

PLANNING & ZONING AGENDA ITEM #7

Planning & Zoning Meeting date: 4/09/13

SUBJECT: Approval of a Site Plan for Boulder Pointe Townhomes

SYNOPSIS: The applicant previously requested approval of a modification to the Planned Development for Williams Pointe North to allow for the development of townhomes on this property. The zoning request was brought before the Planning and Zoning Commission on March 12, 2013 and has been reviewed and passed the first 2 readings of the change by the City Council.

The 3rd and planned final consideration of the zoning change is anticipated on April 15, 2013. The current final plat and site plan proposals identify the applicant's continued interest in developing 41 townhomes on the property.

STAFF RECOMMENDATION: Staff would recommend approval of the site plan for Boulder Pointe Townhomes.

PROPOSED MOTION: Motion to Approve the Site Plan for Boulder Pointe Townhomes subject to remaining staff comments and final consideration of the rezoning of the property.

ATTACHMENTS:

SUPPORTING DOCUMENTS:

- I. Staff Report
- II. Comment Response Letter, dated 4/02/2013
- III. City Comment Letter dated 3/26/2013
- IV. Site Plan
- V. Elevation Drawings

Prepared by: Ben Landhauser, City Planner



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Ben Landhauser

RE: Boulder Pointe Townhomes – Final Plat & Site Plan

DATE: April 9, 2013

GENERAL INFORMATION:

Applicant: Newblood Development, LLC

Requested Action Approval of a Final Plat and Site Plan

Location and Size: Property is generally located on the north side of SE Laurel Street east of SE Waco Place containing approximately 4.28 acres.

LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant - Undeveloped	Neighborhood Residential	PD R-3 / PD R-3A
North	Stivers Ford	Neighborhood Residential	C-1
South	Williams Pointe Plat 10 – Single Family Residential	Neighborhood Residential	PD R-2
East	Legacy Pointe Memory Care	Neighborhood Residential	PD R-3
West	Vacant Undeveloped	Neighborhood Residential	PD R-3

BACKGROUND:

The subject property is included in the Williams Pointe Planned Development that was approved by the City of Waukeee in July 2005 and amended twice in December 2007 and June 2009. The Planned Development includes a total of 104 acres more or less and includes single family homes, townhomes, condominiums/apartments and commercial development when it is fully developed. The property in question has previously been platted as a part of Williams Pointe Plat 11 and is currently zoned R-3 [Rental Multi-Family Residential District] and R-3A [Owner Occupied Multi-Family Residential District] with a Planned Development Overlay.

The applicant previously requested approval of a modification to the Planned Development for Williams Pointe North to allow for the development of townhomes on this property. The zoning request was brought before the Planning and Zoning Commission on March 12, 2013 and has been reviewed and passed the first 2 readings of the change by the City Council. The 3rd and planned final consideration of the zoning change is anticipated on April 15, 2013. The current final plat and site plan proposals identify the applicant’s continued interest in developing 41 townhomes on the property.



ABOVE: Aerial of Development Plan in relation to surrounding properties

PROJECT DESCRIPTION:

The proposed final plat and site plan identify the development of 41 townhomes and corresponding properties creating 41 townhome lots and a common lot to be maintained by the homeowner's association. All of the proposed units are 2 stories, slab on grade, with an attached 2 car garage. The proposed buildings are a combination of 4 double loaded and 3 single loaded buildings. Three of the double loaded units are proposed

as an 8 plex (2 rows of 4 units back to back), with the remaining double loaded building a 6 plex (2 rows of 3 units back to back). The single loaded units are proposed as two 4 plexes (1 row of 4 units) and one 3 plex (1 row of 3 units). The development is proposed with an initial phase of the 3 buildings adjacent to SE Waco Place and the remaining buildings built as the market demands.

The lots identified on the final plat exceed the Planned Development requirements of a minimum 1,100 square feet and range in size from 1,186 to 1,849 square feet.

ACCESS AND PARKING:

Public access to the site is proposed from SE Waco Place and SE Laurel Street.

All internal streets are intended to be private and each unit is addressed off of the 5 private streets where units have their driveway a private street (SE Sagewood Place does not have any homes addressed off of it). The private names proposed include: SE Jordana Way, SE Lacey Place, SE Jennifer Drive, SE Boulder Court, SE Jase Ridge, and SE Sagewood Place. Each private street is proposed as a 25 foot back to back section with a roled curb on either side.

Per the Parking and Loading Areas Ordinance, the applicant is required to provide 2 parking spaces per unit and 1 stall per 5 units for guest parking. The applicant has proposed to meet this requirement with 82 garage spaces and 9 visitor parking stalls indicated on the site plan. The driveways for the majority of the units would have adequate depth to provide for the parking of an additional 2 vehicles per residence, or 82 additional parking spaces for a total of 173 parking spaces internal to the site.

PEDESTRIAN CIRCULATION:

As part of the improvements to the site, the applicant will be installing the 4 foot public sidewalks along SE Waco Place and SE Laurel Street adjacent to the property. Private sidewalks are proposed along one side of each private street with additional linkages internal to the site for access to mailbox locations. Additionally, connections have been proposed between the private sidewalk system and public sidewalks on SE Waco Place and SE Laurel Street adjacent to the vehicular access points into the development.

UTILITIES:

Water is looped and routed through the site from SE Waco Place and SE Laurel Street. Sanitary sewer is being accomodated from an existing manhole on SE Laurel Street. Storm water for the site is proposed to be collected and piped to the northwest corner of the property where it will be detained and released into the existing detention pond on the west side of SE Waco Place.

OPEN SPACE AND LANDSCAPING:

A total of 51 percent open space (94,150 square feet) is provided on the site which exceeds the minimum of 20%.

The planned development for Williams Pointe North requires a landscape buffer, minimum 15 feet in depth, be provided for all properties adjacent to a commercial district. Additionally, in discussion and review of the recent request for zoning change, the applicant is providing a landscape buffer adjacent to SE Laurel Street to provide a greater visual separation between the existing single family homes on SE Sagewood Circle, SE Laurel Street, and SE Waco Place and this site. A total of 28 overstory, 52 evergreens, and 89 shrubs are proposed as buffer plantings along the north, east, and south portions of the property. An additional 38 trees and 44 shrubs are proposed to meet the minimum ordinance requirements for the development.

ELEVATIONS:

Elevations have been provided for your review and appear to meet the new ordinance requirements related to scale, massing, and materials. Material samples will be available at the meeting for your review and consideration.

STAFF RECOMMENDATION

At this time staff feels comfortable with the final plat and site plan and would recommend approval subject to remaining staff comments, final consideration of the rezoning related to the property, and review of all legal documents associated with the final plat by the City Attorney.

CITY OF WAUKEE

Ben Landhauser
City Planner

COMMENT RESPONSE LETTER

BOULDER POINTE SITE PLAN

APRIL 2, 2013

The following are a list of responses to the remaining comments that need addressed from the City of Waukee's comment letter dated March 26, 2013.

GENERAL COMMENTS

7. Staff questions if natural gas services are planned for the proposed units. This should be identified at this time as there may be some additional provisions related to the locating of meters on the double loaded units which should be addressed prior to site plan approval. Please address.
 - **Natural Gas will not be needed for this development.**
9. Staff questions if the applicant intends on making reference to the name Boulder Pointe by locating boulders on site or if one of the street names, such as Jase Court, may be renamed to Boulder Court. Please address.
 - **No boulders will be onsite that I am aware of. The street names have been adjusted.**
10. The proposed erosion and sediment control plan should be included as part of the plan set.
 - **The erosion and sediment control plan has been added to the site plan.**

SITE PLAN

DETAILS

19. The hydrant radii map should be provided to scale.
 - **The map has been provided.**
20. A detail should be provided for outlet protection for storm sewer FES outlets.
 - **A detail was added on Sheet 5.**

DIMENSION PLAN

26. ~~Names should be provided for all proposed private streets.~~ The prefix of 'SE' should be added to all internal private streets. Additionally, staff would request that Indi Ridge be renamed as there is an existing street named SE Indigo Ridge in Waukee which may cause confusion.
 - **The street names have been modified.**
31. ~~All sidewalk crossings with private streets should be provided with truncated domes and warning panels.~~ All private sidewalks needed from the individual driveways to the front doors of each unit should be indicated on the site plan.
 - **The sidewalks have been shown.**
36. ~~All proposed patios related to the single loaded buildings should be indicated on the plan set for clarity.~~ The stoops on the rear side of the units should also be indicated on the plan set.
 - **All of the stoops have been shown.**
38. ~~The location of a monument sign(s) should be indicated on the site plan meeting the 15 foot setback requirement from all property lines.~~ A note should be added to the plan set indicating

any future monument sign(s) to be reviewed and approved by the Development Services Department.

- **This note has been added to the general notes as No. 19.**

41. General Note #17 should be eliminated from the plan set.

- **The note has been deleted.**

GRADING PLAN

44. ~~Spot elevations should be provided at all outlet and inlet locations including the larger detention area in the northwest corner of the site.~~ The existing elevation of the flared end section at the outlet of the detention pond in the northwest corner of the site should be indicated on the site plan for clarity.

- **The existing elevation has been labeled.**

46. Downspout locations should be identified on the site plan. ~~Staff would request that all downspouts be tied directly into the proposed private storm sewer. Please address.~~

- **The downspouts have been shown with a symbol on page 5 of the site plan.**

UTILITY PLAN

53. ~~A sprinkler service should be provided to each double loaded building as they will have to be sprinkled.~~ The plan should be updated to identify the use of a 1 inch service for each unit as discussed with the Waukee Fire Department. This may be accomplished by updating the service detail to identify the size of proposed services. Staff would request that the applicant have another discussion with the Fire and Building Departments as the proposed systems can cause issues with water quality if proper provisions and pressure are not addressed.

- **The service location detail has been updated to show the sizes.**

54. Verify all proposed grades on sanitary sewer and storm sewer as the proposed sanitary has the same flowline at the existing manhole and proposed Manhole #1. Additionally, all storm sewers should be verified to have 0.1 fall. It appears the flowline elevation for sanitary manholes S-1 & S-2 are reversed and should be addressed. The percent of fall between the 2 structures should be verified.

