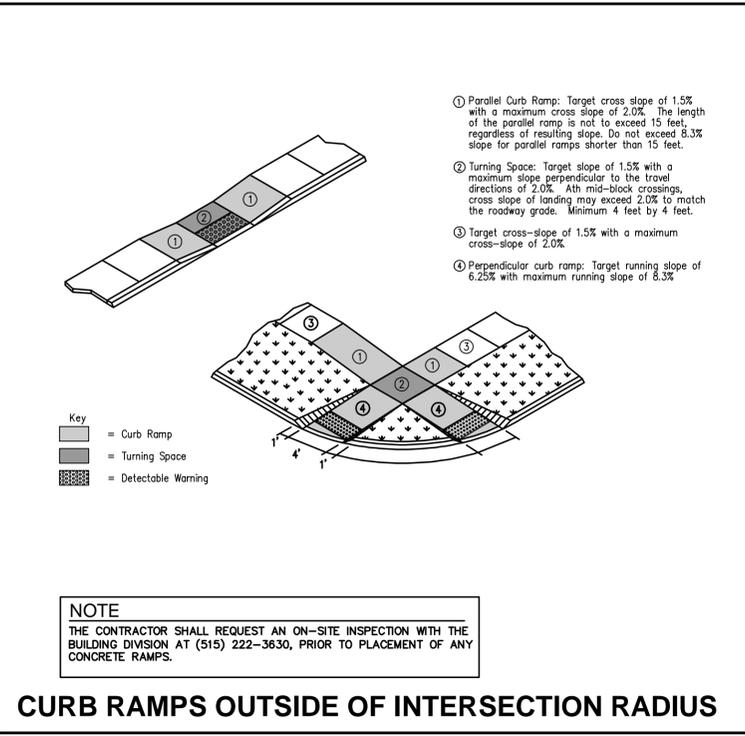
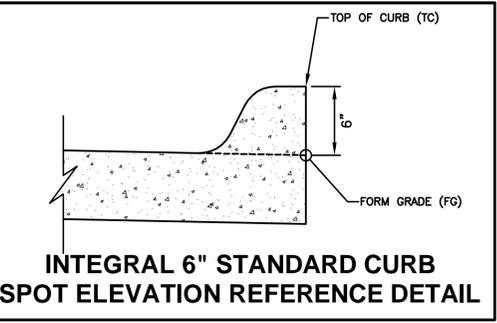
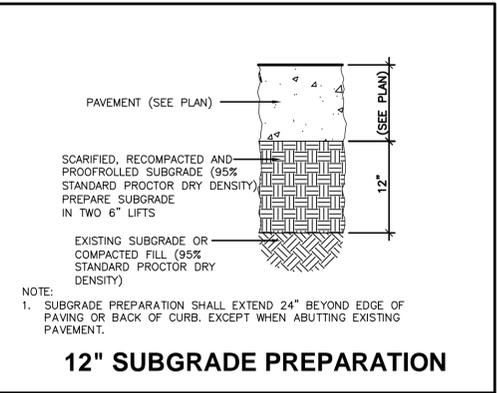
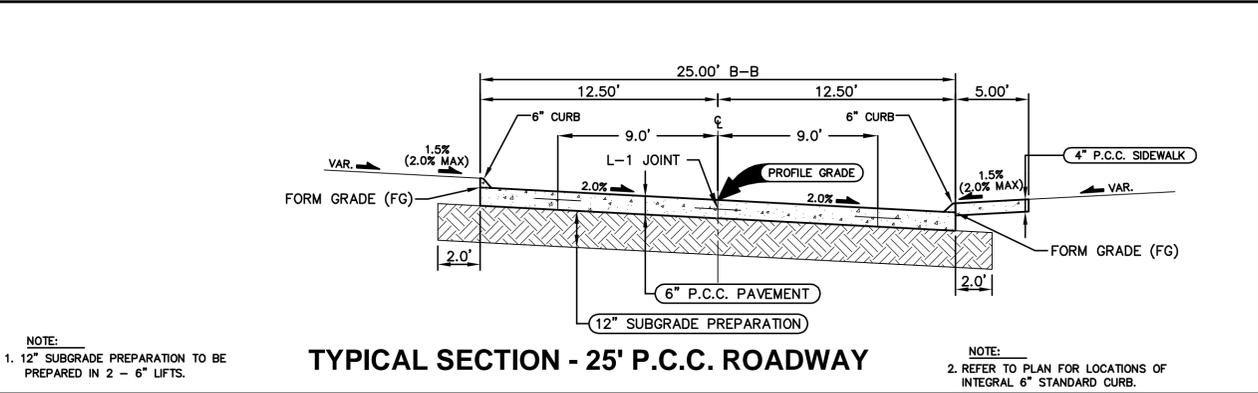
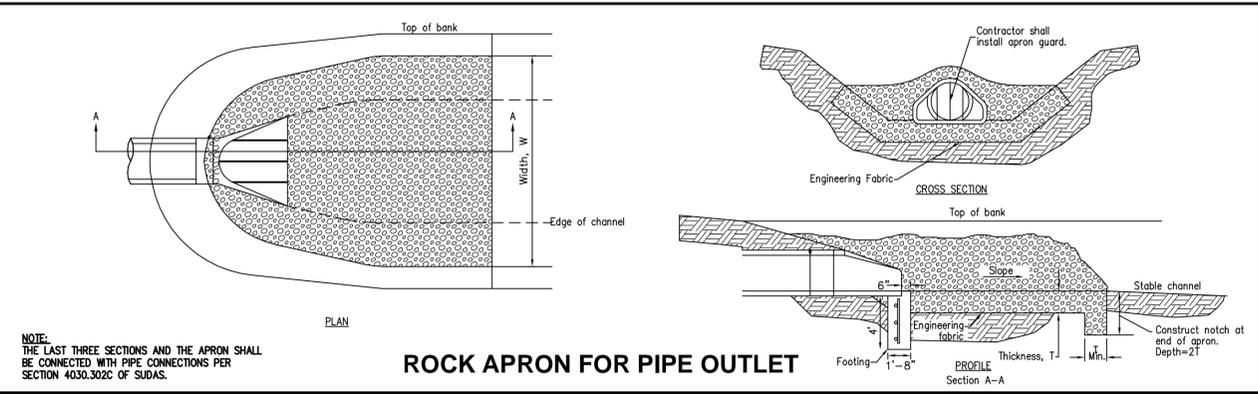
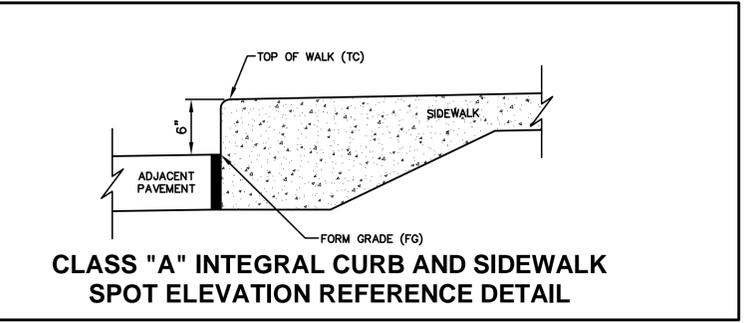
