

# **PLANNING & ZONING AGENDA ITEM #5**

Planning & Zoning Meeting date: 5/14/13

***SUBJECT:*** Approval of a Site Plan for Dartmoor Retail Center II [53 – 95 NE Dartmoor Drive]

***SYNOPSIS:*** The subject property is a part of the Enterprise Business Park which began to develop in 1995 by Downing Development. The proposed site is an approximately 1.15 acre site located at the intersection of NE Dartmoor Drive and NE Venture Drive, just north of Hickman Road. The proposed site plan entails the development of an 8,000 square foot commercial retail center capable of accomodating as many as 5 tenants.

***STAFF RECOMMENDATION:*** Staff would recommend approval of the site plan.

***PROPOSED MOTION:*** Motion to Approve the Site Plan for Dartmoor Retail Center II [53 – 95 NE Dartmoor Drive].

***ATTACHMENTS:***

***SUPPORTING DOCUMENTS:***

- I. Staff Report
- II. City Comment Letter dated 5/7/2013
- III. Site Plan
- IV. Elevations

Prepared by: Ben Landhauser, City Planner



**STAFF REPORT**

**TO:** Planning and Zoning Commission

**PREPARED BY:** Brad Deets

**RE:** Dartmoor Retail Center II – Site Plan

**DATE:** May 14, 2013

**GENERAL INFORMATION:**

**Applicant:** Downing Development, LTD

**Requested Action** Site Plan Approval

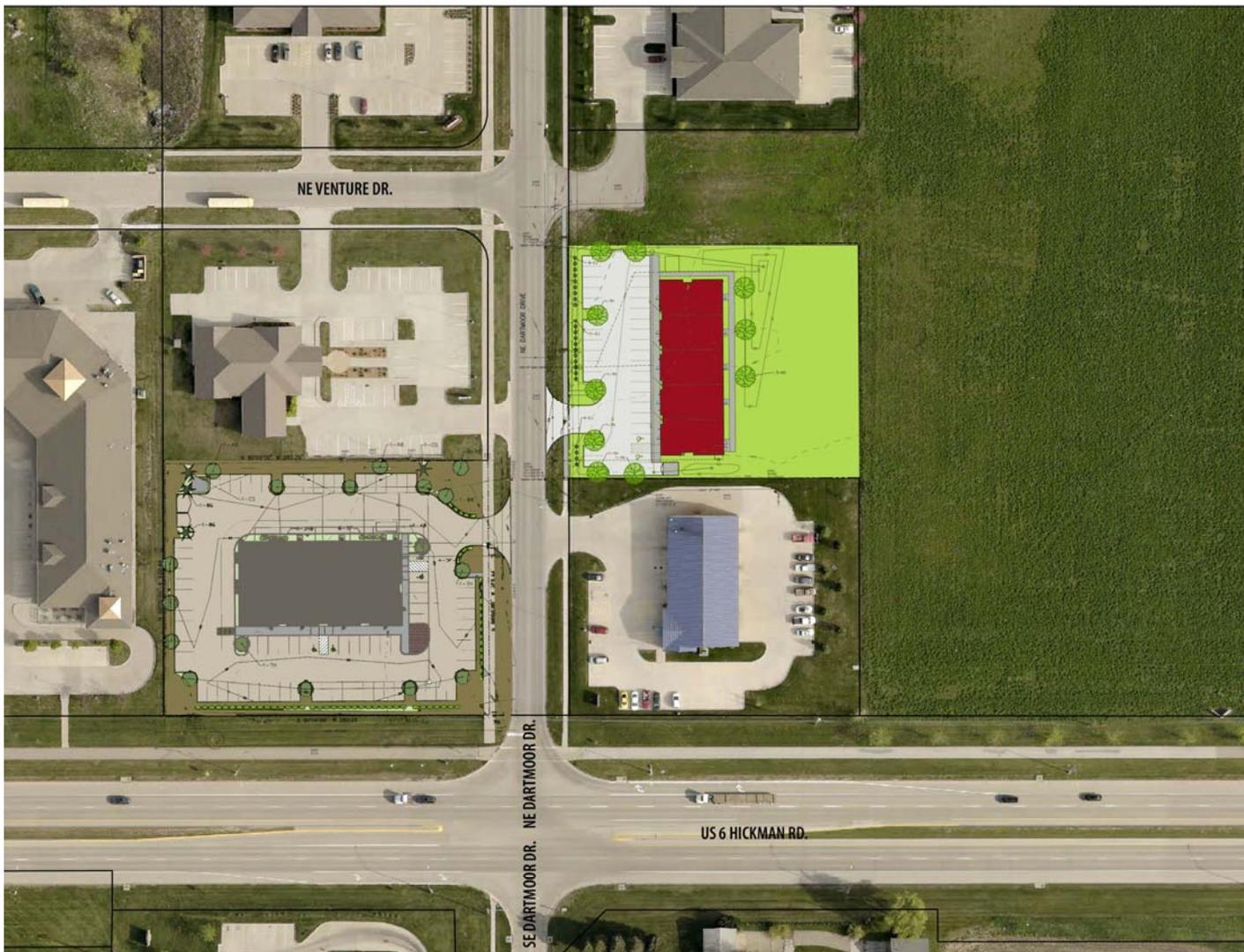
**Location and Size:** Lot 6 of Enterprise Business Park Plat 3, generally located on the east side of the NE Dartmoor Drive and NE Venture Drive intersection, north of E. Hickman Road, containing 1.15 acres more or less.

**LAND USES AND ZONING:**

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant - Undeveloped	Neighborhood Residential	C-1
North	Vacant – Undeveloped Future NE Venture Drive Extension	Neighborhood Residential	C-1
South	Heartland Tire and Auto Center	Neighborhood Residential	C-1
East	Vacant – Undeveloped Outlot of The Pointe Plat 1	Neighborhood Residential	C-1
West	Ernst Funeral Home	Neighborhood Residential	C-1

**BACKGROUND:**

The subject property is a part of the Enterprise Business Park which began to develop in 1995 by Downing Development. The proposed site is an approximately 1.15 acre site located at the intersection of NE Dartmoor Drive and NE Venture Drive, just north of Hickman Road. The proposed site plan entails the development of an 8,000 square foot commercial retail center capable of accomodating as many as 5 tenants.



Aerial Photo of Property and Surrounding Area

**PROJECT DESCRIPTION:**

The proposed project includes the construction of an 8,000 square foot retail strip center which at this time is proposed with 5 individual tenant build-outs; all of which would accommodate general retail or office users.

**ACCESS PARKING AND TRAILS:**

Access to the site will be provided from a single access point along NE Dartmoor Drive which aligns with the existing driveway to Ernst Funeral Home on the west side of the street. At such time as NE Venture Drive is extended to the east, the applicant has identified the possibility of providing additional access to the site from Venture Drive which could provide for additional parking opportunities and a future addition or second building on the site.

Based upon the intended uses of the building, a total of 32 parking stalls are required and that is what the applicant is proposing to provide which includes 2 handicapped accessible stalls.

As a part of the development of the site, a public sidewalk will be extended to the temporary access road through the planned future right of way for NE Venture Drive.

**UTILITIES:**

Access to utilities for the site will be provided by the existing 15” sanitary sewer line and 8” water line along NE Dartmoor Drive. The building is proposed to be sprinkled and the appropriate water connections are proposed on the plans. A secondary sanitary sewer line is being routed to the rear side of the property in the event that the planned uses change on the site which requires a grease trap interceptor or another building becomes a possibility.

Downspouts for the building will be connected directly to the storm sewer system. No detention is required for this site as the detention requirement is accommodated within the large regional retention pond located to the north and west of this site that was previously constructed as a part of the Enterprise Business Park.

**OPEN SPACE AND LANDSCAPING:**

A total of 10,005 (20%) square feet of open space is required and approximately 58% or 28,982 square feet is being provided. A small earthen berm is proposed along the parking areas adjacent to NE Dartmoor Drive which will be accompanied by the installation of Japanese Yews. A number of landscaped islands are also proposed throughout the parking lot to break up the long expanses of concrete. The required number of trees and shrubs have been provided to satisfy the minimum requirements of the Landscape and Open Space Ordinance.