- **The flowlines have been verified. The storm structures all have the appropriate drop with the exception of the nyloplast intakes as the bottom of the intakes are a prefabricated tee with no drop.**

56. Staff would request that the internal water system to the site be looped or an additional public connection made to the main on the south side of SE Laurel Street in order to maintain the water pressure necessary to support the fire systems contemplated for the units. Please address.

- **The waterline has been added to loop the system to SE Laurel Street.**

LANDSCAPE PLAN

61. ~~The location of all ground mounted mechanical units and transformers should be indicated on the plan set.~~ Transformer locations should also be indicated on the plan set.

- **The transformer locations have been shown.**

66. ~~A note should be added to the plan set indicating the requirement of full establishment across the site prior to the issuance of a Certificate of Occupancy on any unit.~~ The phasing plan

reference in the comment response letter should be provided for staff review. The phasing plan should include the areas surrounding each building phase intended for sodding and landscaping.

- **The phasing plan has been shown within the notes on the landscape plan and the boundary of each phase has been shown. The only areas that won't be completed with the initial site plan are the building pad areas and driveways.**

MISCELLANEOUS

67. ~~A photometric plan identifying all street lights should be provided for review. Manufacture's cutsheets of all proposed site and building wall lighting fixtures should be provided for review.~~

- **The lighting sheets have been provided.**

SWPPP – The SWPPP has been submitted for review. The NOI and COSESCO have been provided to the owner for signature

68. Provide a copy of the Construction Site SWPPP Review Checklist signed by SWPPP designer.

69. Provide a copy of the SWPPP prepared for obtaining GP2 coverage. As a part of the SWPPP, a temporary sediment basin will need to be identified as the total area of disturbance is over 10 acres. A temporary sediment basin easement should be indicated as a part of the construction drawings.

70. Provide a copy of the IDNR issued General Permit #2 authorization letter (can accept from issuance on DNR website if all other required items are complete).

71. Complete COSESCO application and submit with \$65 fee for the first required quarterly COSESCO inspection.

72. The applicant will be required to provide the following as a part of the completion of the public improvements prior to approval of a certificate of occupancy:

- Post Construction *What practices considered for this site?*
 - i. Provide a site plan specific to the storm water management facilities of the property indicating the permanent measures utilized by the designer and requirements for maintenance of said facilities.
 - ii. A maintenance covenant will need to be created and provided for review.
- As-built plans of all storm water management facilities on site and a certification statement signed by SWPPP designer indicating that facilities were constructed as designed will be required.
- Provide finished grade spot elevations at all locations where an overland flowage easement crosses a property line, including locations where said easements run to the street.

ELEVATIONS

73. ~~As noted during the review of the PD Amendment (rezoning) the current rear elevations of the single loaded units do not meet the intent of the site plan ordinance for providing the same level of architecture on all side of the building. Additionally, each elevation is required to incorporate the use of brick or stone; which is not being met. Furthermore, the rear elevations do not address the visual splitting of the building into a maximum 20 foot linear section under the provided terms of meeting the ordinance requirements. Staff would recommend reviewing~~

~~Section 304.6B(3) of the Site & Building Development Standards Ordinance in addition to Pages 4 & 5 of the Architectural Design Example Book.~~ The single loaded unit elevations should be provided in color.

- **The building elevations have been provided.**

74. Building material samples should be provided for review at both the Planning and Zoning Commission and City Council meetings.

- **This comment is duly noted.**

FINAL PLAT

75. As noted in the site plan comments, street names should be updated with the 'SE' prefix and an alternate name for Indi Ridge should be provided and indicated on the plat.

- **Street names have been updated.**

76. The adjacent lot ownership should be indicated on the plat.

- **The lot owners have been added.**

77. Verify the proposed storm sewer and overland flowage easement though Lots 27 – 30 do not affect the ability to place a stoop in them.

- **The stoop does not interfere with the overland flowage easement.**

78. A note should be added to the plat indicating the overall site address of Oulot Z of 255 SE Waco Place.

- **This note has been added.**

79. A note should be added to the plat indicating the public sidewalks adjacent to SE Laurel Street and SE Waco Place to be installed as a part of the site improvements.

- **This note has been added.**

80. All necessary legal documents related to the final plat should be provided for staff review by Tuesday, April 9, 2013 at 5:00 PM.

- **This comment is duly noted. The legal documents are being worked on and may not be able to be submitted on April 9th. I will follow up and notify you when they think they might be available. The final plat approval could follow the site plan as there is a lot of site work that needs to be completed before building construction can be completed.**

MISCELLANEOUS

81. Staff would request the the next submittal be provided in digital (PDF) form in addition to hard copies. Please address.

- **PDF's have been provided.**

SITE PLAN FOR: BOULDER POINTE

WAUKEE, IOWA

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

OWNER/APPLICANT

NEWBLOOD DEVELOPMENT, LLC
10888 HICKMAN ROAD, SUITE 3B
CLIVE, IA 50325

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

J CORP, INC.
CONTACT: DUANE JENSEN
P.O. BOX 159
HUXLEY, IOWA 50124
PH. (515) 597-5457
FX. (515) 597-5461

BENCHMARKS

DALLAS COUNTY G118
SOUTHWEST CORNER OF UNIVERSITY AVENUE AND 59TH
PLACE IN THE CITY OF WEST DES MOINES.
ELEVATION=972.25

PROJECT BENCHMARK
TAGGED BURY BOLT ON HYDRANT LOCATED AT THE NW
CORNER OF SE LAUREL DRIVE AND SE LEGACY.
ELEVATION=1036.60

PROJECT BENCHMARK
ARROW ON HYDRANT AT THE SE CORNER OF SE BRICK
AND SE LAUREL STREET.
ELEVATION=1032.11

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 2/26/13
-SITE PLAN SUBMITTAL TO CITY #2: 3/12/13
-SITE PLAN SUBMITTAL TO CITY #3: 4/02/13

LEGAL DESCRIPTION

LOT 1, WILLIAMS POINTE PLAT 11, AN OFFICIAL PLAT, IN THE
CITY OF WAUKEE, DALLAS COUNTY, IOWA CONTAINING 4.28
ACRES.

ZONING

EXISTING: PD - PLANNED DEVELOPMENT
(UNDERLYING ZONING: R-3 MULTI-FAMILY)

PROPOSED: PD- PLANNED DEVELOPMENT
(UNDERLYING ZONING: R-3 & R3A MULTI-FAMILY
TO ALLOW TOWNHOMES)

PROJECT SITE ADDRESS

255 SE WACO PLACE

BULK REGULATIONS

- R-3 & R-3A MULTI-FAMILY RESIDENTIAL DISTRICT ZONING
SHALL APPLY TO THIS AREA EXCEPT AS LISTED BELOW
- PRINCIPAL PERMITTED USES FOR THIS AREA SHALL INCLUDE CONDOMINIUM DWELLINGS, APARTMENT DWELLINGS AND TOWNHOME DWELLINGS.
 - MINIMUM LOT AREA: 10,000 SQUARE FEET; 2,200 SQUARE FEET PER HOUSING UNIT FOR APARTMENTS OR CONDOMINIUMS; 1,100 SQUARE FEET PER HOUSING UNIT LOT FOR TOWNHOMES.
 - MINIMUM FLOOR AREA: 750 SQUARE FEET PER UNIT, EXCEPT FOR EFFICIENCY UNITS AND ONE BEDROOM WHICH SHALL BE 600 SQUARE FEET.
 - MAXIMUM DENSITY: 18 HOUSING UNITS PER GROSS ACRE
 - FRONT YARD SETBACK: 25 FOOT PERIMETER BOUNDARY (R-3 STANDARD = 30 FEET).
 - SIDE YARD SETBACK: NO MINIMUM SHALL APPLY EXCEPT WHERE BORDERING AN R-1, R-2, R-3 R-5, C, OR M DISTRICTS IN WHICH CASE THE SIDE YARD SETBACK SHALL BE 15 FEET; THE BUILDINGS SHALL HAVE A MINIMUM OF 10 FEET OF BETWEEN THE BUILDINGS. (R-3 STANDARD = 15 FEET SIDE YARD FOR ALL ZONING DISTRICTS).
 - REAR YARD SETBACK: 25 FOOT PERIMETER BOUNDARY; THE BUILDINGS SHALL HAVE A MINIMUM OF 20 FEET BETWEEN THE BUILDINGS (R-3 STANDARD = 30 FEET).
 - BUFFERING: WHERE THIS DISTRICT BORDERS AN INDUSTRIAL (M) OR COMMERCIAL (C) ZONED DISTRICT, A THREE (3) FOOT HIGH BUFFER SHALL BE PROVIDED CONSISTING OF FIFTEEN (15) FEET IN WIDTH DESIGNED WITH AN EARTHEN BERM AND PLANTINGS (STANDARD = 25 FEET IN WIDTH, 3 FOOT HIGH).
 - PARKING: A MINIMUM OF 2 SPACES PER DWELLING UNIT, 1 VISITOR SPACE PER 5 DWELLING UNITS

DATE OF SURVEY

MARCH 2013

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = APRIL 2013
ANTICIPATED FINISH DATE = DECEMBER 2013

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DETAILS / HYDRANT COVERAGE PLAN
3	DIMENSION PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	EROSION AND SEDIMENT CONTROL PLAN

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	---R/W---
PERMANENT EASEMENT	---P/E---
TEMPORARY EASEMENT	---T/E---
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	8"S
SANITARY SERVICE	S-S-S
STORM SEWER	ST-ST
STORM SERVICE	ST-ST
WATERMAIN WITH SIZE	8"W
WATER SERVICE	W-W
SAWCUT (FULL DEPTH)	
SILT FENCE	
USE AS CONSTRUCTED	
MAIL BOX PAD	
DOWNSPOUT LOCATION	

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	TV
GAS MAIN	G
FIBER OPTIC	FO
UNDERGROUND TELEPHONE	T
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	E
FIELD TILE	TILE
SANITARY SEWER W/ SIZE	8"S
STORM SEWER W/ SIZE	15"RCP
WATER MAIN W/ SIZE	8"W



UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1301.012

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

ERIN K. OLLENDIKE
1692
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

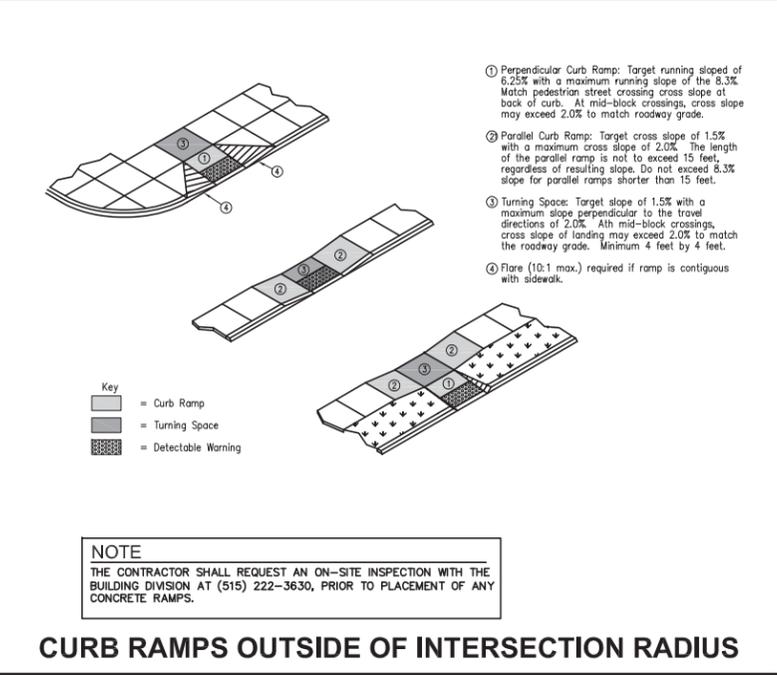
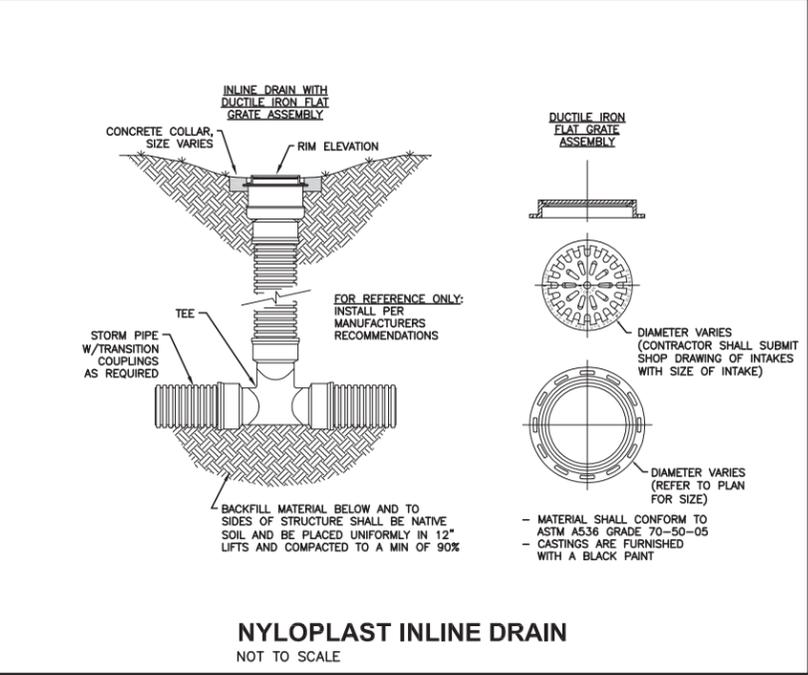
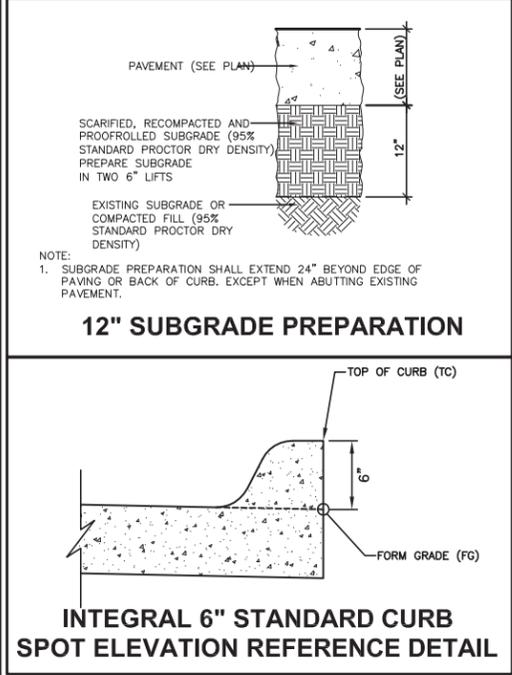
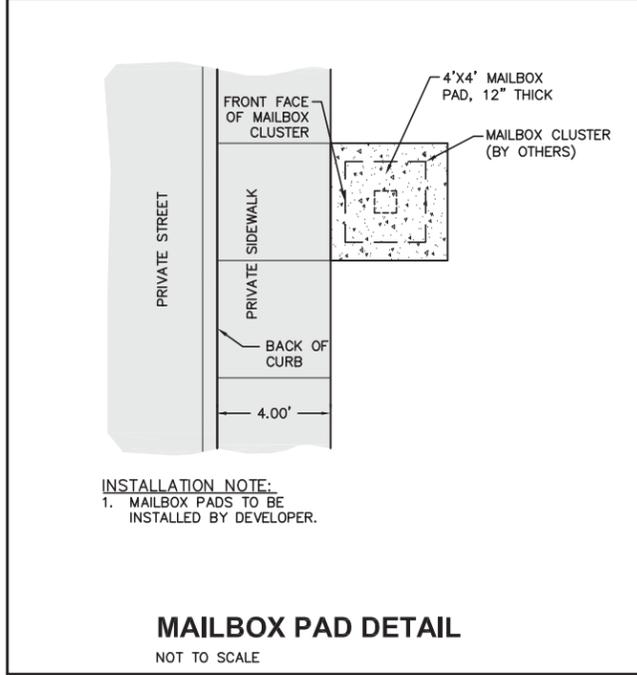
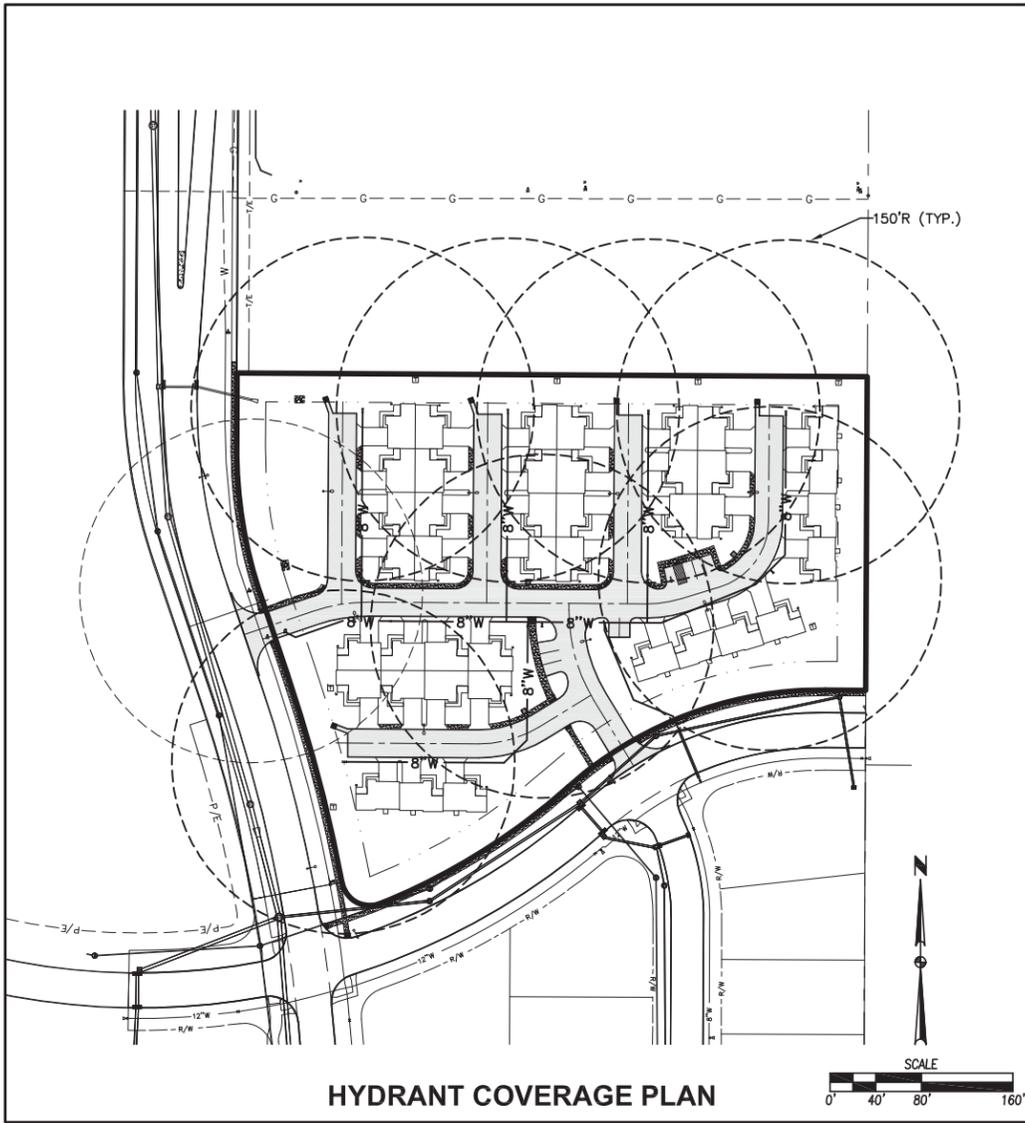
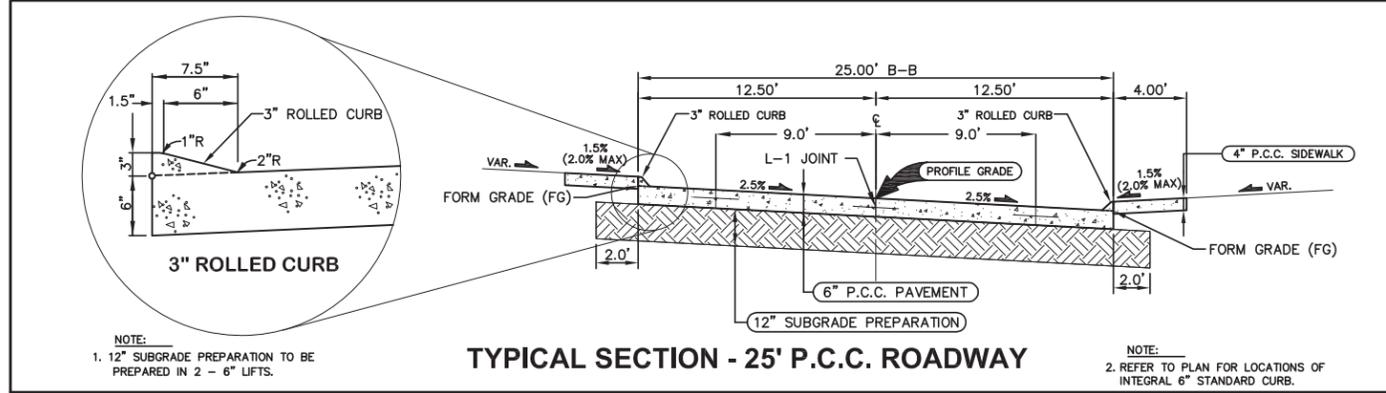
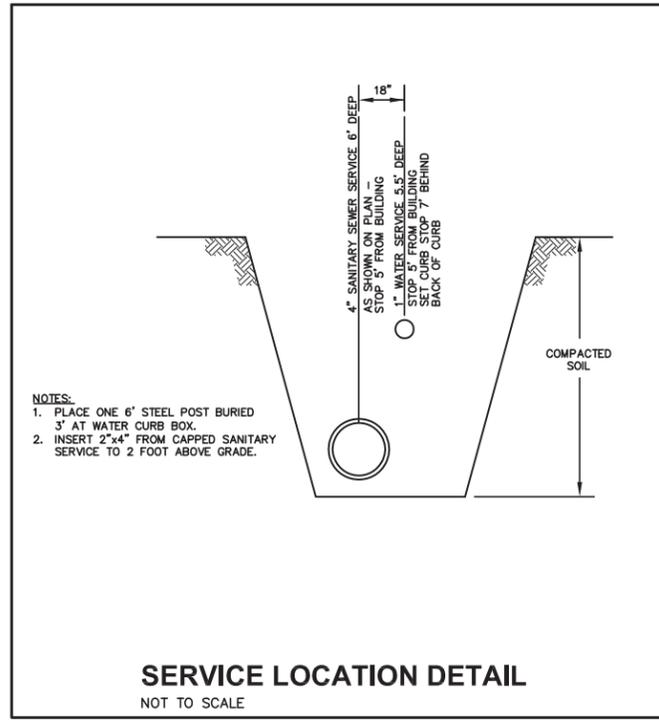
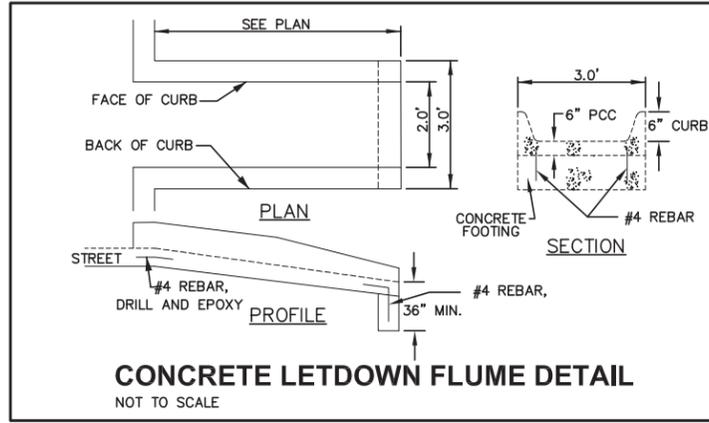
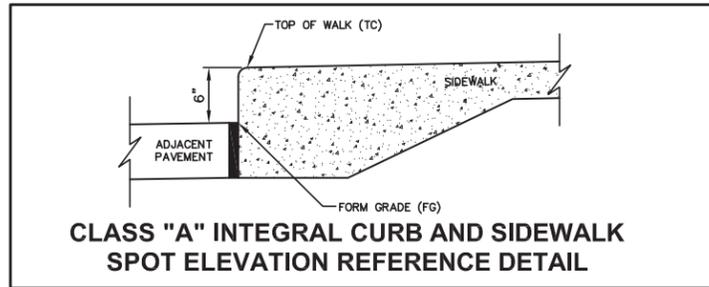
ERIN K. OLLENDIKE, P.E. _____ DATE _____