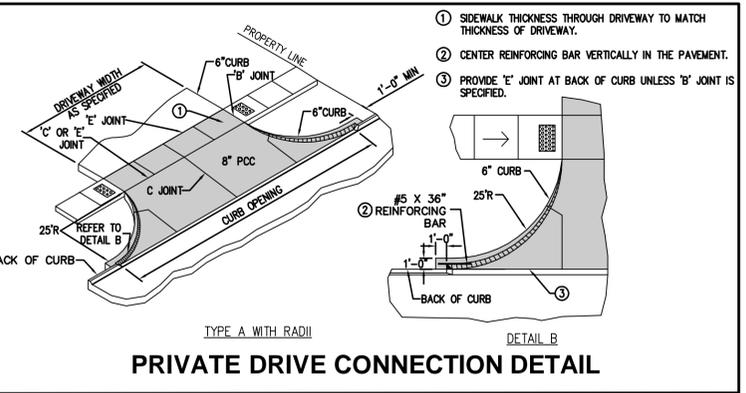
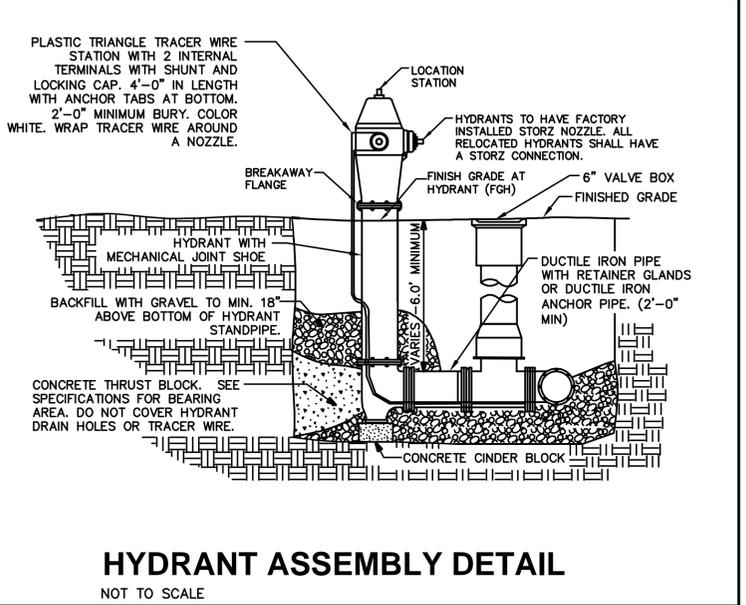
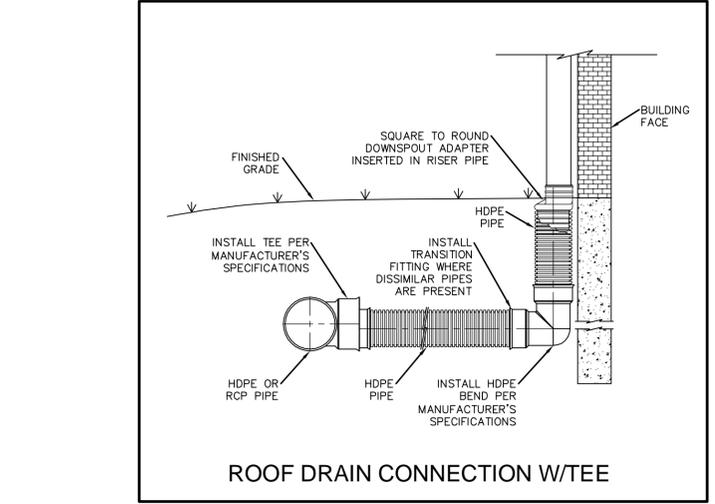
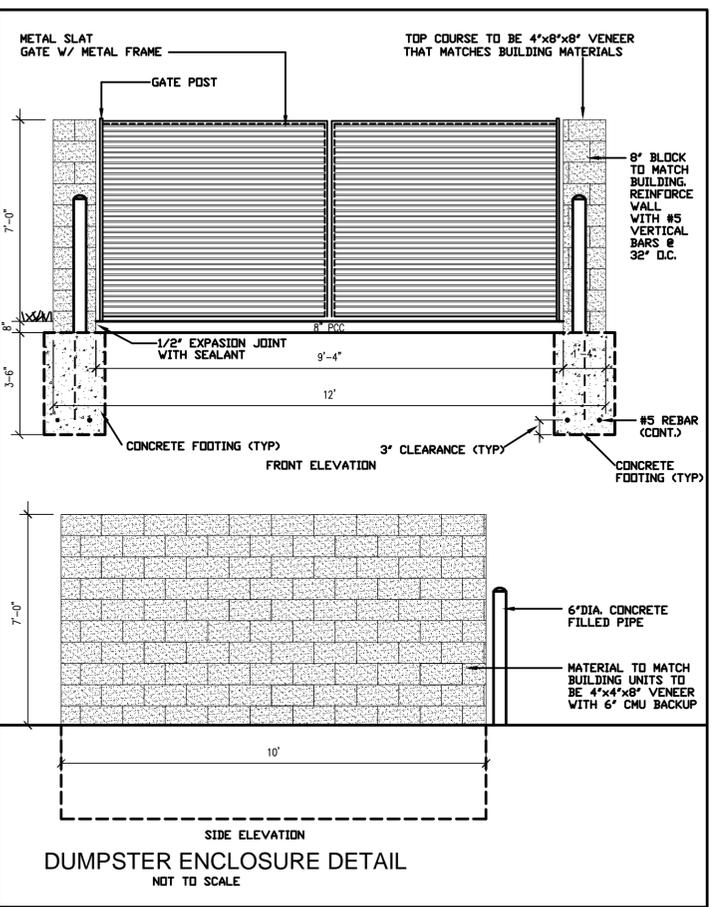
ALICE PLACE RETIREMENT VILLAGE
DETAILS
WAUKEE, IOWA



