

DEMO NOTES:

1. CONTRACTOR SHALL OBTAIN ANY AND ALL REQUIRED PERMITS.
2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF WAUKEE, COUNTY OF DALLAS, AND STATE OF IOWA
3. CONTRACTOR SHALL BE REQUIRED TO HAVE ANY AND ALL BURIED UTILITIES MARKED OR EXPOSED IN ADVANCE OF THE WORK.
4. DISPOSE OF ALL DEMOLITION MATERIALS OFF SITE IN A LAWFUL MANNER. INCLUDE DISPOSAL IN THE BASE BID. NO EXTRA PAYMENT WILL BE PAID FOR DISPOSAL.

NRCS SOIL SURVEY LEGEND:

- 138B CLARION LOAM
- 107 WEBSTER SILT CLAY LOAM
- 55 NICOLLET LOAM

REFER TO ALLENDER BUTZKE ENGINEERS, INC. GEOTECHNICAL REPORT PN 141132 DATED 2-17-14 FOR MORE DETAILED SOILS ANALYSIS.

UTILITY LEGEND:

- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- SAN — SANITARY SEWER
- ST — STORM SEWER
- G — GAS LINE
- W — WATER LINE
- U/E — UNDERGROUND ELECTRIC
- O/E — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- CATV — CABLE TV LINE
- F/O — FIBER OPTIC LINE
- ⊠ TELEPHONE RISER
- ⊙ TELEPHONE MANHOLE
- ⊙ GROUND LIGHT
- ☆ LIGHT POLE
- ⊙ POWER POLE
- ⊙ TRANSFORMER POLE
- ⊠ ELECTRIC TRANSFORMER
- ⊠ ELECTRIC METER
- ⊙ CLEAN-OUT
- ⊙ INTAKE
- SURFACE INTAKE
- ⊙ TRAFFIC SIGNAL MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ GAS METER
- ⊙ DENOTES NUMBER OF PARKING STALLS