PRELIMINARY

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2013
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 2-5

COMMENT: ENR
 FILE: H:\2013\1301012\1301012-SITE.DWG
 PLOTTED BY: JARED MURRAY
 DATE: 4/2/2013 4:16 PM

BOULDER POINTE



DATE	
THIRD SUBMITTAL	4/27/13
SECOND SUBMITTAL	3/12/13
FIRST SUBMITTAL	2/26/13

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: EKO



CIVIL DESIGN ADVANTAGE
WAUKEE, IOWA

BOULDER POINTE DIMENSION PLAN

GENERAL NOTES

- THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP INSTALLATION SPECIFICATIONS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
- MONUMENT SIGNS ARE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

- | | |
|------------------------------|---------------------|
| 1. SIDEWALKS | 4" P.C.C. (C-4 MIX) |
| 2. DRIVEWAYS | 6" P.C.C. (C-4 MIX) |
| 3. PRIVATE ROADS | 6" P.C.C. (C-4 MIX) |
| 4. DRIVE APPROACH WITHIN ROW | 8" P.C.C. (C-4 MIX) |

PARKING REQUIREMENTS

- 2 SPACES PER DWELLING UNIT
1 VISITOR SPACE PER 5 DWELLING UNITS
- PARKING REQUIRED:**
- | | |
|------------------|-------------|
| 41 UNITS | = 82 SPACES |
| 41 UNITS/5 UNITS | = 9 SPACES |
| TOTAL REQUIRED | = 91 SPACES |
- PARKING PROVIDED:**
- | | |
|-------------------------------|-------------|
| UNITS (94, 2 SPACES PER UNIT) | = 82 SPACES |
| VISITOR PARKING | = 9 SPACES |
| TOTAL PROVIDED | = 91 SPACES |

PHASING PLAN

- PHASE 1: BUILDINGS #1-3
PHASE 2: BUILDING #4
PHASE 3: BUILDING #5
PHASE 4: BUILDING #6
PHASE 5: BUILDING #7

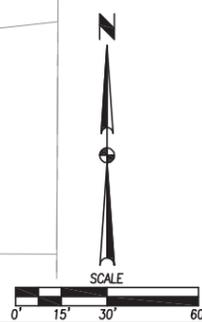
NOTE: A CERTIFICATE OF OCCUPANCY SHALL NOT BE GRANTED ON EACH PHASE UNTIL BARE AREAS HAVE BEEN ESTABLISHED WITH SEED OR SOD.

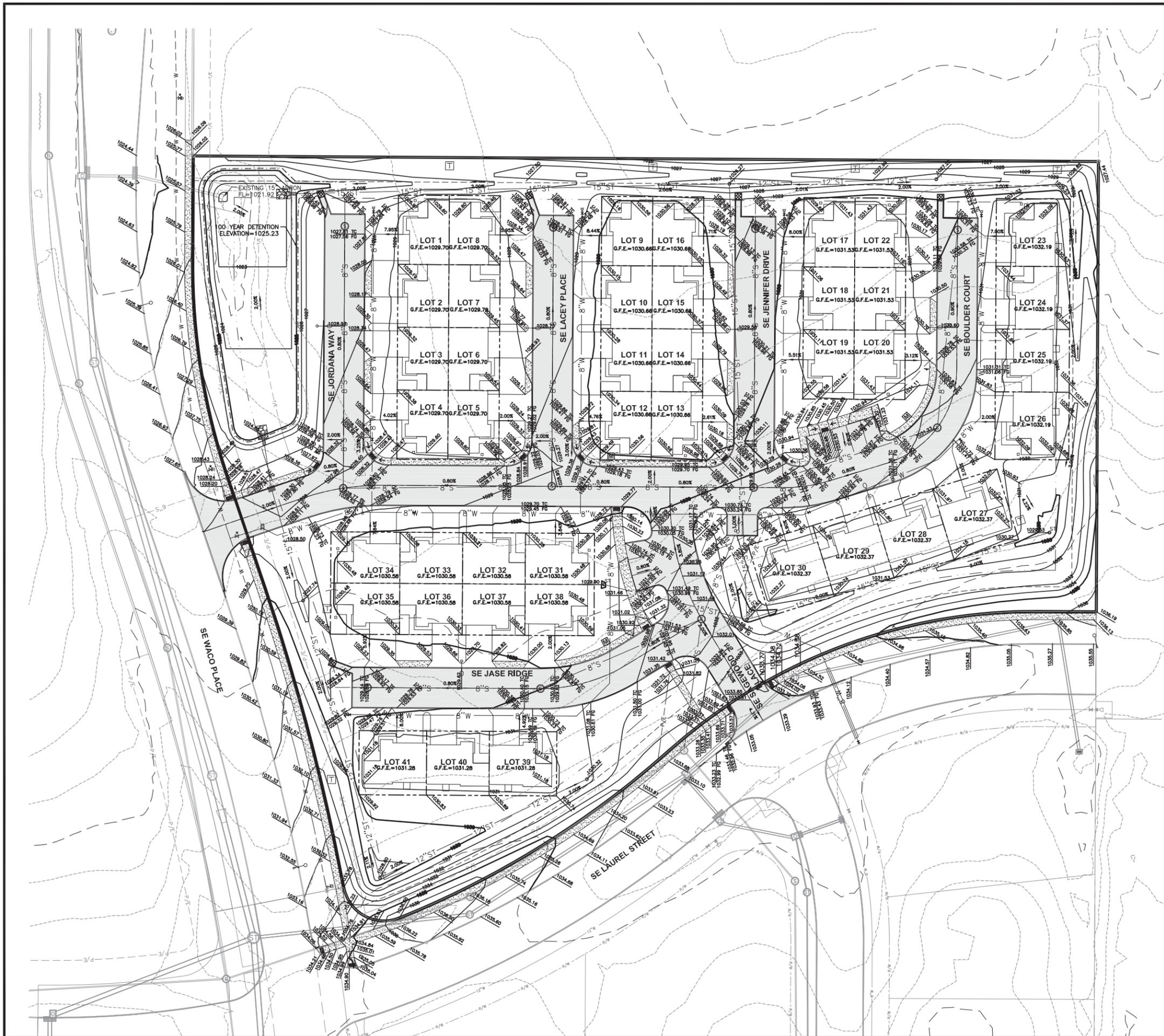
SIGN LEGEND

R1-1 ①	R7-1 ②	R7-8a ③

NOTE: PARKING WILL ONLY BE ALLOWED ON ONE SIDE OF THE STREET, AS INDICATED ON THE PLAN.