**ELEVATIONS:**

The building is scheduled to be constructed with a number of different building materials including brick, stone, architectural metal, substantial glazing, EIFS and siding material. The design is of similar style to the Dartmoor Retail Center located in the northwest corner of NE Dartmoor Drive and Hickman Road which was completed in February 2013. The rear side of the building has a slight differentiation in design of the rear (east) elevation from the existing building adjacent to Hickman. The applicant has worked within the parameters of the recently adopted architectural standards to provide a similar massing configuration of the rear elevation as is represented on the front (west) elevation through the use of similar stone and EFIS materials utilized elsewhere on the building and eliminating the continuous brick façade that was constructed as part of the existing building. Building materials will be provided for review at the Planning and Zoning Commission meeting.

**MISCELLANEOUS:**

A trash enclosure is proposed just off the southwest corner of the building and is proposed to be constructed of the same brick used on the building with a trex and steel gate.

**STAFF RECOMMENDATION**

At this time, staff would recommend approval of the site plan for Dartmoor Retail Center II.

**CITY OF WAUKEE**

Ben Landhauser

City Planner



**Development Services Department**

230 W. Hickman Road

Waukeee, IA 50263

Phone: (515) 978-9533

Fax: (515) 987-1845

May 7, 2013

Engineering Resource Group, Inc.  
Attn: Doug Saltsgaver  
2413 Grand Avenue  
Des Moines, Iowa 50312

RE: Dartmoor Retail Center II

Dear Mr. Saltsgaver:

Per your request, staff and Veenstra and Kimm have reviewed the Site Plan for the Dartmoor Retail Center II located north of the Hickman Road/Dartmoor Drive intersection adjacent to Heartland Tire and Auto. Based upon our joint review, we have the following comments to offer regarding the site plan:

**GEOMETRIC PLAN**

1. ~~The overall site address should be indicated as 53 NE Dartmoor Drive (Based upon the location of the common utility room in the southeast corner of the building).~~
2. ~~Anticipated dimising wall locations should be indicated on the plan set and addresses indicated for each tenant space. The addresses for the 5 tenant spaces should be indicated as follows: **The anticipated location of the dimising walls related to the common utility room should be indicated on the site plan.**~~
  - ~~From south to north: 55, 65, 75, 85, 95 NE Dartmoor Drive~~
3. ~~Staff questions if the applicant intends on expanding the building at any time in the future or allowing for the leasing of proposed space to a higher parking user such as a restaurant. It may be beneficial to identify the location of a future phase or future parking stalls that could be added to facilitate additional space or higher traffic generation users. Additionally, staff would note that NE Venture Drive will be extended as a private drive in the future and may provide the ability to create a second access point into the site which may be beneficial. The most recent design of this private roadway has been attached for your use and reference. Please address. **Staff would like to meet and discuss the potential development of the private NE Venture Drive extension that would abut this project and how access, parking, and future expansion or future buildings may be located on the site. Staff would request that the applicant identify the planned roadway alignment previously provided for NE Venture Drive on the site plan in half tone. Please address.**~~
4. ~~The west side of NE Dartmoor Drive should be indicated on the plan set identifying the location of adjacent curb cuts/access and NE Venture Drive.~~
5. ~~**All existing easements should be indicated with recorded book and page. The existing 15 foot PUE on the west side of the property should be indicated on the plan set. Additionally, the 10 foot PUE on the north side of the property is part of an overall 20 foot PUE (10 ft on this property and 10 feet on the property to the north) which should be indicated on the site plan for clarity.**~~
6. ~~The dumpster will need to be relocated out of the front yard (defined by the location of the front elevation of the building) to comply with the ordinance provisions for its placement. Staff would suggest locating the enclosure on the south side of the building where the transformer is currently~~

shown and set the face of the enclosure back a few feet from the west face of the building. Additionally, the enclosure should be no less than 2 feet from the property line. Please address.

7. The note for Sudas Type A drive should be revised to indicate an expansion joint in lieu of the B joint.
8. The pervious and impervious surface calculations should be indicated on the plan set.
9. The adjacent property ownership should be indicated on the site plan.
10. ~~Truncated domes and warning panels should be indicated for all public sidewalk/private driveway crossings indicated on the plan set. Additionally, a truncated dome should be provided at the east end of the pedestrian connection from the public sidewalk into the site.~~

## GRADING PLAN

11. Spot elevations should be indicated at all property corners, building corners, and at the low point of all proposed swales. ~~Additionally, the flowline or percent of fall from lot corners to and across swales should be indicated on the plan set to verify a minimum of 2% of fall. There are several spot elevations along the south and east property boundaries that are not on a lot line which should be revised to indicate the elevations on the lot lines or the distance from the appropriate lines identified to provide for proper identification in the field.~~
12. Notes should be added to the site plan indicating all General Permit #2 topsoil requirements.
13. The sediment controls proposed for this site as part of the SWPPP plan should be indicated on the site plan for clarity. ~~Inlet protection should be provided for the existing intake along NE Dartmoor Drive.~~
14. Staff would request that some berming be provided along the parking stalls facing NE Dartmoor Drive to satisfy the site plan ordinance requirement for buffering headlights with a combination of berming and plantings. Minimum berm height of 3 feet above top of curb should be considered, but Staff would note that a continuous berm is not necessary. Please address.
15. ~~The 100-year flood elevation for the site should be indicated and illustrated on the plan.~~
16. A private detention easement will need to be provided for the proposed detention facility. Additionally, a private maintenance covenant will also need to be provided. An example of these has been attached for your reference.
17. ~~A note should be added to the plan set indicating the owner's responsibility to provide staff (Engineering Department) with an as-built grading plan for the site and written verification from the civil engineer that the detention facility was constructed as designed.~~
18. The overflow route for storm water backed up on the site during a significant storm event, as suggested by the provided storm computations, should be indicated on the plan set.
19. ~~Elevations should be indicated for all depressed curbs associated with the public sidewalk crossings and the truncated domes.~~
20. ~~Site grading should be adjusted to eliminate the storm water from exiting the site and entering the public right-of-way. Alternatively, an intake(s) could be placed near the property line to capture the water prior to entering the street.~~
21. ~~The total area of disturbance should be indicated on the plan set for clarity and a note added indicating the requirement to complete a COSESCO application in the event lot disturbance is 1 acre or more.~~

## UTILITY PLAN

22. The critical crossing at the existing intake tie-in with top-of-water and bottom-of-storm-sewer elevation should be indicated on the plan set.

23. The existing 6-inch water service should be indicated with a note to have the tee capped and thrust block installed for removal/abandonment of the service.
24. A detail indicating the location of the fire and domestic water split should be indicated on the site plan. Additionally, valves should be indicated for both services prior to entering the building.
25. Verify that a hydrant is within 100 feet of the FDC on the building.
26. **A note should be added to the plan set indicating the required installation of a grease trap interceptor and confirmation of design and sizing to be provided from the WRA prior to issuance of a building permit of a food establishment.** Staff questions if an interceptor is intended to be sized for use by all potential tenants. The potential location of a grease trap interceptor should be indicated on the plan set for clarity. Please address.
27. A sanitary cleanout should be indicated at the end of the 6-inch sanitary service stubbed to the east of the building.
28. Verify the flowline elevation at Intake #3.
29. The types of storm structures proposed should be called out on the utility plan for clarity.
30. A note should be provided to core drill into the existing storm intake to create a smooth invert.
31. Staff questions what is being implemented to provide stormwater outlet rate control. Please address.
32. Staff questions if natural gas service is intended for the project. The location of any planned gas meters should be indicated on the plan set. Please address.

#### LANDSCAPE PLAN

33. The landscaping requirement calculations should be revised and indicated as 1 tree per 1,000 square feet of required open space and 1 shrub per 1,000 square feet of required open space.
34. Additional plantings should be provided along the western edge of the site in the southwest corner of the site to adequately screen headlights facing NE Dartmoor Drive. Staff would request that shrubs used for this screening be a form of evergreen for year round satisfaction of the requirement.
35. Verify that there will not be any ground-mounted mechanical units and all mechanicals will be provided as rooftop units.
36. Verify that the transformer location does not need to be relocated due to the comments above related to the dumpster enclosure.
37. **A note should be added to the Landscaping Plan identifying any ground-mounted mechanical units, transformers, and utility meter clusters to be adequately screened from public view. The note should also specify that the screening plant species to be reviewed and approved by the Development Services Department prior to installation.**

#### DETAILS

38. A detail of the RCP intakes should be included as a part of the plan set.

#### ELEVATION DRAWINGS

39. The colored elevations should be updated to provide massing dimensions for each elevation.
40. While the recently approved changes to the site plan ordinance, and in turn the architectural provisions, eliminating specific material percentages the ordinance is not intended to require 360 degree architecture. With this in mind, Staff would like to see some additional thought given to the rear (east elevation) that would provide a similar level of interest as the other portions of the building. Attached is a copy of the new site plan ordinance outlining the specific provisions that need to be met by this project.
41. A note should be added to the elevation drawings indicating the mechanical screening to be adjusted as necessary to provide for adequate screening of the units.