GENERAL NOTES:

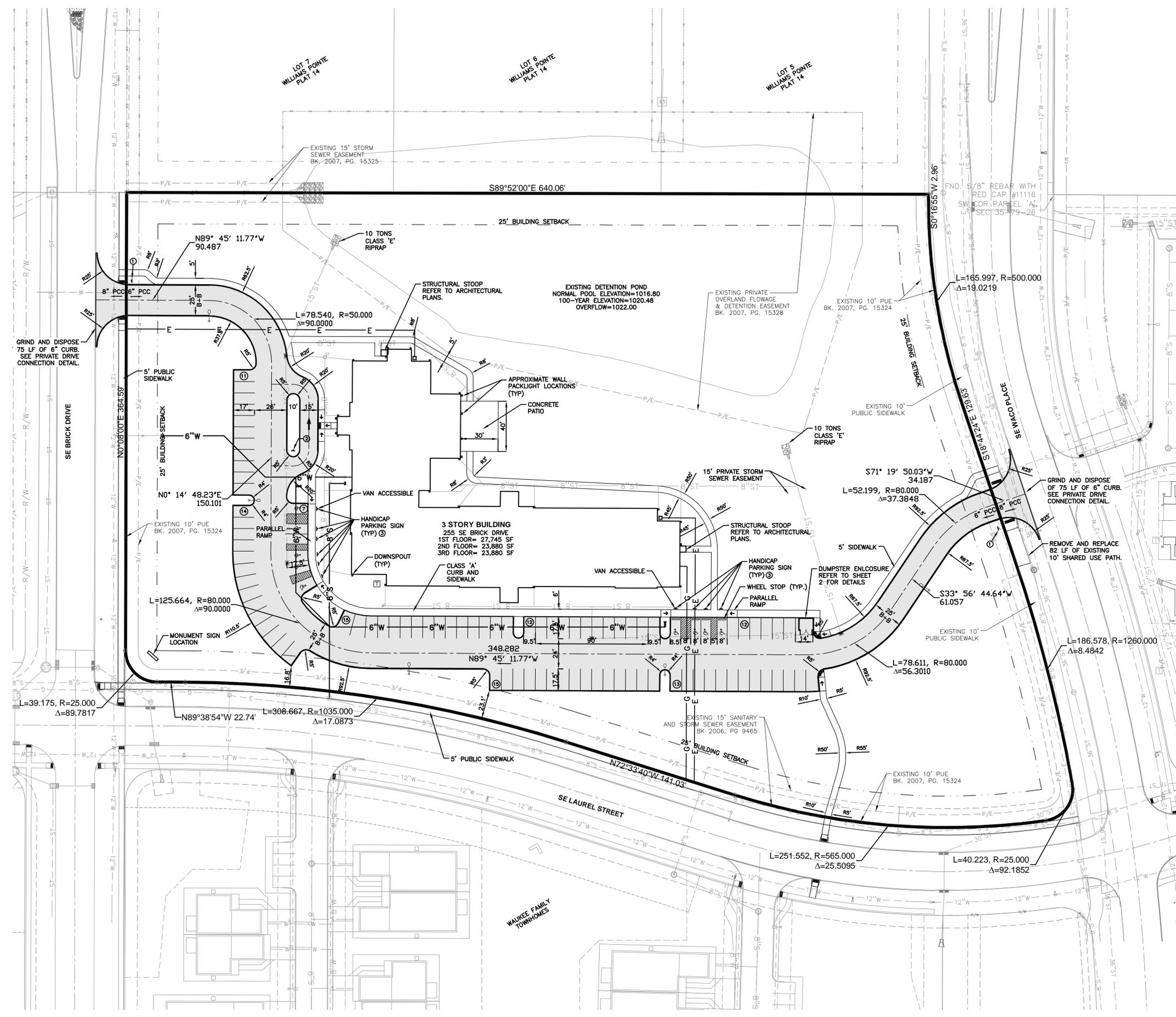
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH STALL.