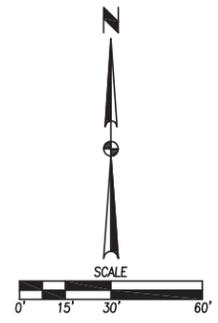
***** NOTE *****
THE TOWNHOME UNITS THAT ARE SHOWN ARE FOR REFERENCE PURPOSES ONLY. FINAL UNIT TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.





GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HALL ROADS TO PREVENT THE SPREAD OF DUST.
10. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



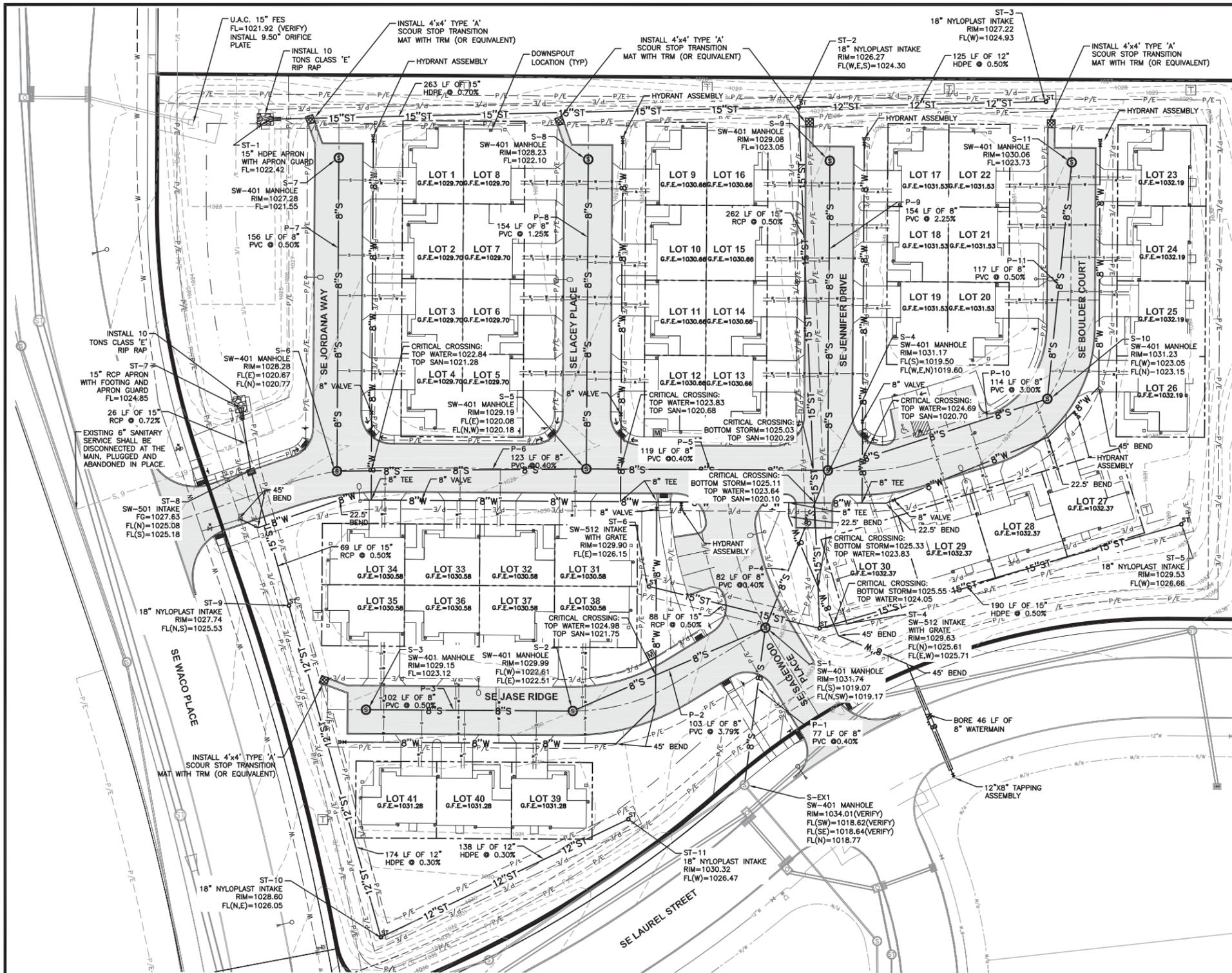
DATE	REVISIONS
4/27/13	
3/12/13	
2/26/13	
	THIRD SUBMITTAL
	SECOND SUBMITTAL
	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: EKO EI: JMM



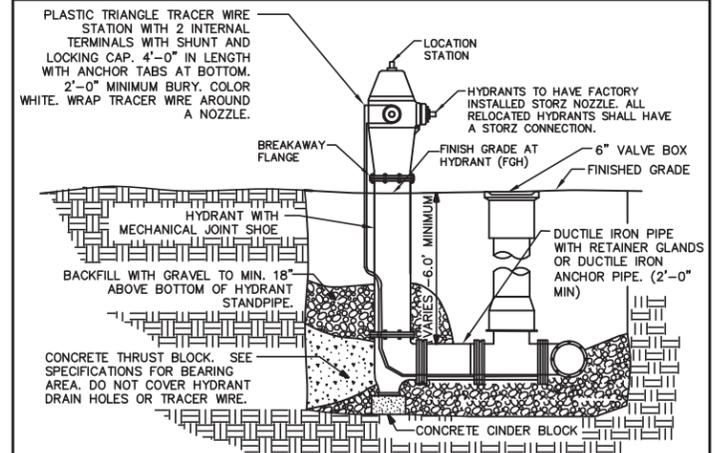
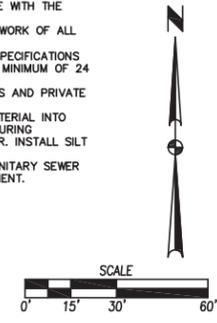
WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE

**BOULDER POINTE
 GRADING PLAN**

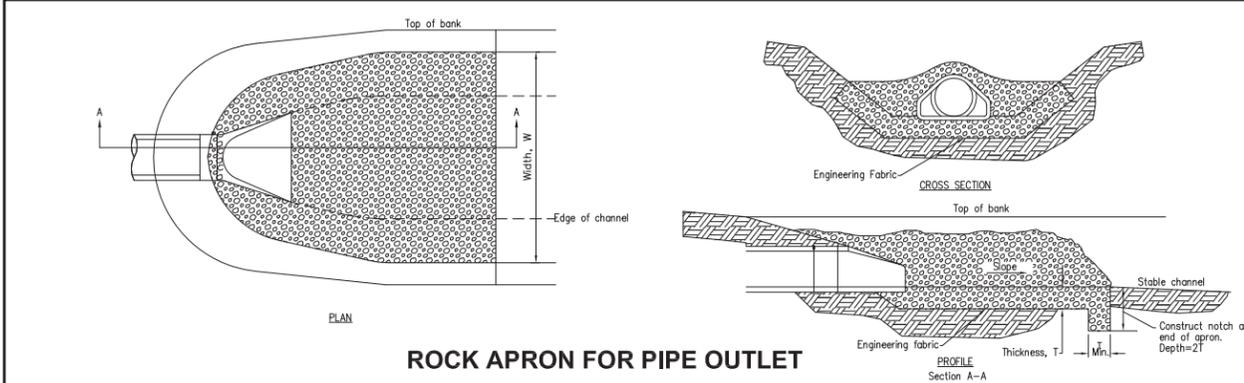


UTILITY NOTES

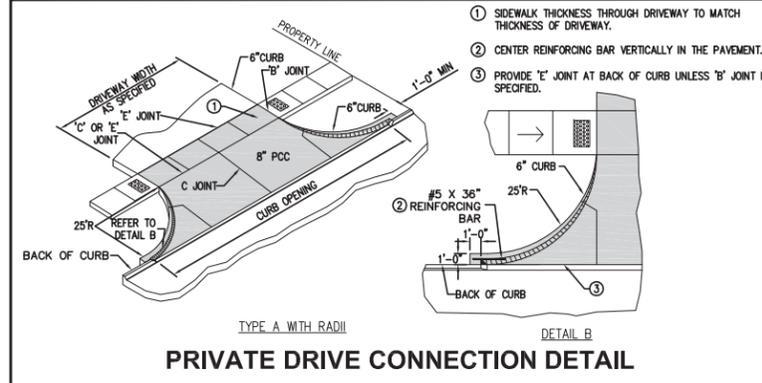
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 6.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED WATERMAIN AND SANITARY SEWER AND PROVIDE THE RESULTS TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.