42. ~~A note should be added indicating signage to be reviewed and approved by the Development Services Department under separate permit.~~
43. **Material samples of the building should be available at the Planning and Zoning Commission and City Council meetings.**

MISCELLANEOUS

44. ~~**A signed SWPPP, COSESCO Checklist, and COSESCO application will need to be provided for review prior to any work commencing on site.**~~ Additionally, a copy of the IDNR issued General Permit #2 authorization letter should be submitted as a part of the application.
45. **Staff would request that the next submittal be provided in PDF form. The PDF(s) can be emailed to staff.**

Revisions should be provided to staff no later than 12:00 PM on Friday, May 10<sup>th</sup> in order to stay on schedule for the May 14<sup>th</sup> Planning and Zoning Commission meeting at 6:00 PM. Following a positive recommendation the project would be placed on the City Council agenda for Monday, May 20<sup>th</sup> at 5:30 PM. Should you have any questions or concerns regarding these comments, please feel free to contact myself or Brad Deets at 987-4522.

Sincerely,

Ben Landhauser  
City Planner

**NOTE:**

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

MECHANICAL UNITS SHALL BE ROOFTOP  
ALL PROPOSED SIGNAGE SHALL BE REVIEWED AND APPROVED BY DEVELOPMENT SERVICES DEPT. UNDER SEPARATE PERMIT

**SITE ADDRESS** 53 NE DARTMOOR DR  
WAUKEE, IA 50263  
**OWNER/APPLICANT** DOWNING DEVELOPMENT, LTD.  
125 NE VENTURE DRIVE, SUITE H  
WAUKEE, IA 50263

**ZONING:** C-1  
**OPEN SPACE**

**USE** COMMERCIAL  
RETAIL  
**SETBACKS:** FRONT: 30'  
SIDE: 0'  
REAR: 30'

TOTAL OPEN SPACE REQUIRED: 10,005 SF 20%  
TOTAL OPEN SPACE PROVIDED: 28,982 SF 57.9%  
PARKING LANDSCAPE SPACE REQUIRED: 10%  
PARKING LANDSCAPE SPACE PROVIDED: 1,043 SF 10%  
IMPERVIOUS SURFACE: 28,730 SF  
PERVIOUS SURFACE: 21,292 SF

CONSTRUCTION TYPE: VB  
OCCUPANCY TYPE: ASSEMBLY

**NOTE:** RAMPS ON PUBLIC SIDEWALKS SHALL HAVE WARNING PANELS.

**BENCHMARK**

SPIKE IN NORTH SIDE OF POWER POLE AT THE NORTHEAST CORNER OF HIGHWAY #6 AND WARRIOR LANE. ELEVATION=1,024.16 USGS DATUM.

**LEGAL DESCRIPTION**

ENTERPRISE BUSINESS PARK PLAT 3 LOT 6 CONTAINING 1.15 ACRES

**GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH APPLICABLE CITY, AND COUNTY CODES, ORDINANCES, REGULATIONS AND RULES.
- ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE CLEANED BY THE END OF THE WORK DAY OR PRIOR TO A STORM EVENT.
- ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
- WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS FROM THE SITE.
- ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
- THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.
- WORK SHALL BE IN COMPLIANCE WITH 2010 ADA STANDARDS.

**P.C.C. PAVING**

- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12".
- MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- AGGREGATE SHALL BE CLASS 3.
- CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE. NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105
- SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12'. TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15'. JOINT LAYOUT SHALL BE APPROVED BY THE ENGINEER.
- BARS AT LONGITUDINAL JOINTS TO BE 1/2" X 30" DEFORMED AT 30" O.C.
- ALL JOINTS SHALL BE FILLED.
- THE CONTRACTOR TO BARRICADE SLAB FOR 14 DAYS AFTER PLACING.
- PAVING THICKNESS SHALL BE 6", UNLESS OTHERWISE NOTED.
- SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL WORK TO COMPLY WITH CURRENT ACI STANDARDS.
- THE CONTRACTOR SHALL PAINT PARKING STALLS AND PROVIDE AND INSTALL H.C. PARKING SIGNS.
- ALL DEBRIS SPILLED ON THE CITY STREETS OR ADJACENT PROPERTY SHALL BE CLEANED BY THE END OF THE WORK DAY OR PRIOR TO A STORM EVENT. NOTIFY CITY OF PROPOSED BORROW OR FILL SITE LOCATIONS AND HAUL ROUTES.
- ALL PAVEMENT WITHIN THE ROW TO BE A C-4 MIX.

NE VENTURE DRIVE

NE DARTMOOR DRIVE

SUDAS TYPE 'A' DRIVEWAY AND GRIND/CUT CURB DROP WITH EXPANSION JOINT.

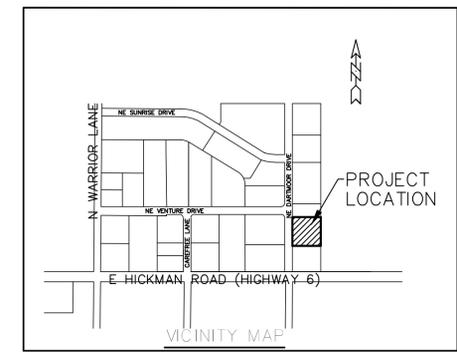
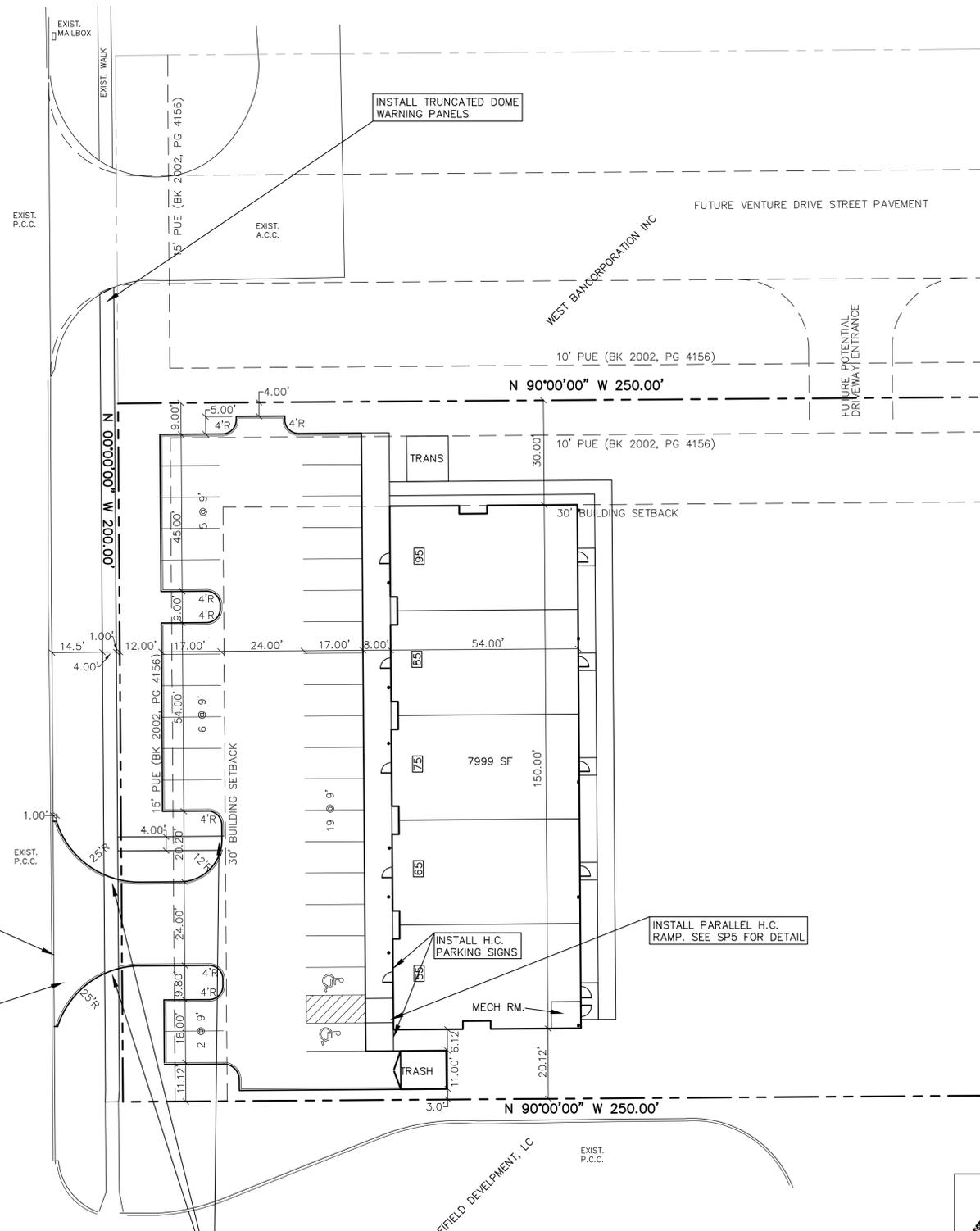
INSTALL 8" P.C.C. SIDEWALK AND PAVEMENT IN R/W