P.C.C. WHEELSTOP
NOT TO SCALE



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GENERAL NOTES

1. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY CONES AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
19. MONUMENT SIGNS ARE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
20. AN AS-BUILT SITE PLAN IS TO BE SUBMITTED IN DIGITAL AND HARD COPY FORMATS TO THE CITY OF WAUKEE UPON COMPLETION OF ALL SITE IMPROVEMENTS.
21. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE DEVELOPMENT SERVICES DEPARTMENT TO SET UP A PRE-CONSTRUCTION MEETING.
22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE UPDATED SITE PLAN AND DETAIL INFORMATION FOR ANY CHANGES TO THE SITE PLAN AND TO RECEIVE WRITTEN APPROVAL OF ANY CHANGES FROM THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
23. MONUMENT SIGN LOCATIONS ARE TO BE REVIEWED AND APPROVED BY THE WAUKEE DEVELOPMENT SERVICES DEPARTMENT.
24. PERMANENT OCCUPANCY OF THE BUILDING IS SUBJECT TO IDNR REQUIREMENTS FOR SITE ESTABLISHMENT.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSURES REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

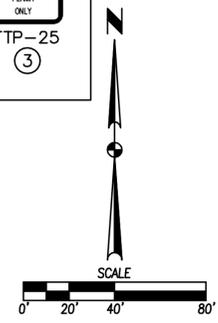
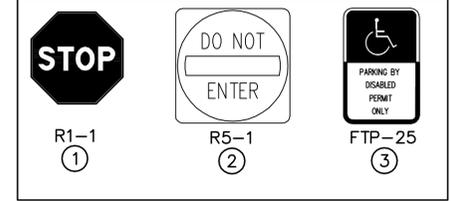
PAVEMENT THICKNESS

- | | |
|------------------------------|---|
| 1. SIDEWALKS | 4" P.C.C. (C-4 MIX) |
| 2. PARKING | 6" P.C.C. WITH 12" SUB-GRADE PREP (C-4 MIX) |
| 3. DRIVE APPROACH WITHIN ROW | 8" P.C.C. WITH 12" SUB-GRADE PREP (C-4 MIX) |

PARKING REQUIREMENTS

- 1 SPACE PER UNIT
 10 PER 10,000 SF OF GFA FOR MULTI-PURPOSE BUILDINGS
- | | |
|--------------------------|-------------|
| PARKING REQUIRED: | |
| 58 UNITS | = 58 SPACES |
| TOTAL REQUIRED | = 56 SPACES |
| PARKING PROVIDED: | |
| TOTAL PROVIDED | = 98 SPACES |