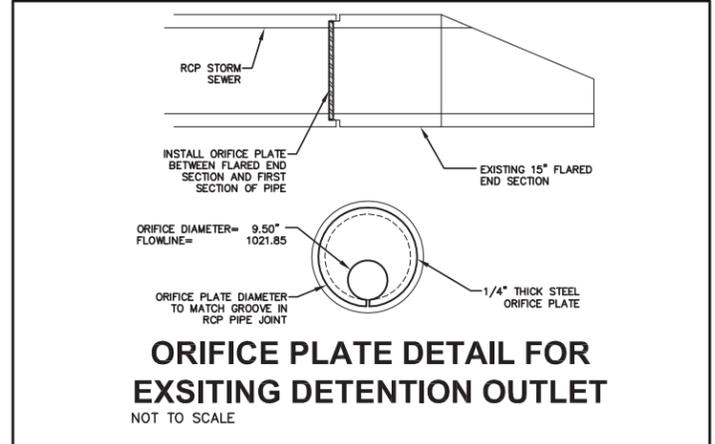
HYDRANT ASSEMBLY DETAIL
NOT TO SCALE



ROCK APRON FOR PIPE OUTLET



PRIVATE DRIVE CONNECTION DETAIL



ORIFICE PLATE DETAIL FOR EXISTING DETENTION OUTLET
NOT TO SCALE

DATE	4/27/13
THIRD SUBMITTAL	3/12/13
SECOND SUBMITTAL	
FIRST SUBMITTAL	2/26/13

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PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: EKO
E.I.: JMM



**BOULDER POINTE
UTILITY PLAN**



JCorp, Inc.
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Phone: (515) 597-5457
Fax: (515) 597-5461
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ARCHITECTURAL, STRUCTURAL,
MECHANICAL, ELECTRICAL, PLUMBING

PROJECT:	
REVISIONS:	
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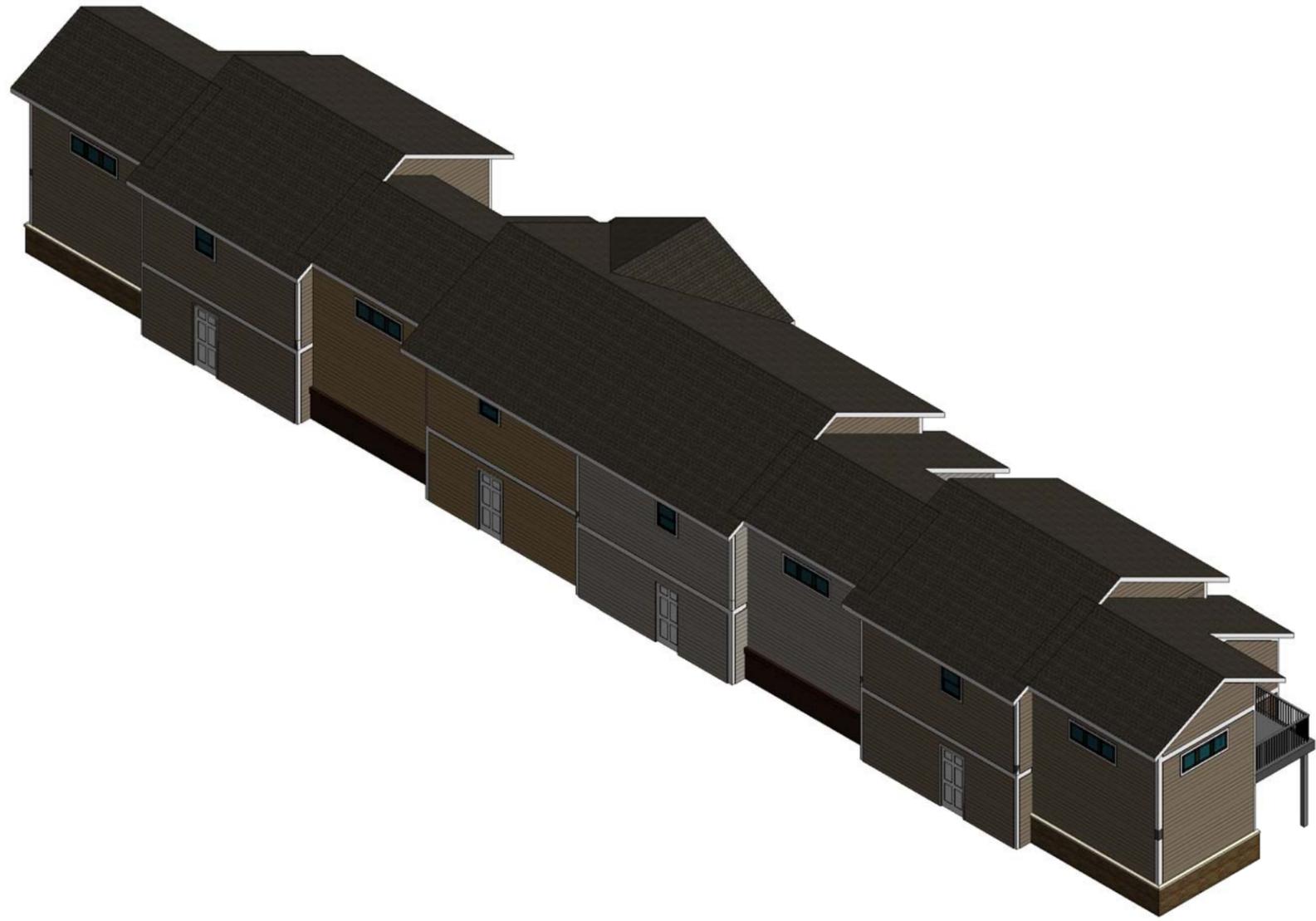
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ARCHITECTURE, STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING

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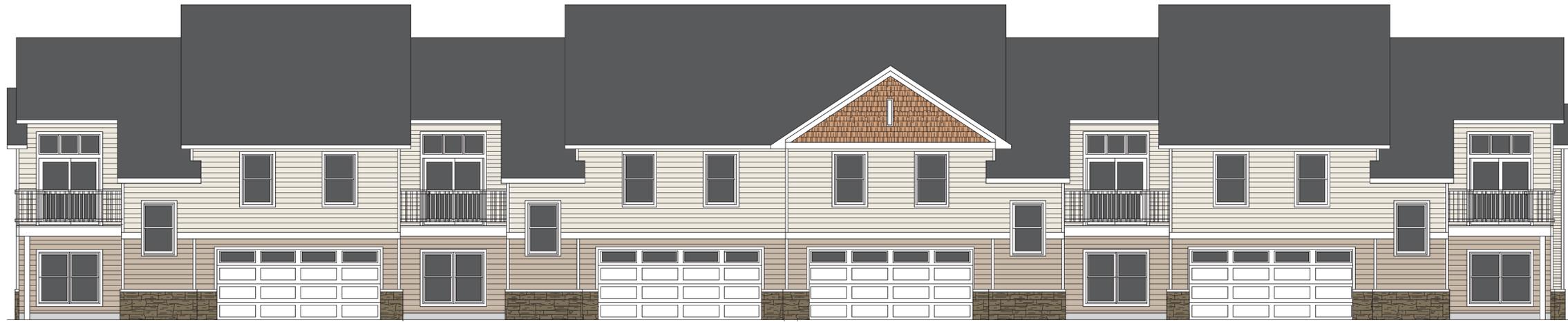


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1 FRONT ELEVATION
 SCALE: 1/8"=1'-0"



3 LEFT ELEVATION
 SCALE: 1/8"=1'-0"



2 RIGHT ELEVATION
 SCALE: 1/8"=1'-0"



4 REAR ELEVATION
 SCALE: 1/8"=1'-0"

PROJECT: **Willia s Pointe Plat 11 - Lot 1**
EIGHT PLEX
 Waukee, IA

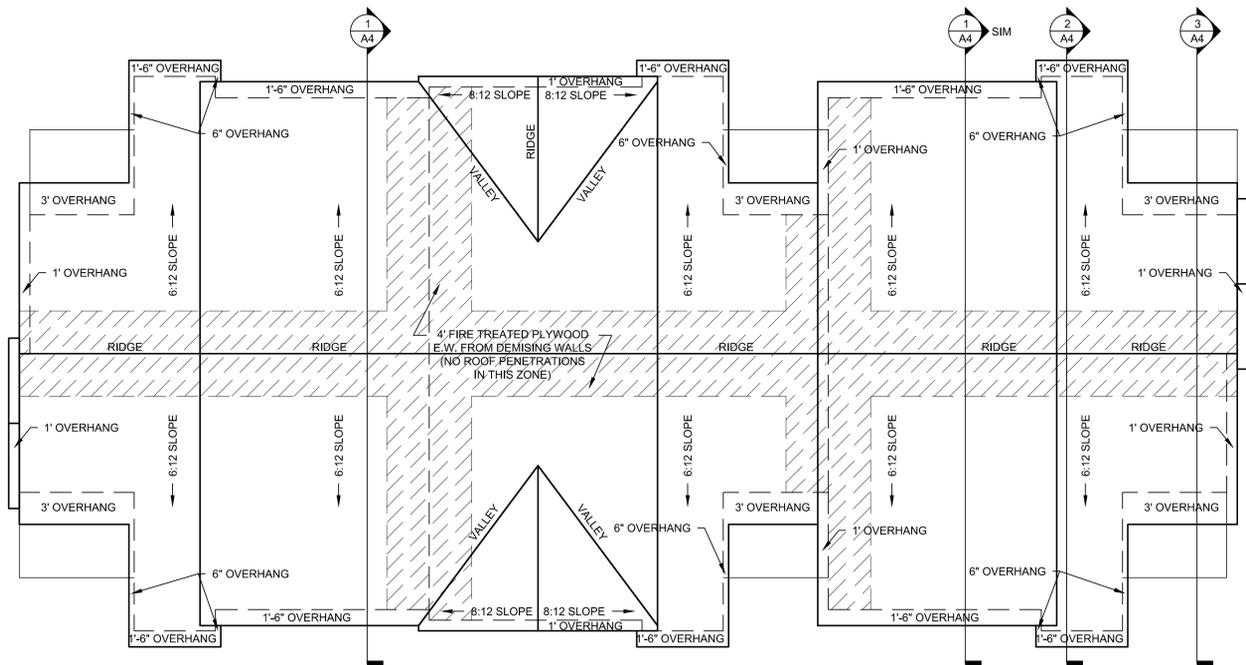


02 / 12 / 13
 13-003

A-3



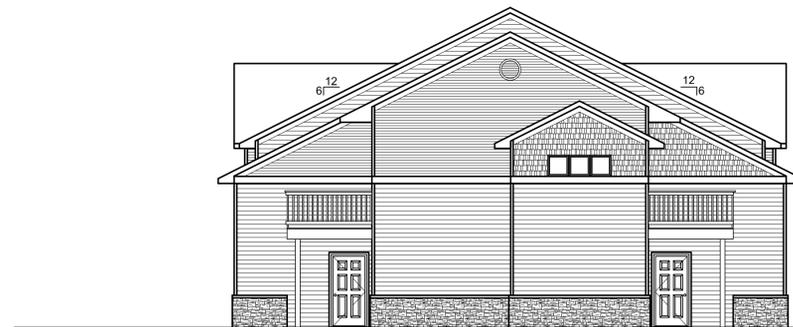
1 FRONT ELEVATION
SCALE: 3/16"=1'-0"