INSTALL TRUNCATED DOME PANELS SEE SHEET SP5 FOR SIDEWALK AT DRIVEWAY IN R.O.W. DETAIL

INSTALL TRUNCATED DOME WARNING PANELS

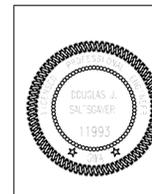
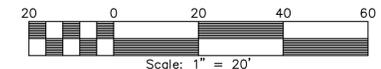
INSTALL H.C. PARKING SIGNS

INSTALL PARALLEL H.C. RAMP. SEE SP5 FOR DETAIL



**PARKING**

REQUIRED:  
RETAIL: 4/1000 SF  
7,999 X 4 = 32 STALLS  
PROVIDED: 32 (INCL. 2 H.C.)



ENGINEERING CERTIFICATION  
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DOUGLAS J. SALTZMAN, P.E. #11993 DATE  
2413 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 288-4853

PAGES OR SHEETS COVERED BY THIS SEAL  
SP1-SP5

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**DARTMOOR RETAIL CENTER II- GEOMETRIC PLAN**

Engineering Resource Group, Inc.  
Engineers and Surveyors  
2413 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 288-4853

13-016

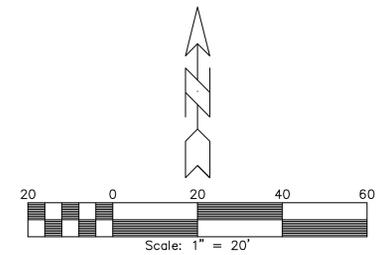
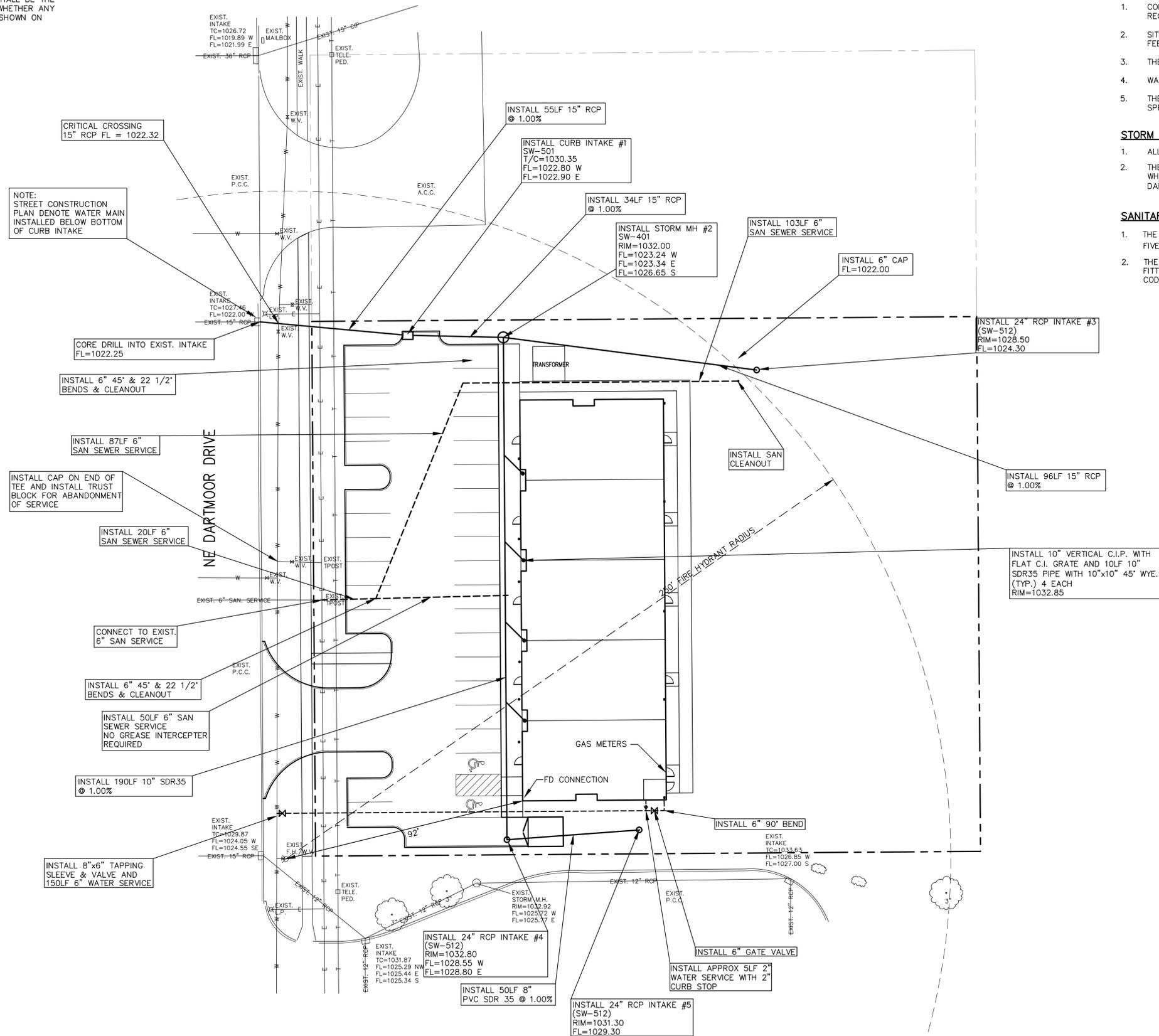
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**WATER SERVICE**

1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
2. SITE CONTRACTOR TO INSTALL PIPE TO WITHIN FIVE (5) FEET OF BUILDING.
3. THE CONTRACTOR SHALL COMPLY WITH ALL CITY CODES.
4. WATER MAIN SHALL BE PVC C900 DR18.
5. THE BUILDING SHALL HAVE A 6" PVC SERVICE FOR FIRE SPRINKLERS AND A 2" COPPER SERVICE FOR DOMESTIC.

**STORM SEWER**

1. ALL RCP SHALL BE CLASS 3.
2. THE CONTRACTOR SHALL PROTECT EXISTING SANITARY SEWERS WHEN CROSSING. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SANITARY SEWERS AT HIS/HER OWN EXPENSE.

**SANITARY SEWERS**

1. THE SITE CONTRACTOR TO INSTALL PIPE TO WITHIN FIVE (5) FEET OF BUILDING.
2. THE CONTRACTOR SHALL INSTALL ANY AND ALL FITTINGS AND APPURTENANCES AS REQUIRED BY PLUMBING CODE WHETHER SHOWN OR NOT.