SIGN LEGEND

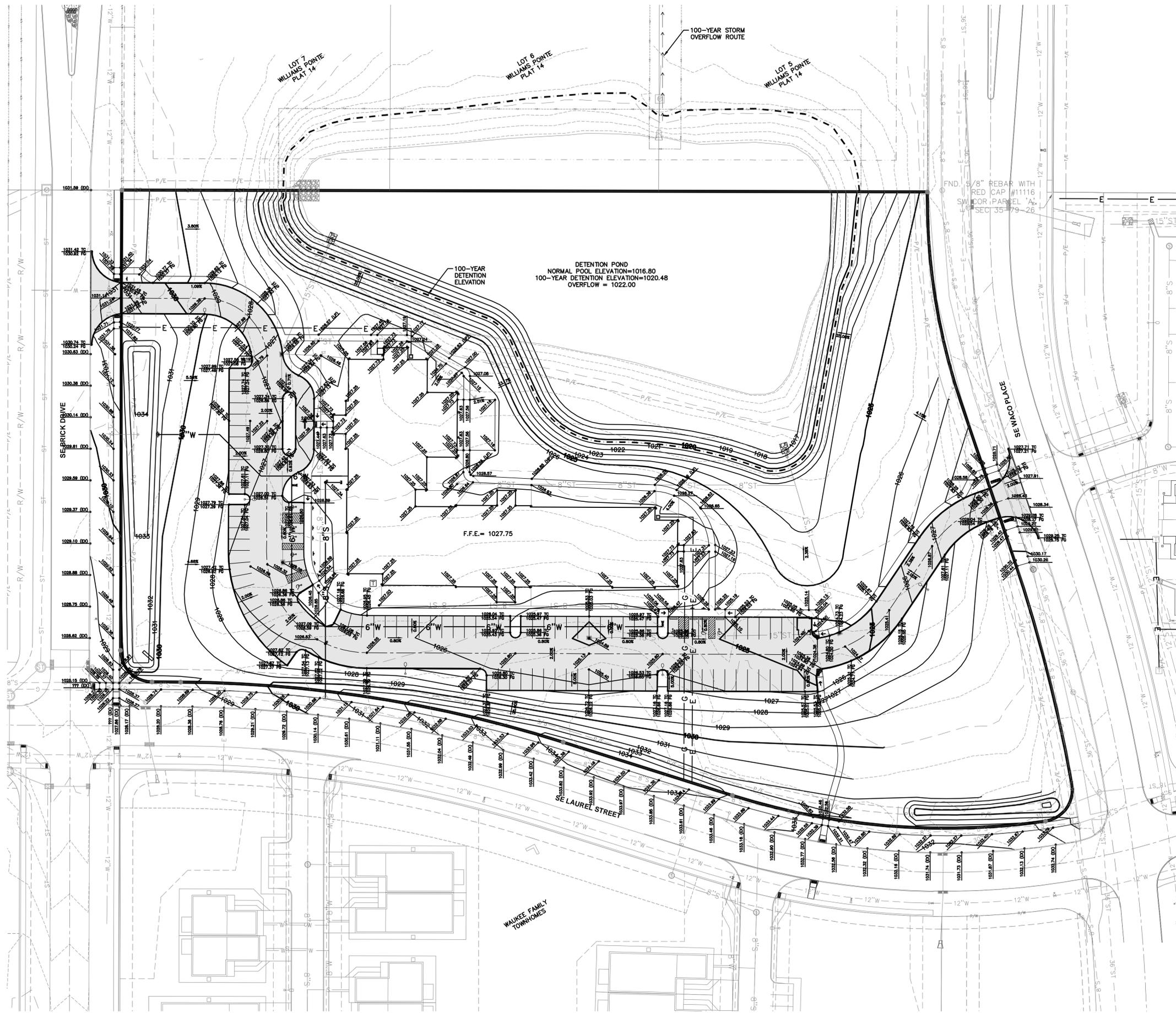


	DATE	
	REVISIONS	
	THIRD SUBMITTAL	05/10/13
	SECOND SUBMITTAL	04/29/13
	FIRST SUBMITTAL	04/09/13

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: JMM
 ENGINEER: EKO

ALICE PLACE RETIREMENT VILLAGE
DIMENSION PLAN

3 / 7
 1208.344

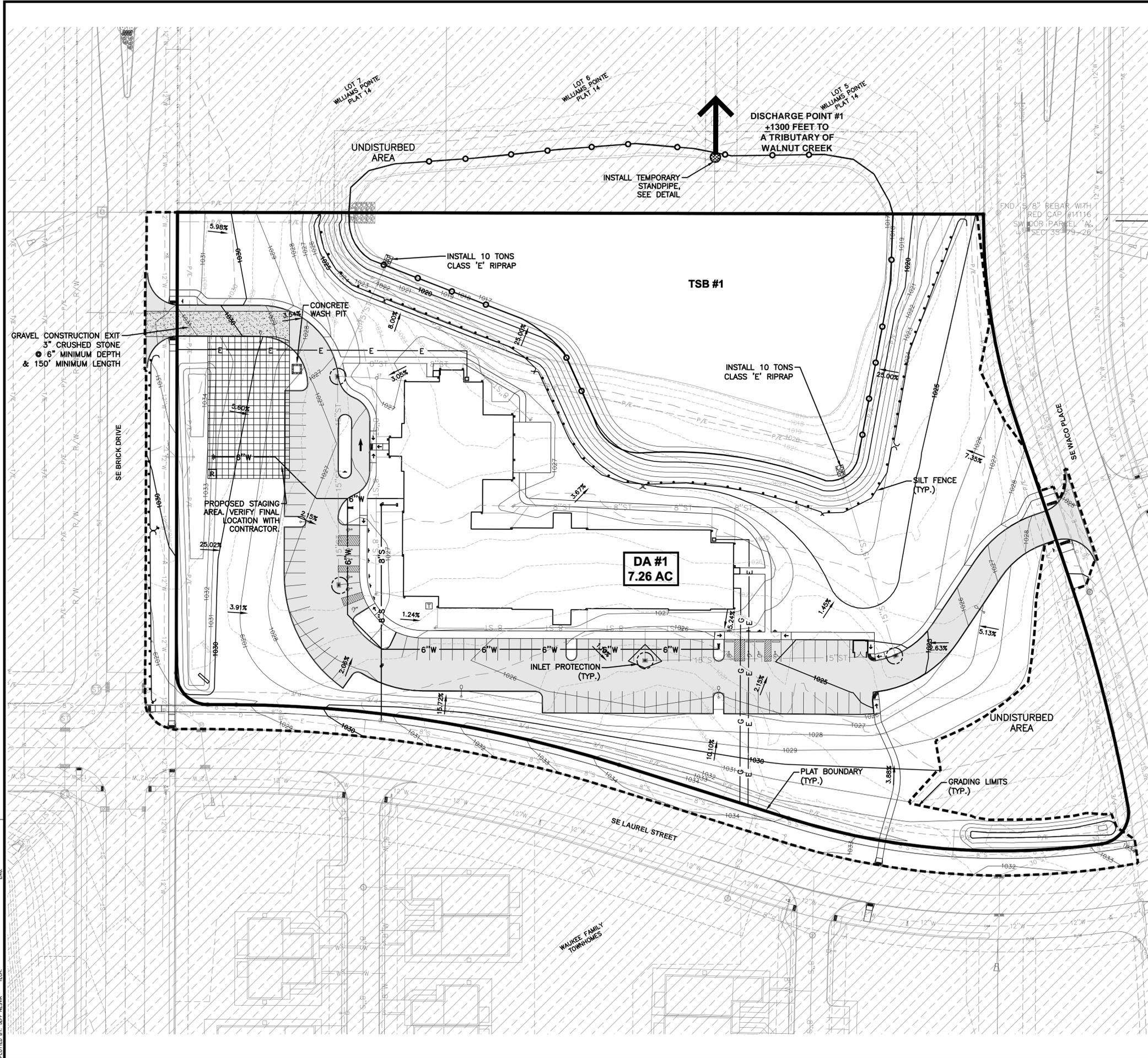


GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPIRED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. A CERTIFIED AS-BUILT GRADING PLAN SHALL BE SUBMITTED TO THE CITY OF WAUKEE UPON COMPLETION OF THE SITE IMPROVEMENTS FOR EACH PHASE OF CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.