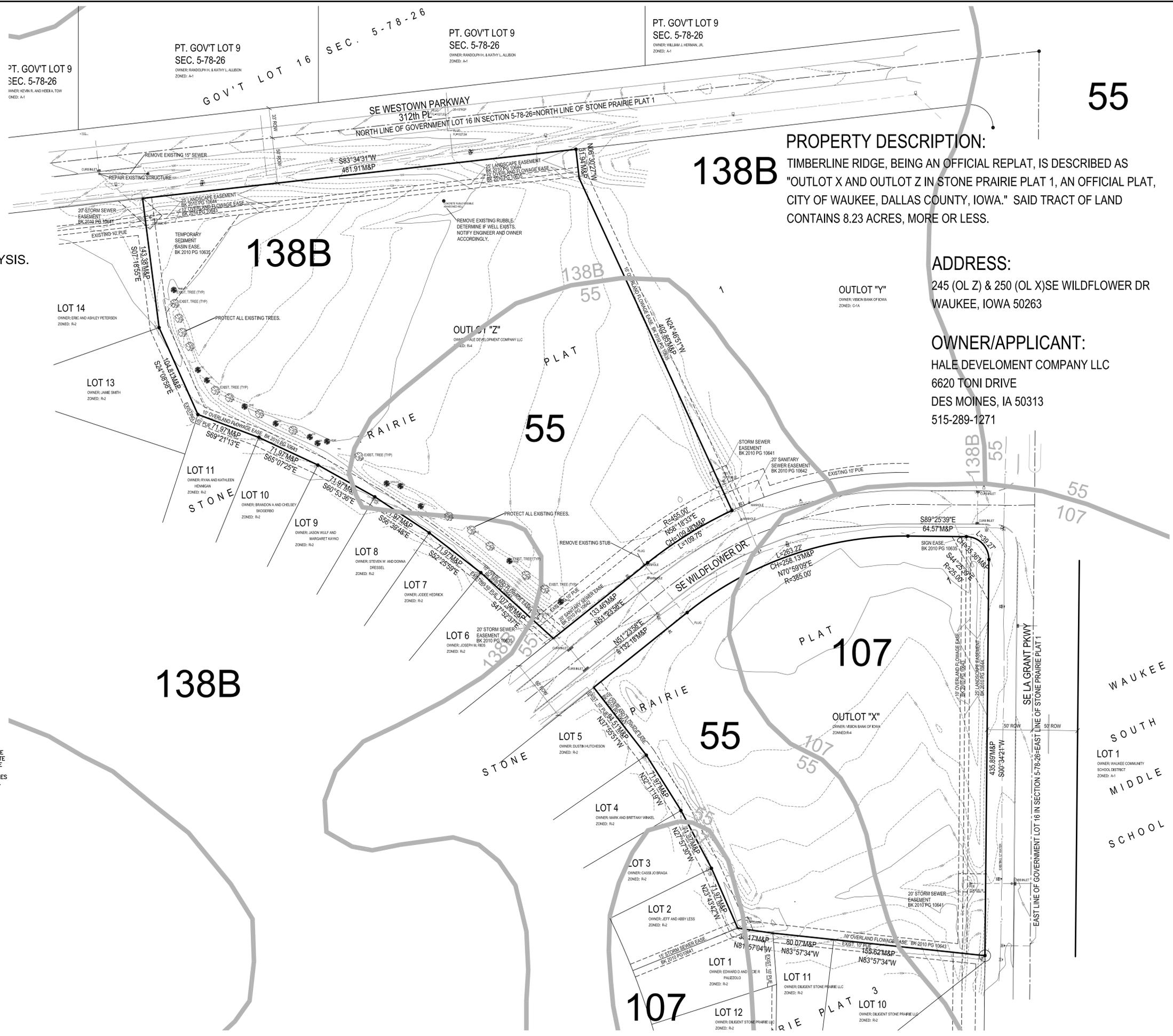


UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

SURVEY LEGEND:

- ⊙ SECTION CORNER- FOUND AS NOTED
- ⊙ PROPERTY CORNER- FOUND IR W/ YPC ID #16747
- ⊙ PROPERTY CORNER- PLACED 3/4" IRON PIPE W/ YELLOW PLASTIC CAP ID #9532
- M MEASURED DISTANCE
- P PLATTED DISTANCE
- D DEEDED DISTANCE
- P.R.A. PREVIOUSLY RECORDED AS
- R.O.W. RIGHT-OF-WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING



PROPERTY DESCRIPTION:

138B TIMBERLINE RIDGE, BEING AN OFFICIAL REPLAT, IS DESCRIBED AS "OUTLOT X AND OUTLOT Z IN STONE PRAIRIE PLAT 1, AN OFFICIAL PLAT, CITY OF WAUKEE, DALLAS COUNTY, IOWA." SAID TRACT OF LAND CONTAINS 8.23 ACRES, MORE OR LESS.

ADDRESS:

245 (OL Z) & 250 (OL X) SE WILDFLOWER DR
WAUKEE, IOWA 50263

OWNER/APPLICANT:

HALE DEVELOPMENT COMPANY LLC
6620 TONI DRIVE
DES MOINES, IA 50313
515-289-1271

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

**TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
EXISTING CONDITIONS / DEMO PLAN**

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C1.1 |

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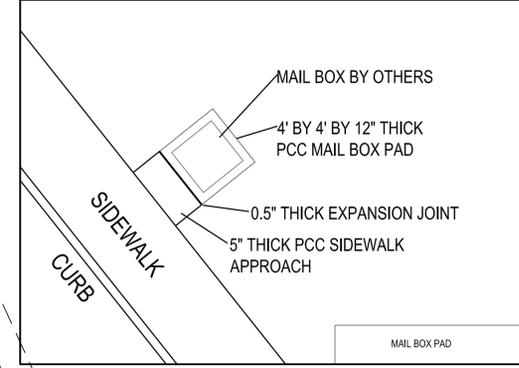
SE WESTOWN PARKWAY
312th PL

3.5' WIDENING INCLUDING CURB AND GUTTER TIED TO EXISTING SLAB

PAVEMENT THICKNESS NOTE:
 1. PRIVATE STREET PAVEMENT SHALL BE 7" THICK PCC.
 2. ALL PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 8" THICK PCC.
 3. ALL PUBLIC AND PRIVATE STREET AND WALK PAVEMENT SHALL BE PLACED ON 12" THICK PREPARED SOIL SUBGRADE.
 4. SIDEWALKS SHALL BE 5" THICK PCC UNLESS NOTED OTHERWISE ON PLANS.