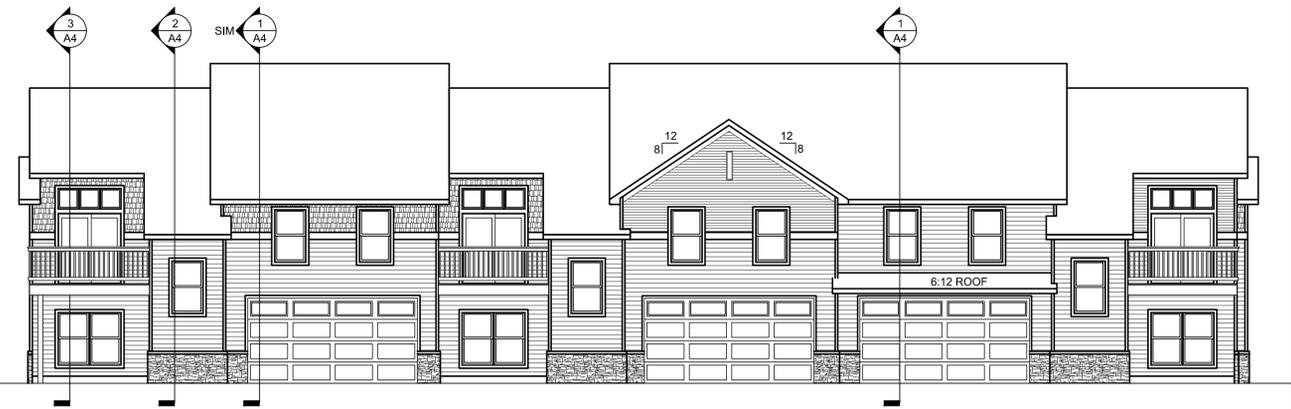
5 RIGHT ELEVATION
SCALE: 3/16"=1'-0"



2 RIGHT ELEVATION
SCALE: 3/16"=1'-0"



3 LEFT ELEVATION
SCALE: 3/16"=1'-0"



4 REAR ELEVATION
SCALE: 3/16"=1'-0"



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ARCHITECTURAL • STRUCTURAL
CONSTRUCTION • ENGINEERING

PROJECT: **Boulder Pointe Plat 11**
Single Load 3-Plt
Waukeee, IA

REVISIONS:

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2	
3	

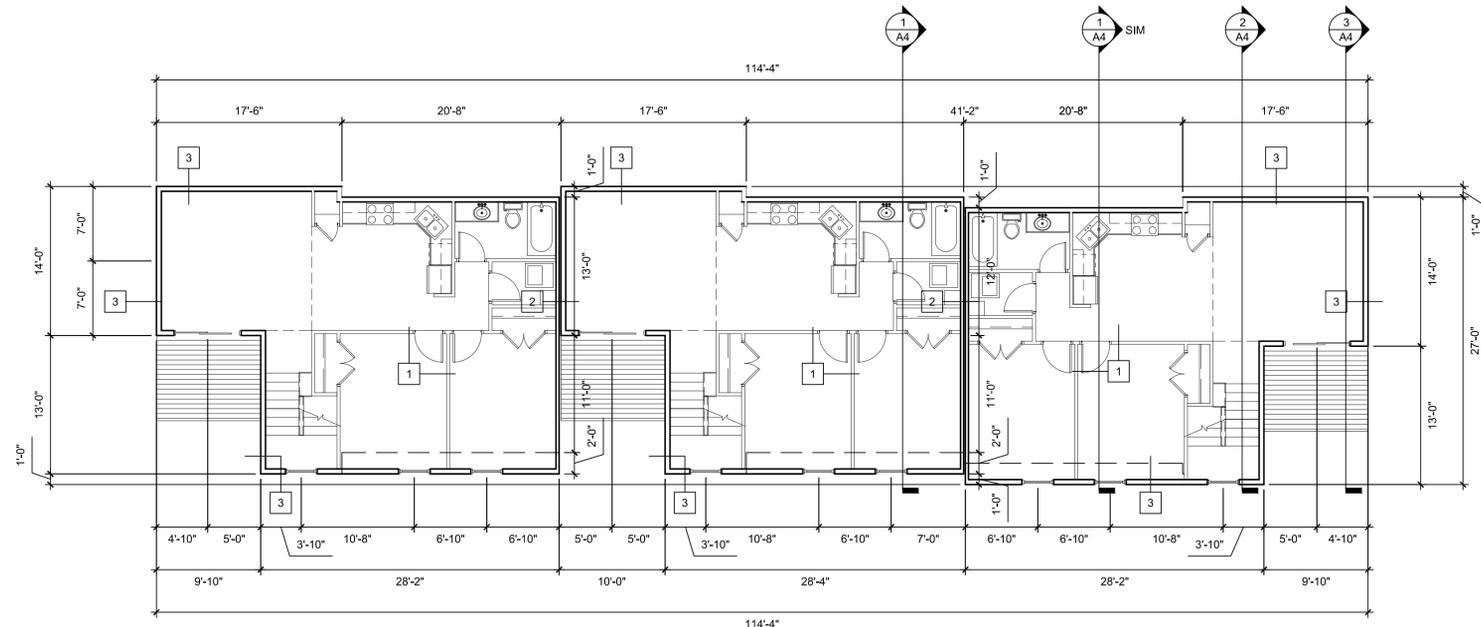
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PROJECT NO: **13-003**

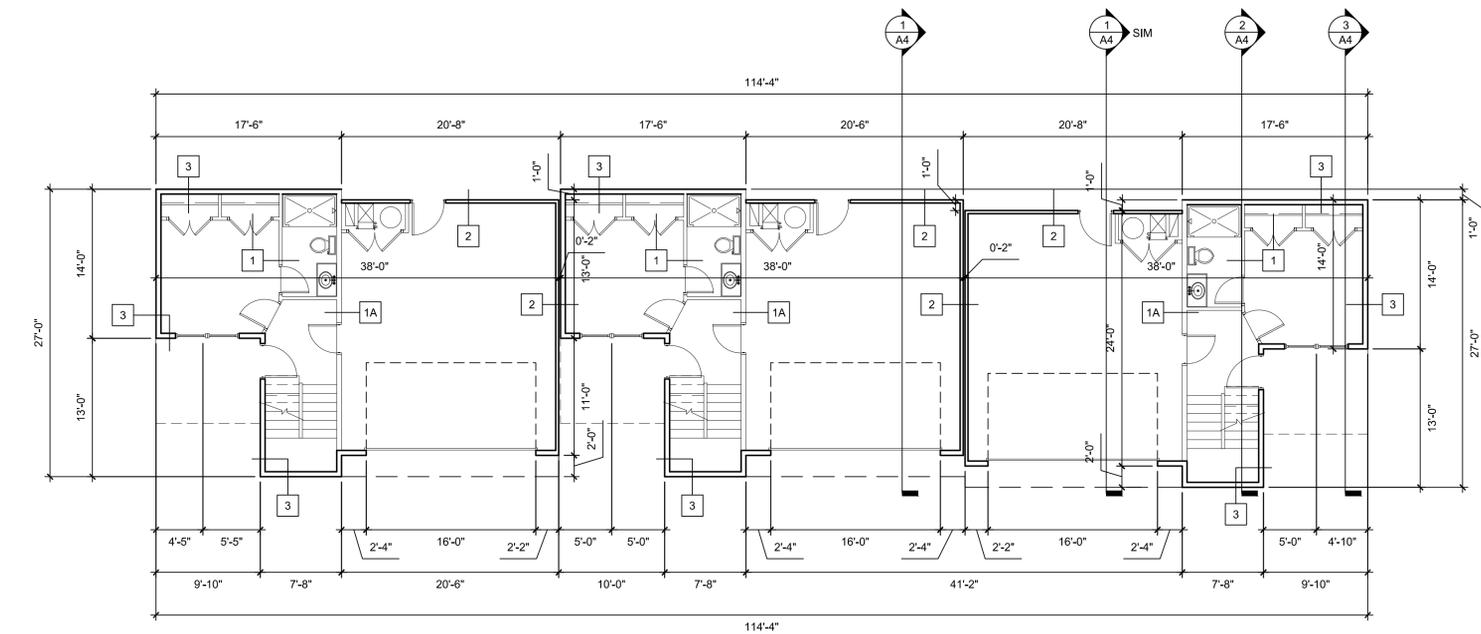
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Floor Plans