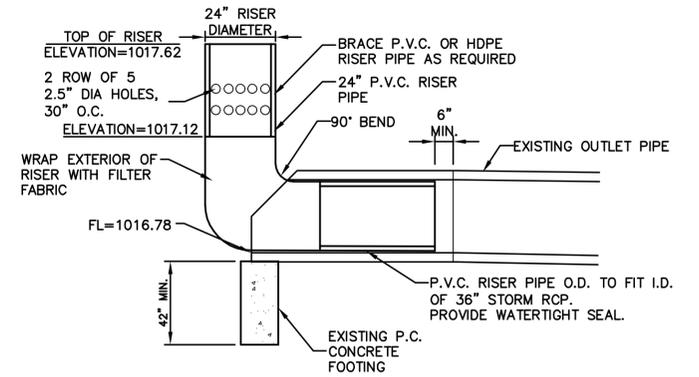
 CIVIL DESIGN ADVANTAGE WAUKEE, IOWA	ALICE PLACE RETIREMENT VILLAGE GRADING PLAN	4 / 7 1208.344	
	3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410	ENGINEER: EKO TECH: JMM	REVISIONS THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL
	DATE 05/10/13 04/29/13 04/09/13	ENGINEER: EKO TECH: JMM	REVISIONS THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL
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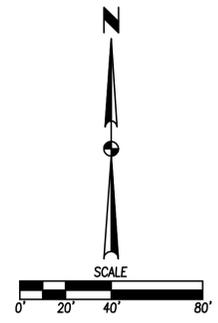
TEMPORARY STAND PIPE DETAIL

NOT TO SCALE



STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	825
2	SEEDING, FERTILIZING, AND MULCHING	AC	4.30
3	INLET PROTECTION DEVICES	EA	4
4	CONCRETE WASHOUT PIT	EA	1
5	TEMPORARY STANDPIPE	EA	1



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ALICE PLACE RETIREMENT VILLAGE
EROSION AND SEDIMENT CONTROL PLAN
 WAUKEE, IOWA

ES
 CIVIL DESIGN ADVANTAGE

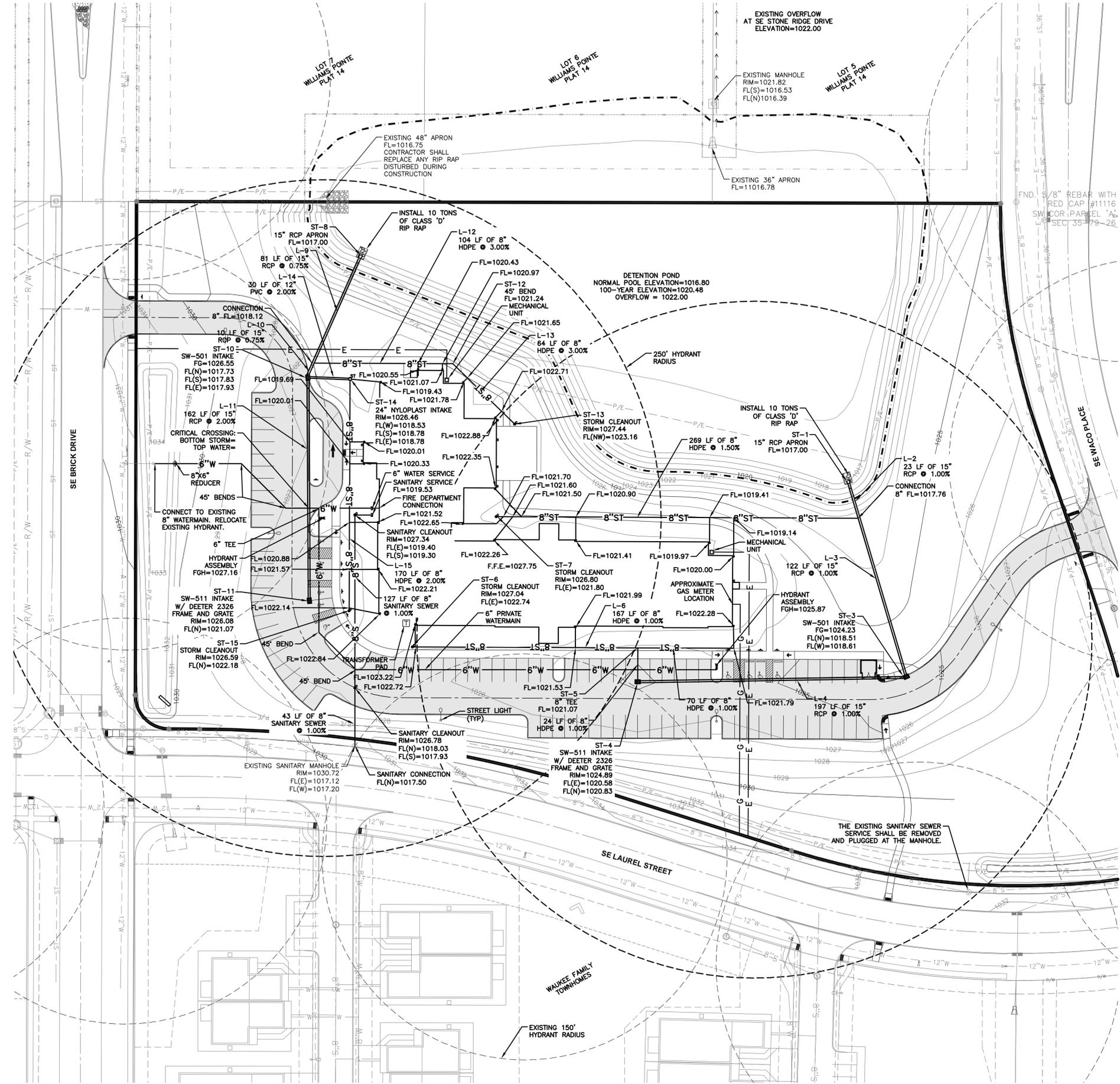
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REVISIONS