**DARTMOOR RETAIL CENTER II - UTILITY PLAN**

**FRG**  
 Engineering Resource Group, Inc.  
 Engineers and Surveyors  
 2413 GRAND AVENUE  
 DES MOINES, IOWA 50312  
 (515) 288-4823

NO.	REVISION	DATE	BY	FOR

SCALE:	1" = 20'	DESIGNED BY:	DJS	DRAWN BY:	PJV
DWG:	13-016-UTL.dwg	CHECKED BY:	DJS	DATE:	05/01/13
FIELD BOOK:		SHEET	3	OF	5
		FILE NO.:			13-016

SP3

13-016

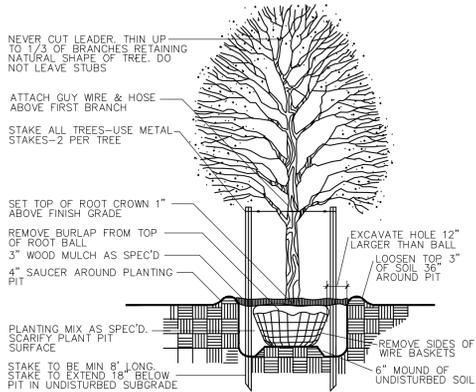
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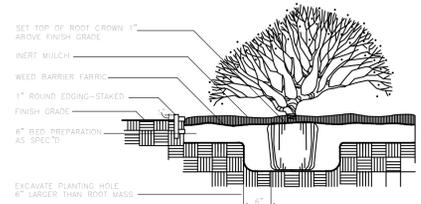
**PLANTING NOTES:**

1. ALL SITE WORK, SODDING, HYDROSEEDING, AND LANDSCAPING TO BE DONE IN ACCORDANCE WITH STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS UNLESS SPECIFIED ELSEWHERE.
2. ALL PLANT MATERIAL SHALL MEET MINIMUMS AS SHOWN IN "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1, OR THE WISCONSIN STANDARD SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
3. CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR ONE YEAR FROM INITIAL ACCEPTANCE OF PLANT MATERIAL, AT NO EXTRA COST TO OWNER.
4. NO PLANT MATERIAL SHALL BE SUBSTITUTED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CITY PLANNING DEPARTMENT PRIOR TO BIDDING.
5. ALL TREES, SHRUBS, AND GROUND COVER BEDS TO BE MULCHED WITH 3" OF SHREDDED HARDWOOD MULCH U.N.O. SEE SPECIFICATIONS.
6. PLANT QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE. DRAWING QUANTITIES SHALL GOVERN IF A DISCREPANCY OCCURS.
7. CONTRACTOR TO STAKE OUT PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ANY IMPROPERLY LOCATED PLANT TO BE RELOCATED AT CONTRACTOR'S EXPENSE.
8. HYDROSEED ALL NON-MULCHED OR SODDED LAWN AREAS U.N.O.
9. SOD ALL AREAS WITHIN THE PUBLIC R.O.W. FOR THE FRONTAGE OF THIS PROPERTY OUT TO A POINT WHERE THE PUBLIC STREET WILL BE ONCE EXTENDED.
10. SOD ALL AREAS THAT ARE INTERNAL TO THE PARKING AREA AND AS NOTED ON THE DRAWING.



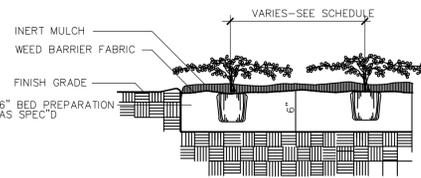
TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



MASS PLANTING

NOT TO SCALE

**PLANT SCHEDULE:**

Code	Common Name	Botanical Name	Quantity	Planting Size
KC	Kentucky Coffee Tree	Gymnocladus dioica	3	1.5" B&B
TH	Thornless Honeylocust	Gleditsia triacanthos inermis	7	1.5" B&B
<b>SHRUBS</b>				
EJ	Emerald Spreader Japanese Yew	Taxus cuspidata "Monloo"	24	1 gal. cont.

REQUIRED OPEN SPACE 20%  
SITE AREA = 50,094 SF  
OPEN SPACE 50,094(0.20) = 10,018 SF

**PLANTING REQUIREMENTS**

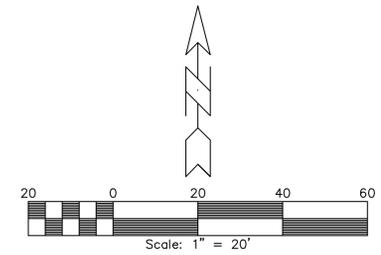
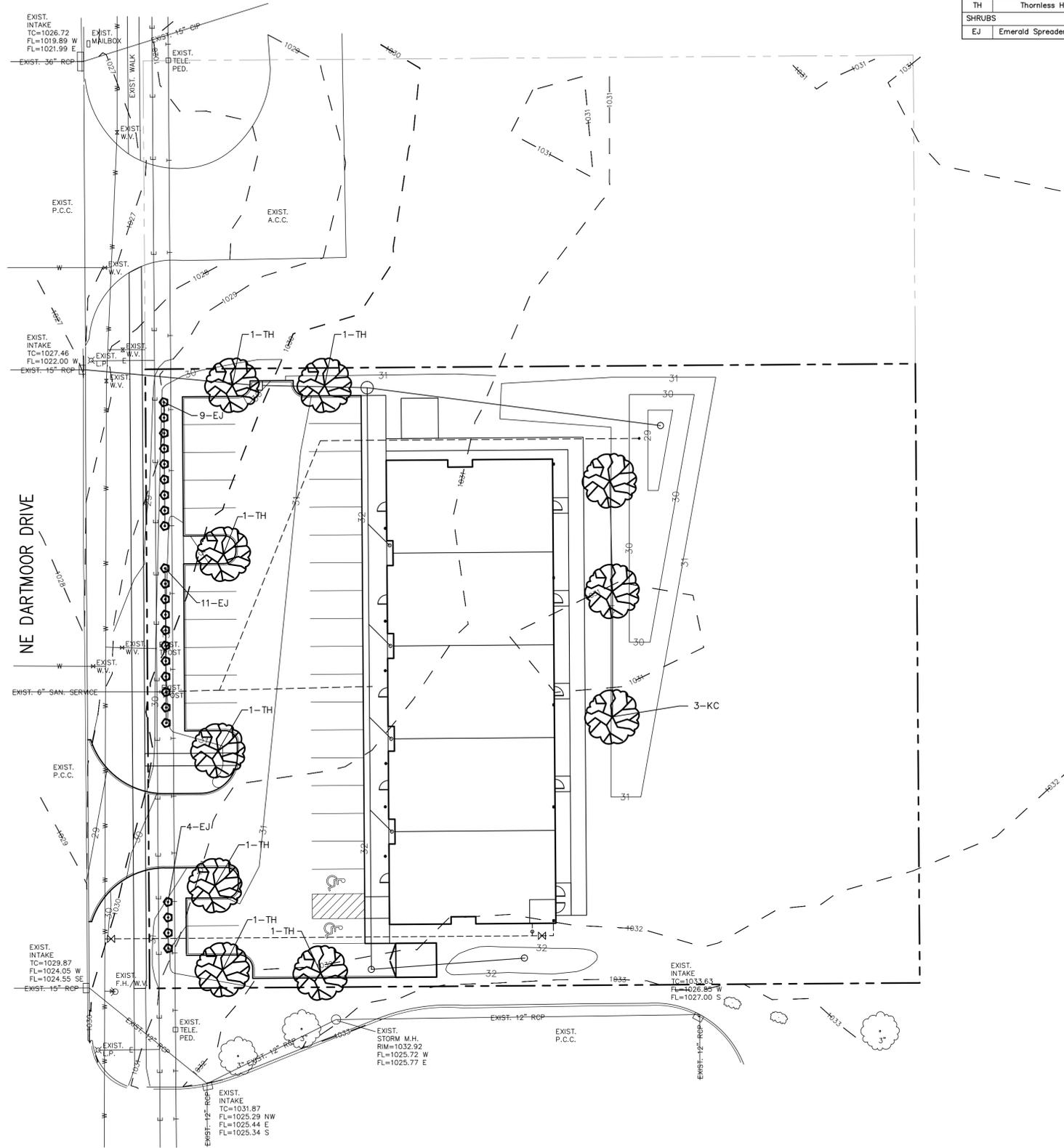
OPEN SPACE: 1 TREE AND 1 SHRUB PER 1,000SF OPEN SPACE  
BUFFER: N/A

OPEN SPACE PLANTING:  
10,018/1,000 SF = 10 TREES  
10,018/1,000 SF = 10 SHRUBS

PROVIDED:  
TREES = 10  
SHRUBS = 24

ALL AREAS NOT COVERED BY PAVEMENT OR BUILDINGS SHALL BE GRASS. SEEDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS, AND NO LESS THAN 4-INCHES OF TOPSOIL SHALL BE IN PLACE

ANY GROUND MOUNTED MECHANICAL UNITS, TRANSFORMERS, AND UTILITY METER CLUSTERS TO BE ADEQUATELY SCREENED FROM PUBLIC VIEW. SCREENING PLANT SPECIES TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO INSTALLATION.