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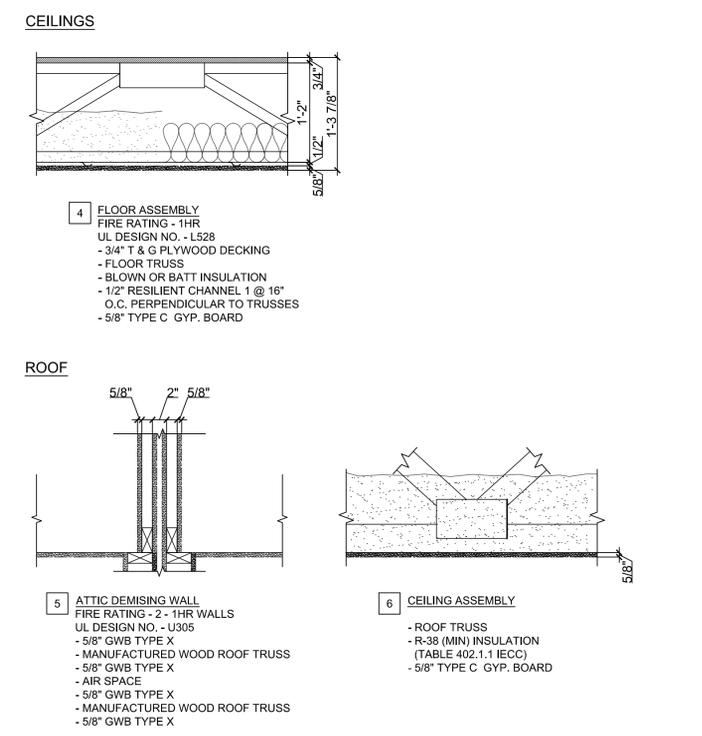
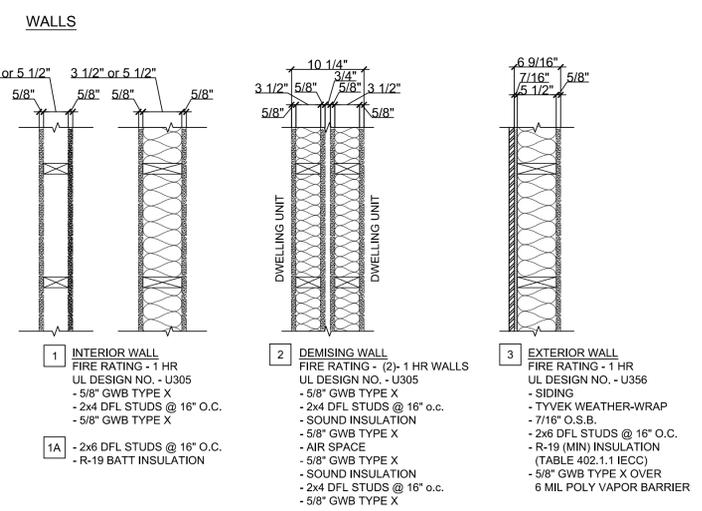
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2 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"



1 GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"



3 UPPER FLOOR PLAN
SCALE: 1"=1'-0"



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ARCHITECTURAL - STRUCTURAL

CONSTRUCTION - ENGINEERING

PROJECT: **Boulder Pointe Plat 11**
Single Load 4-Plt
Waukeee, IA

REVISIONS:

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DATE: 03 / 11 / 13

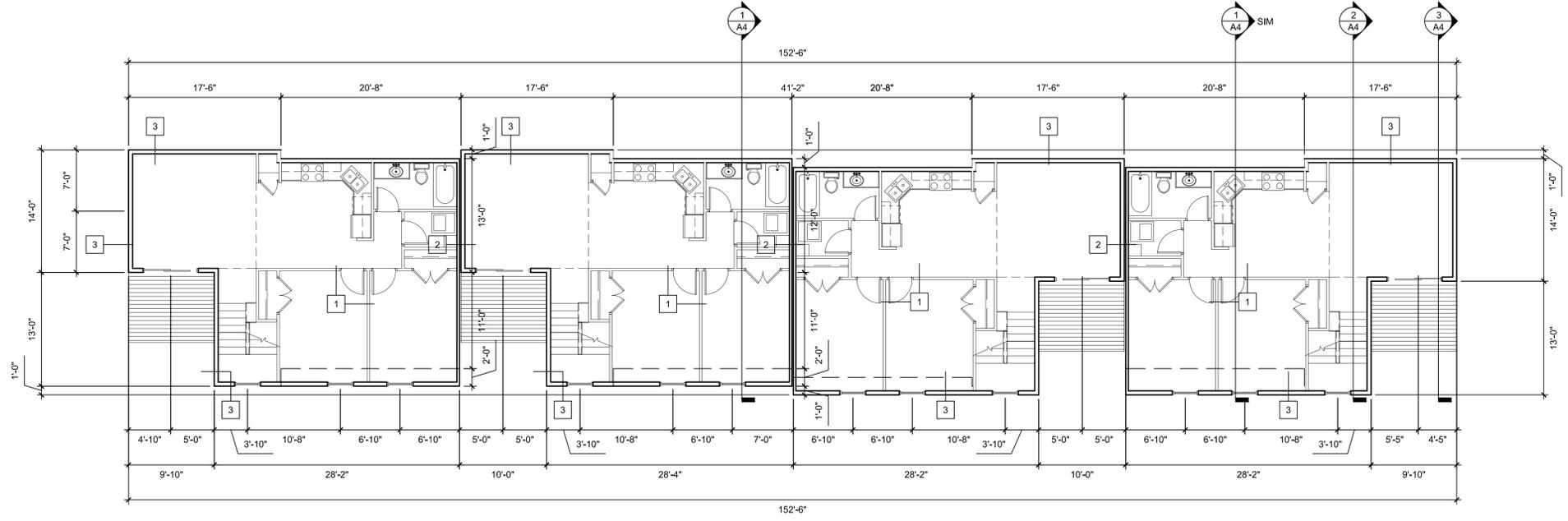
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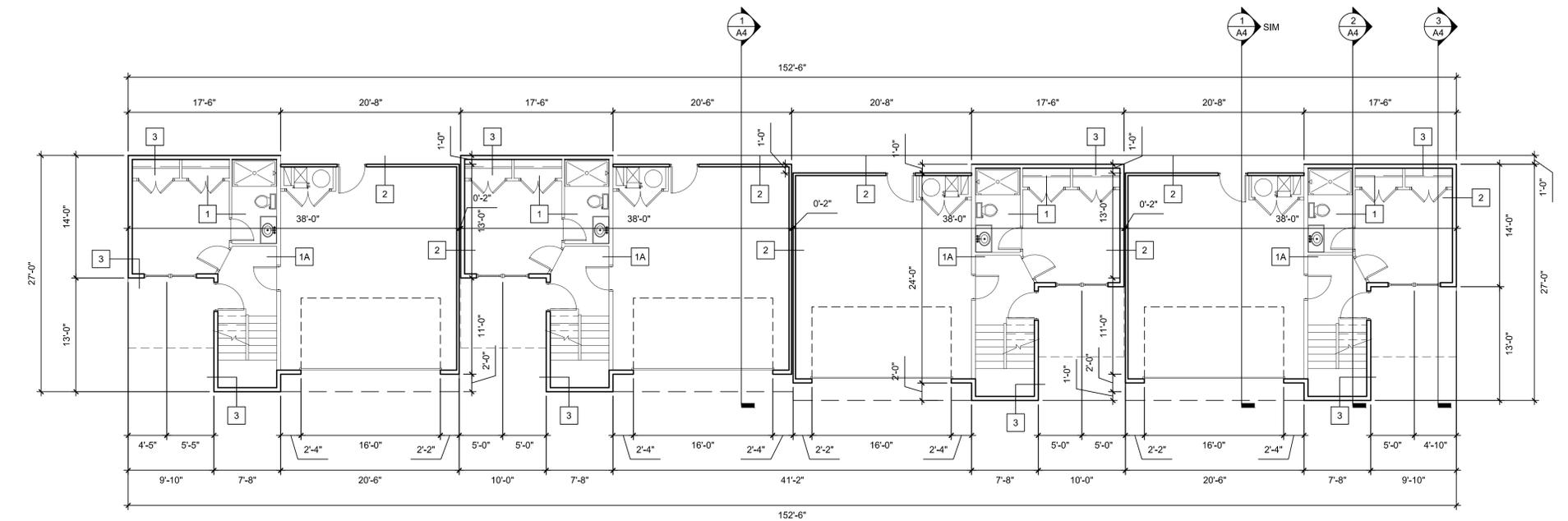
Floor Plans

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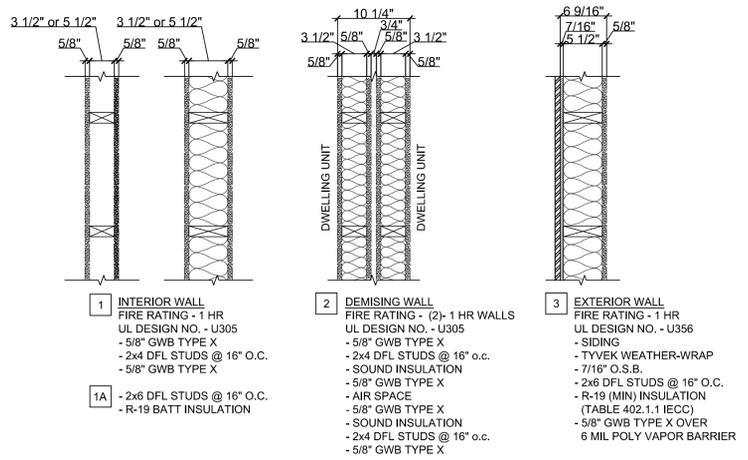


2 UPPER FLOOR PLAN
SCALE: 1/8"=1'-0"

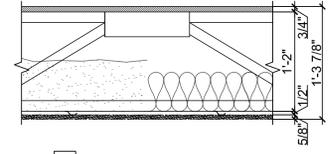


1 GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

WALLS

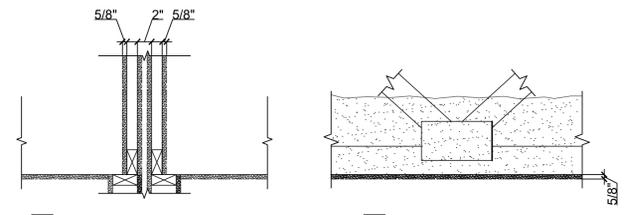


CEILINGS



4 FLOOR ASSEMBLY
FIRE RATING - 1HR
UL DESIGN NO. - L528
- 3/4" T & G PLYWOOD DECKING
- FLOOR TRUSS
- BLOWN OR BATT INSULATION
- 1/2" RESILIENT CHANNEL @ 16"
O.C. PERPENDICULAR TO TRUSSES
- 5/8" TYPE C GYP. BOARD

ROOF



5 ATTIC DEMISING WALL
FIRE RATING - 2-1HR WALLS
UL DESIGN NO. - U305
- 5/8" GWB TYPE X
- MANUFACTURED WOOD ROOF TRUSS
- 5/8" GWB TYPE X
- AIR SPACE
- 5/8" GWB TYPE X
- MANUFACTURED WOOD ROOF TRUSS
- 5/8" GWB TYPE X

6 CEILING ASSEMBLY
- ROOF TRUSS
- R-38 (MIN) INSULATION
(TABLE 402.1.1 IECC)
- 5/8" TYPE C GYP. BOARD

3 UPPER FLOOR PLAN
SCALE: 1"=1'-0"