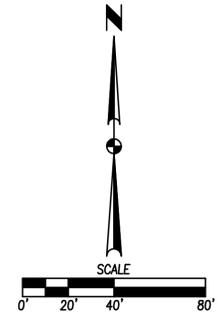
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04/29/13 <td>SECOND SUBMITTAL</td>	SECOND SUBMITTAL
04/09/13 <td>FIRST SUBMITTAL</td>	FIRST SUBMITTAL

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UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED WATERMAIN AND SANITARY SEWER AND PROVIDE THE RESULTS TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL HYDRANTS SHALL HAVE A STORZ ADAPTER.



DATE	05/10/13
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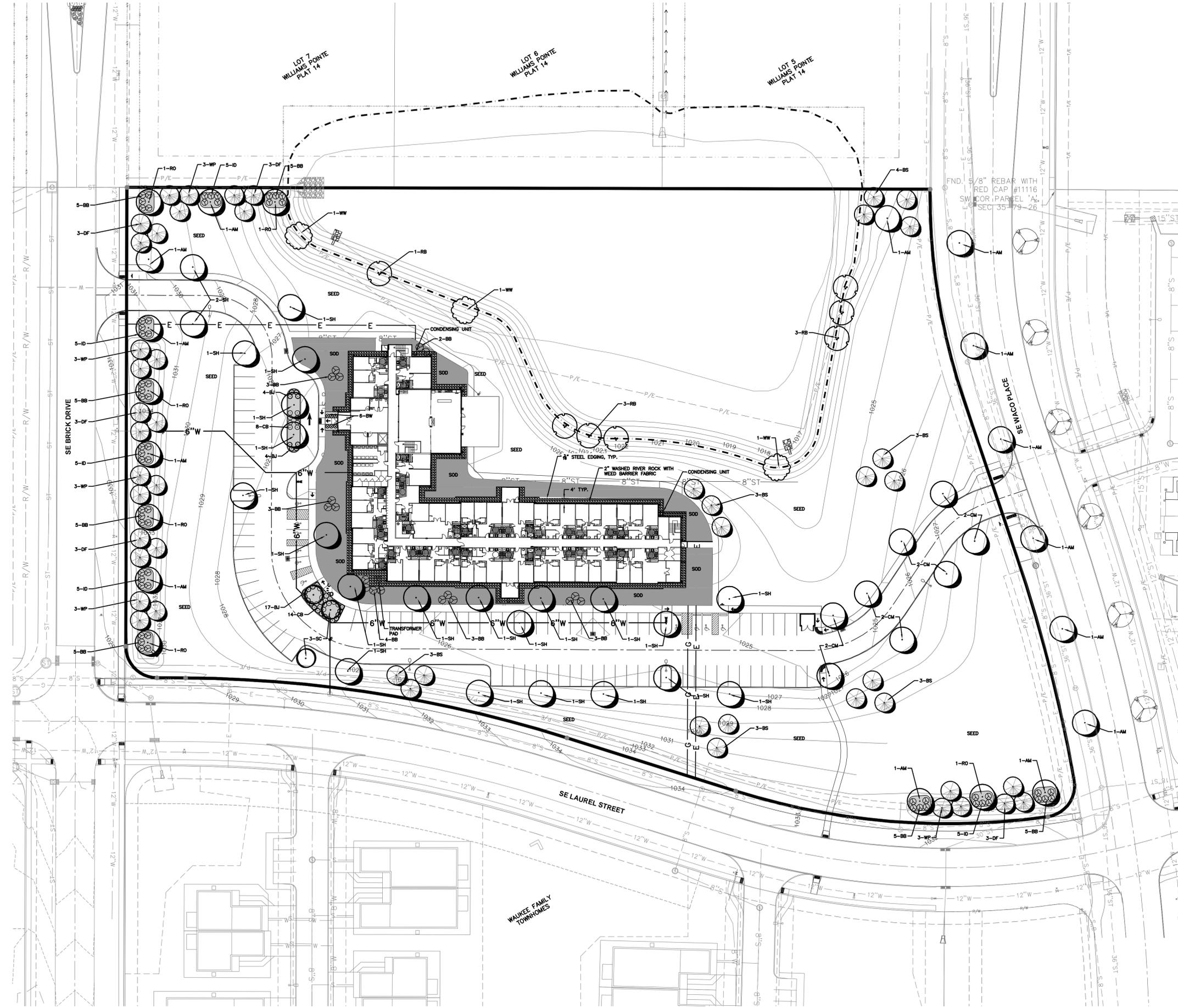
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: JMM
 ENGINEER: EKO