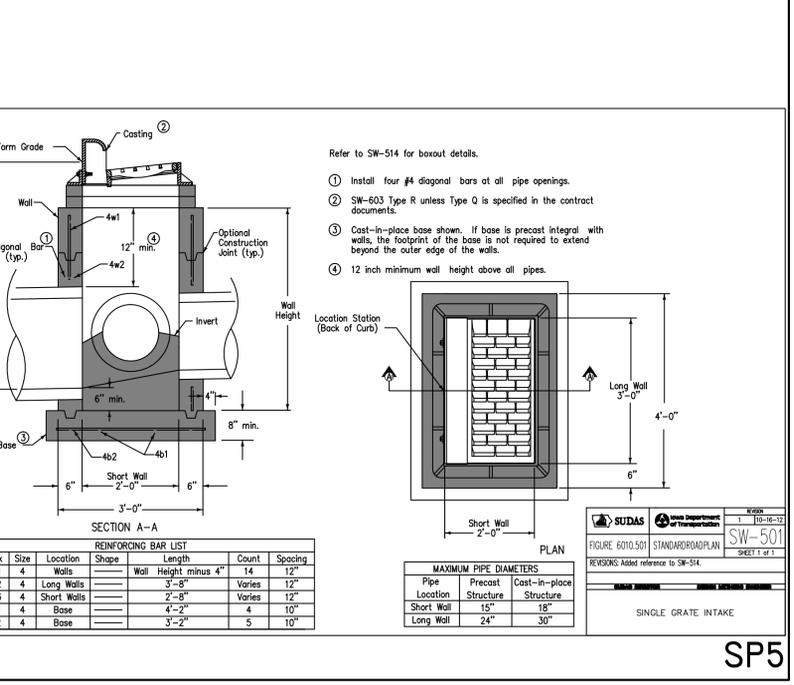
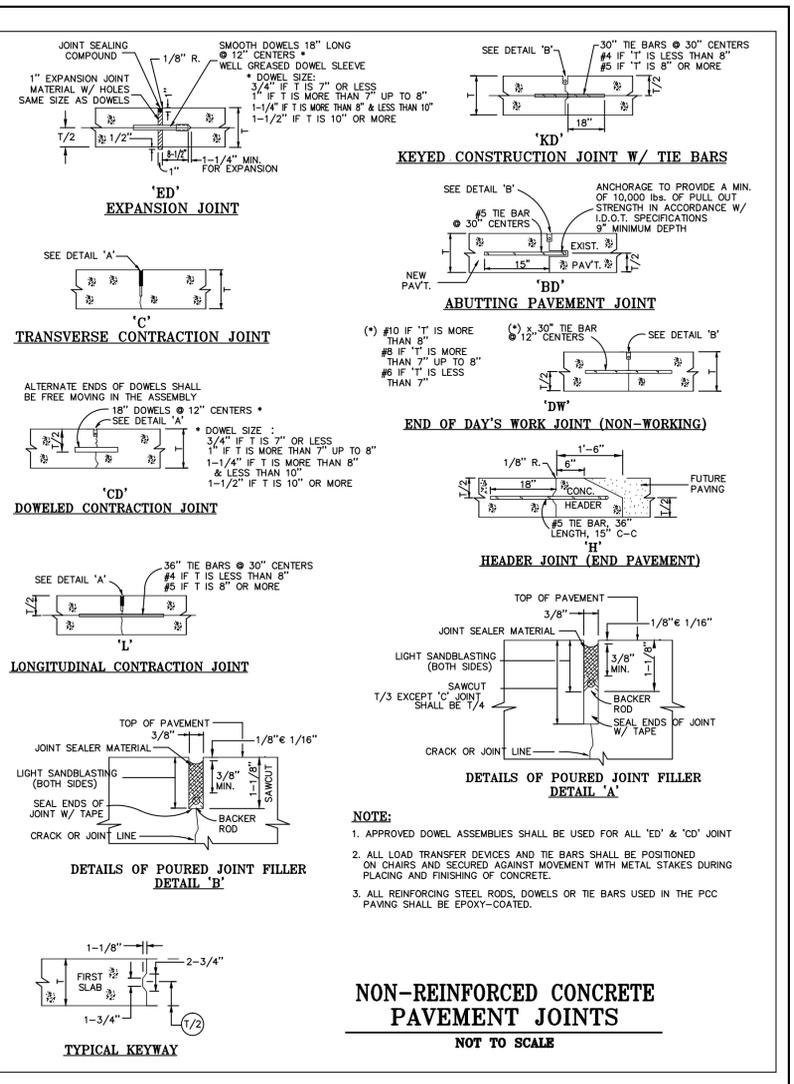
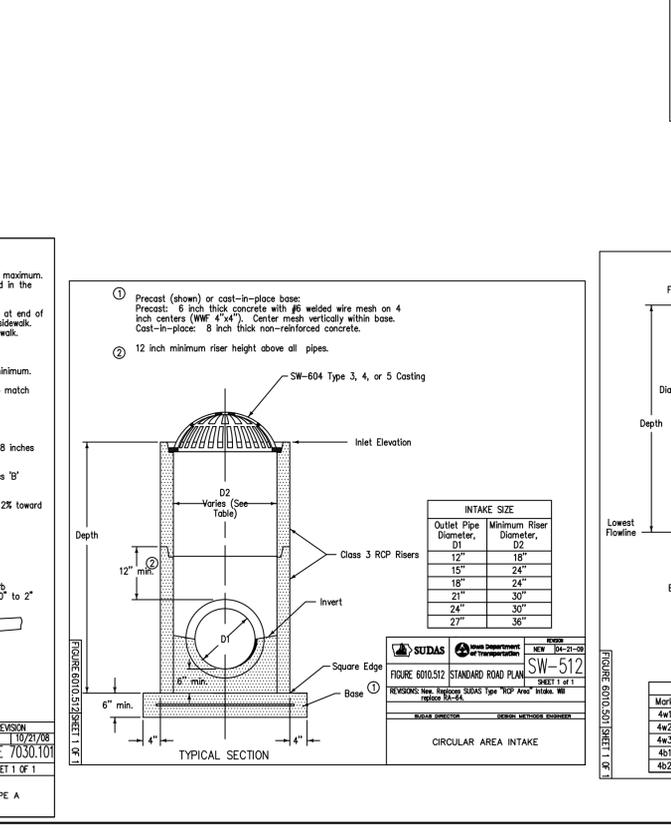
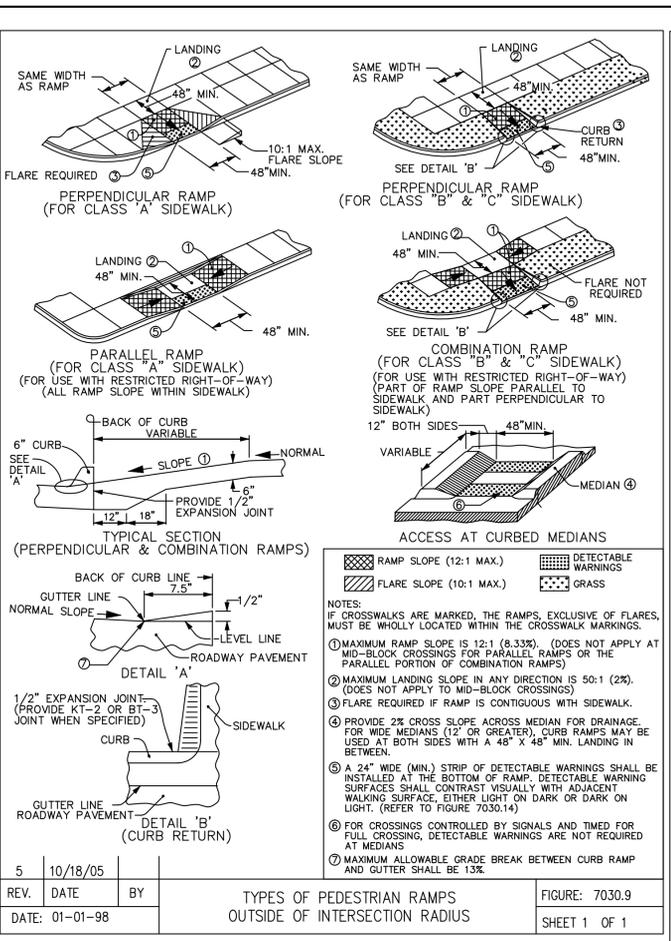
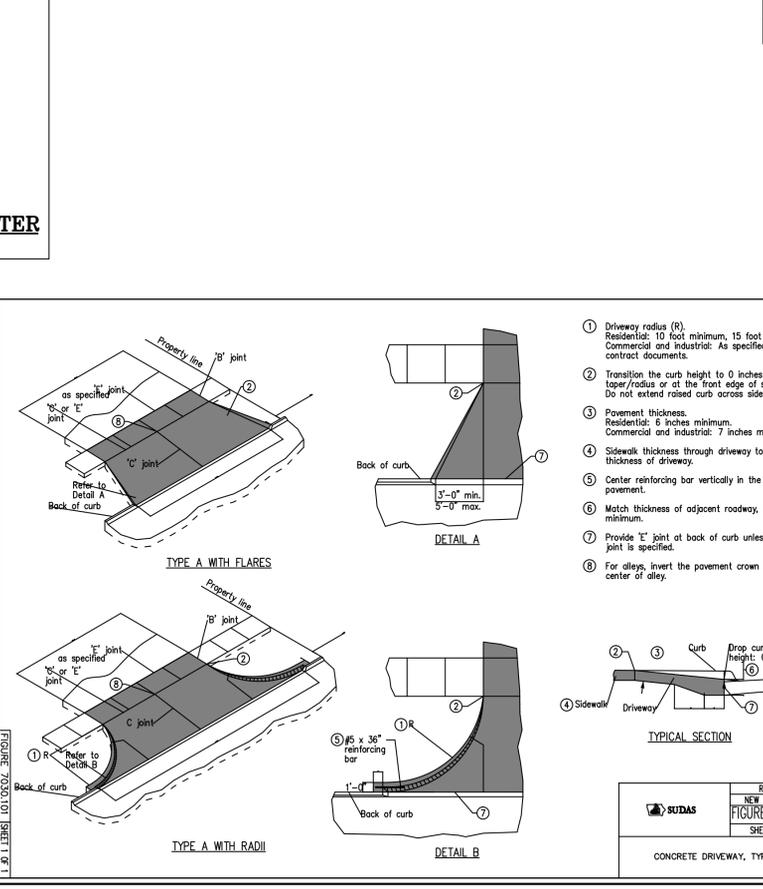
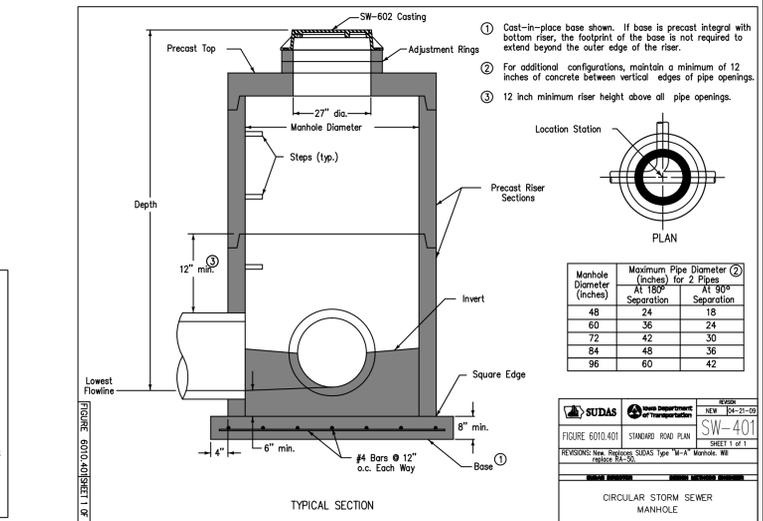
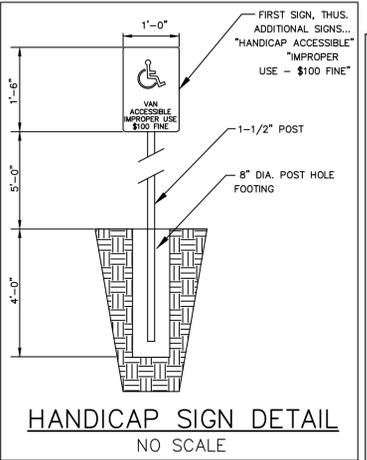
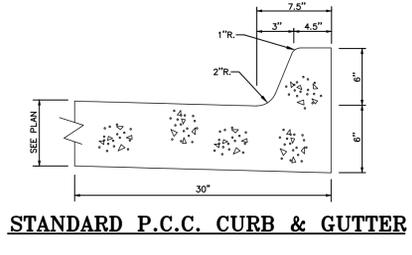
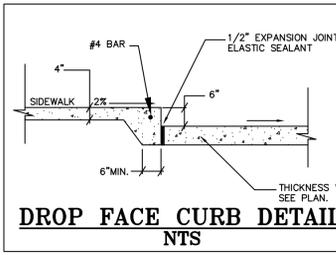
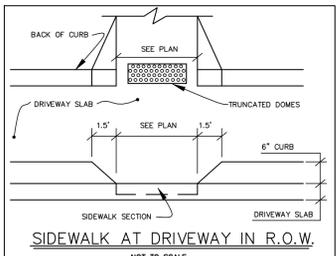
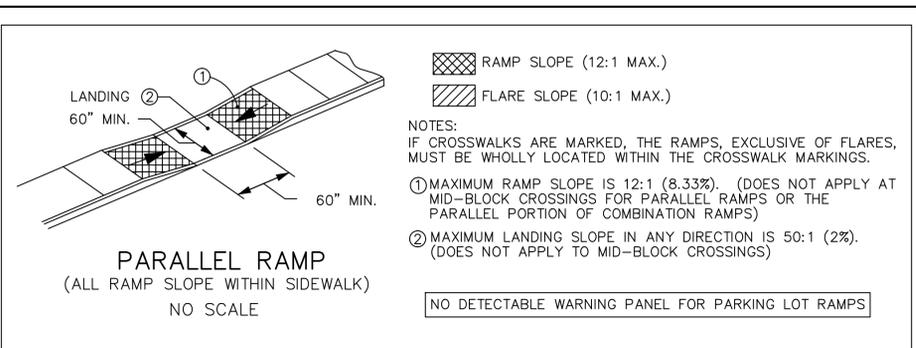
**DARTMOOR RETAIL CENTER II - LANDSCAPE PLAN**