VISITOR PARKING:
 ON-STREET PARKING WILL BE ALLOWED ON THE WEST SIDE OF THE STREET THEREBY PROVIDING FOR NINE PARKING STALLS.

STREET NAME SIGN:
 FURNISH AND INSTALL TWO STREET NAME SIGNS AS SHOWN. SIGNS SHALL IDENTIFY "SE TAYLOR COURT" IN STANDARD LETTERS ON A BLUE BACKGROUND. COMPLY WITH ALL OTHER CITY OF WAUKEE REQUIREMENTS FOR STREET NAME SIGNS.



LOT 14
 OWNER: ERIC AND ASHLEY PETERSEN
 ZONED: R-2

LOT 13
 OWNER: JAMIE SMITH
 ZONED: R-2

LOT 11
 OWNER: RYAN AND KATHLEEN HEINIGAN
 ZONED: R-2

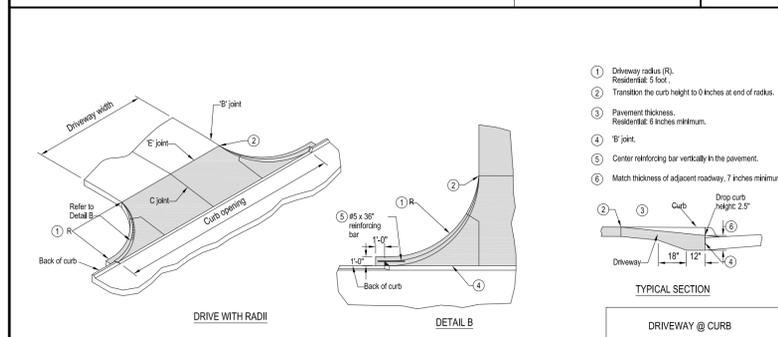
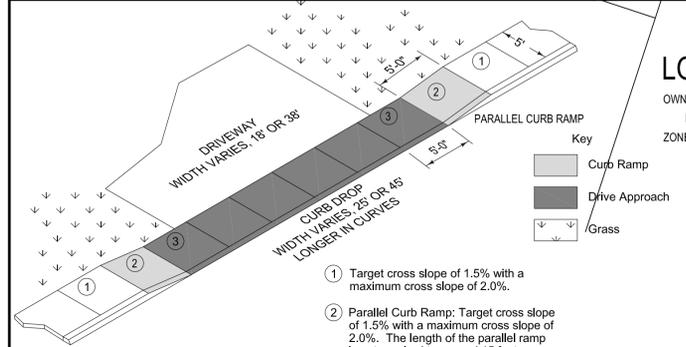
LOT 10
 OWNER: BRANDON A AND CHELSEY SKOGERBO
 ZONED: R-2