6 ALICE PLACE RETIREMENT VILLAGE
 UTILITY PLAN
7

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LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE #4 RYERSON STEEL EDGING OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPE REQUIREMENTS

SITE AREA = 307,399 SF
 OPEN SPACE REQUIRED (20%) = 61,480 SF
 OPEN SPACE PROVIDED (76%) = 232,825 SF

IMPERVIOUS AREA = 74,574 SF
 PERVIOUS AREA = 232,825 SF

1 TREE PER 1,000 S.F. AND
 1 SHRUB PER 1,000 S.F.
 OF REQUIRED OPEN SPACE.

TREE SIZE REQUIREMENT:
 40% = 2" OR GREATER
 BALANCE = 1"-2" CALIPER
 EVERGREENS = 6' HEIGHT

TREES REQUIRED: 62 TREES
 TREES PROVIDED: 67 TREES

SHRUBS REQUIRED: 62 SHRUBS
 SHRUBS PROVIDED: 71 SHRUBS

BUFFER REQUIRED ALONG NORTH71H, WEST & SOUTHEAST PROPERTY LINE.
 PROVIDED:
 NORTH BUFFER = 1 OVERSTORY TREES, 10 EVERGREEN TREES, 10 SHRUBS
 WEST BUFFER = 8 OVERSTORY TREES, 18 EVERGREEN TREES, 35 SHRUBS
 SOUTH BUFFER = 3 OVERSTORY TREES, 6 EVERGREEN TREES, 15 SHRUBS

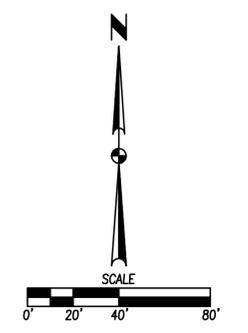
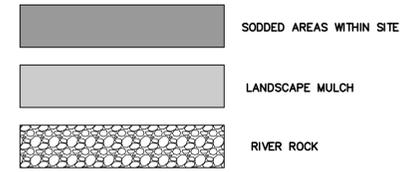
STREET TREES REQUIRED ALONG SE WACO DRIVE.

PLANT SCHEDULE

CODE	QTY	OVERSTORY TREES	SIZE	COND
AM	14	AUTUMN BLAZE MAPLE	ACER RUBRUM 'AUTUMN BLAZE'	2" CAL B&B
CM	8	GRIMSON KING MAPLE	ACER PLATANOIDES	2" CAL B&B
SH	23	SHADEMASTER HONEYLOCUST	GLEDITSIA TRICANTHAS INERMIS 'SHADEMASTER'	2" CAL B&B
RB	7	RIVER BIRCH	BETULA NIGRA	2" CAL B&B
RO	6	RED OAK	QUERCUS RUBRA	2" CAL B&B
WW	3	WEeping WILLOW	SAUX BABYLONICA	2" CAL B&B
CODE	QTY	ORNAMENTAL TREES	SIZE	COND
SC	3	SPRING SNOW CRAB	MALUS X 'SPRING SNOW'	1.5" CAL B&B
CODE	QTY	EVERGREEN TREES	SIZE	COND
DF	15	DOUGLAS FIR	PSUEDOTSUGA MENZIESII	6" HT. B&B
WP	15	EASTERN WHITE PINE	PINUS STROBUS	6" HT. B&B
BS	19	COLORADO BLUE SPRUCE	PICEA PUNGENS	6" HT. B&B
CODE	QTY	SHRUBS	SIZE	COND
GB	22	GRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII ATROPURPUREA	3 GAL. CONT
BW	8	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA WINTERGREEN	3 GAL. CONT
ID	25	IVORY HALO DOGWOOD	CORNUS ALBA	3 GAL. CONT
BB	48	DWARF BURNING BUSH	EUONYMUS ALATA 'COMPACTUS'	3 GAL. CONT
RJ	25	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	3 GAL. CONT

NOTE:
 ALL DISTURBED AREAS IN PUBLIC RIGHT OF WAY TO BE SODDED.

NOTE:
 ALL GROUND MOUNTED MECHANICAL UNITS TO BE ADEQUATELY SCREENED FROM PUBLIC VIEW.



ES&A
 CIVIL DESIGN ADVANTAGE

ALICE PLACE RETIREMENT VILLAGE
LANDSCAPE PLAN

7/7
 1208.344

WAUKEE, IOWA

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: JMM
 ENGINEER: EKO

REVISIONS	DATE
THIRD SUBMITTAL	05/10/13
SECOND SUBMITTAL	04/29/13
FIRST SUBMITTAL	04/09/13



<p style="text-align: center;">ALICE PLACE APARTMENTS WAUKEE, IOWA</p>	<p style="text-align: center;">STOCK DESIGN ARCHITECTURE</p> <p style="text-align: center;">307 N. 36TH STREET SUITE 111 QUINCY, IL 62301 PHONE: 217-223-1795 FAX: 217-223-2357 EMAIL: ARCHITECTS@STOCKDESIGNARCHITECTURE.COM</p>
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