NO.	REVISION	DATE	BY	FOR	LOCATION	SCALE:	DESIGNED BY:	DRAWN BY:
						1" = 20'	DJS	PJV
						DWG: 13-016-LND.dwg	CHECKED BY: DJS	DATE: 05/01/13
						FIELD BOOK:	SHEET 4	OF 5
								FILE NO.: 13-016

**FRG**  
Engineering Resource Group, Inc.  
Engineers and Surveyors  
2413 GRAND AVENUE  
DES MOINES, IOWA 50312  
(515) 288-4823

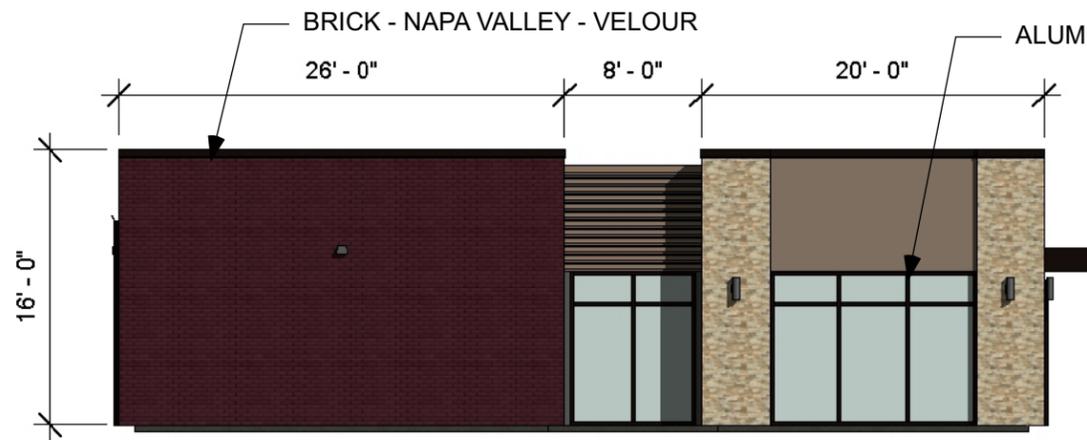
SP4

13-016





① WEST ELEVATION  
3/32" = 1'-0"



② NORTH ELEVATION  
3/32" = 1'-0"



③ SOUTH ELEVATION  
3/32" = 1'-0"