LOT 9
 OWNER: JASON WULF AND MARGARET KAYKO
 ZONED: R-2

LOT 8
 OWNER: STEVEN W AND DONNA DRESSEL
 ZONED: R-2

LOT 7
 OWNER: JOEDE HEDRICK
 ZONED: R-2

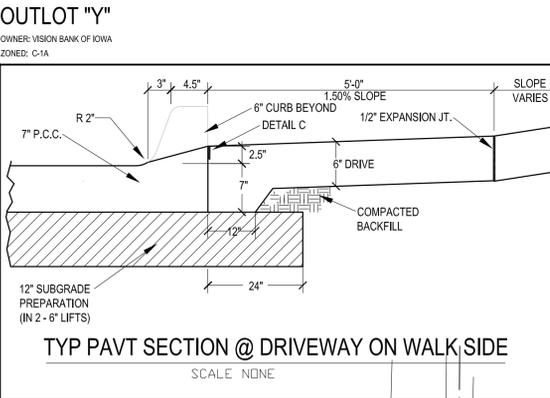
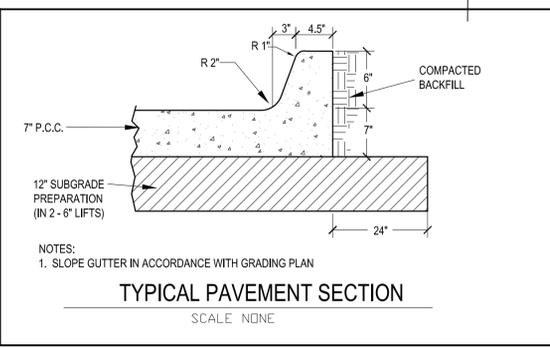
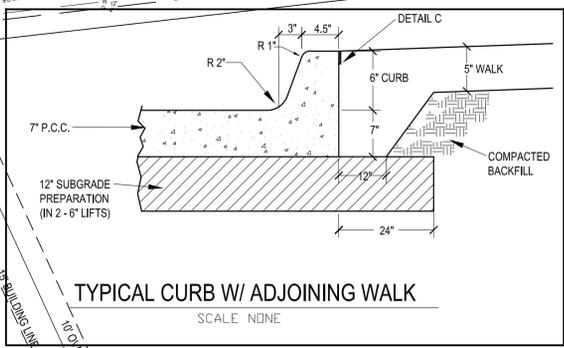
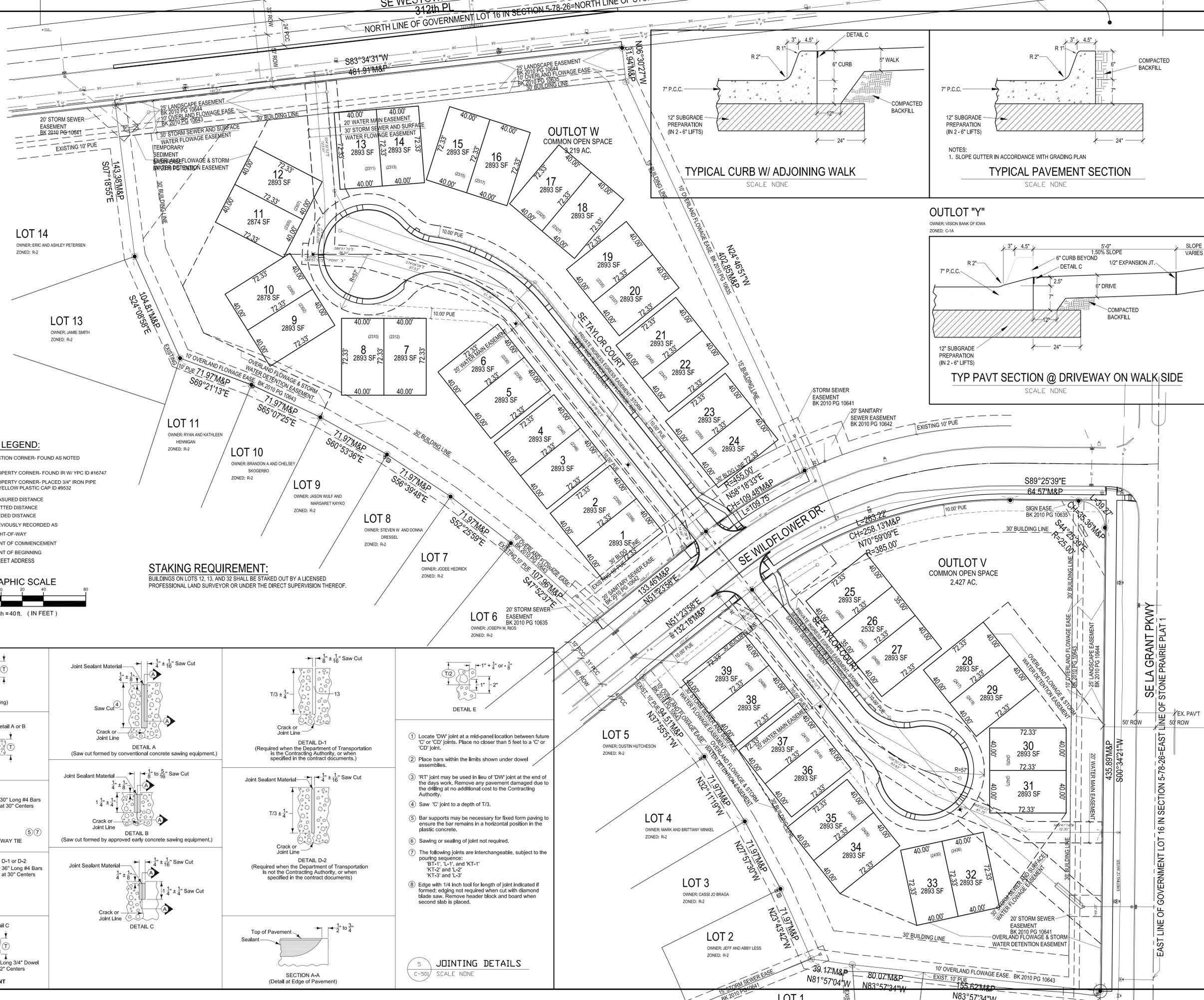
LOT 6
 OWNER: JOSEPH M. RIOS
 ZONED: R-2