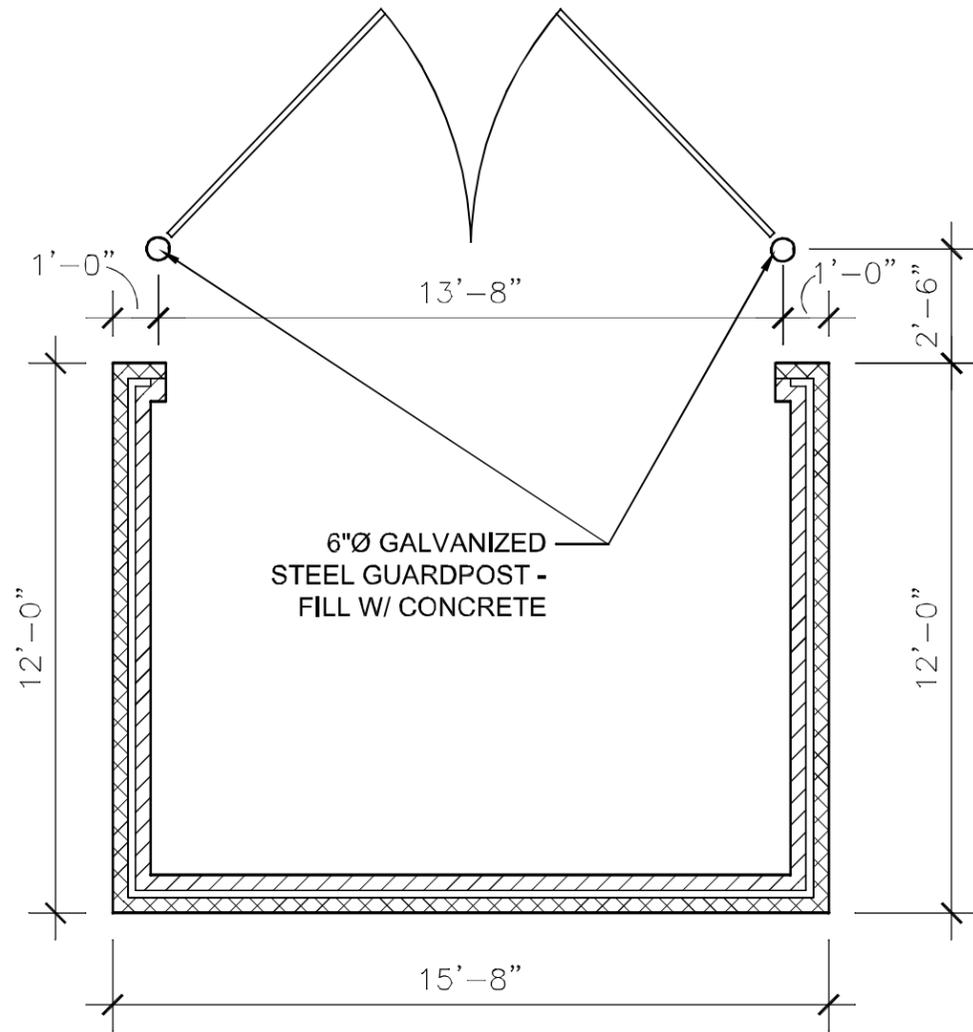


④ EAST ELEVATION  
3/32" = 1'-0"

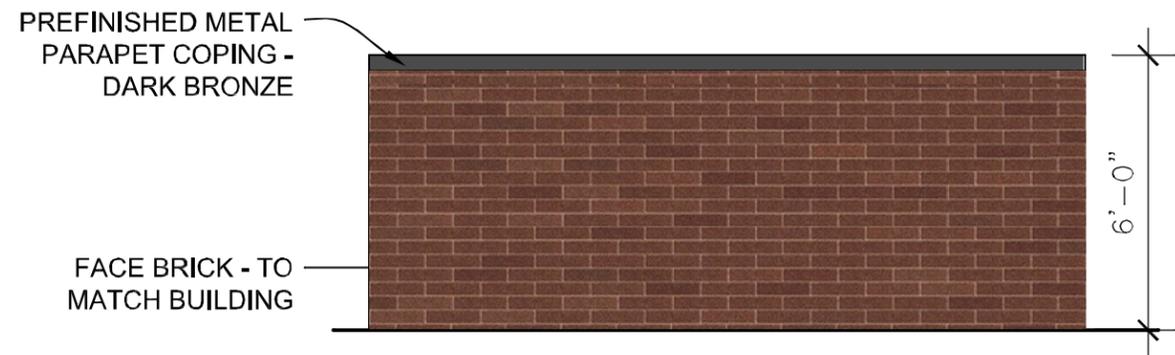
NOTE: 1. MECHANICAL SCREENING TO BE ADJUSTED AS NECESSARY TO PROVIDE FOR ADEQUATE SCREENING OF ROOF-TOP MECHANICAL UNITS.  
2. SIGNAGE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT UNDER SEPARATE PERMIT.

# DOWNING - DARTMOOR RETAIL CENTER - II

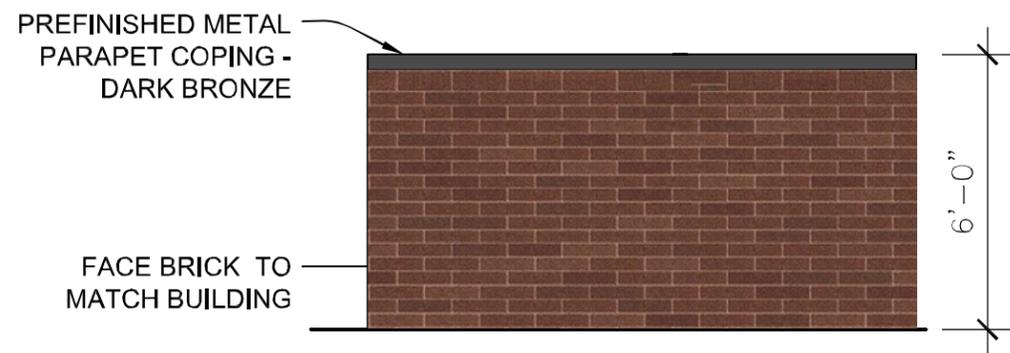
SHIFFLER ASSOCIATES ARCHITECTS, P.L.C.



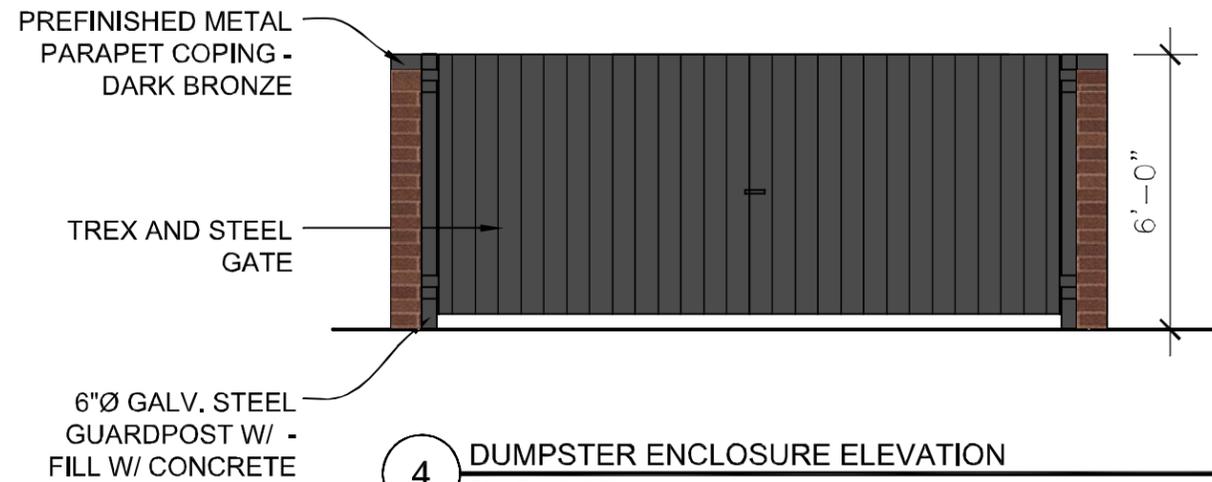
**1** DUMPSTER ENCLOSURE PLAN  
SCALE: 1/4"=1'-0"



**2** DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4"=1'-0"



**3** DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4"=1'-0"



**4** DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4"=1'-0"

# DOWNING - DARTMOOR RETAIL CENTER - II