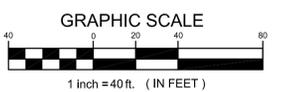
Bishop Engineering
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TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
LAYOUT PLAN LOTS 1-24

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C2.1 |

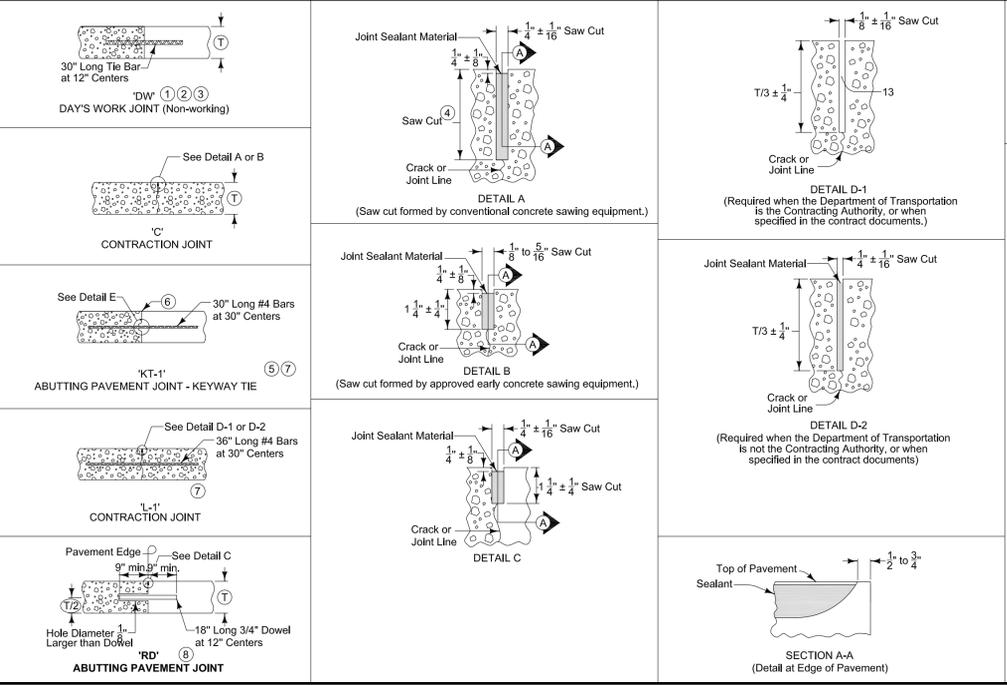


- SURVEY LEGEND:**
- SECTION CORNER- FOUND AS NOTED
 - PROPERTY CORNER- FOUND IR W/ YPC ID #16747
 - PROPERTY CORNER- PLACED 3/4\"/>
 - M MEASURED DISTANCE
 - P PLATTED DISTANCE
 - D DEEDED DISTANCE
 - P.R.A. PREVIOUSLY RECORDED AS
 - R.O.W. RIGHT-OF-WAY
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING (2336)
 - STREET ADDRESS



STAKING REQUIREMENT:
 BUILDINGS ON LOTS 13, 11, AND 32 SHALL BE STAKED OUT BY A LICENSED PROFESSIONAL LAND SURVEYOR OR UNDER THE DIRECT SUPERVISION THEREOF.

- JOINTING DETAILS**
 SCALE: NONE
- 1) Locate 'DW' joint at a mid-panel location between future 'C' or 'CD' joints. Place no closer than 5 feet to a 'C' or 'CD' joint.
 - 2) Place bars within the limits shown under dowel assemblies.
 - 3) 'RT' joint may be used in lieu of 'DW' joint at the end of the days work. Remove any pavement damaged due to the drilling at no additional cost to the Contracting Authority.
 - 4) Saw 'C' joint to a depth of T/3.
 - 5) Bar supports may be necessary for fixed form paving to ensure the bar remains in a horizontal position in the plastic concrete.
 - 6) Sawing or sealing of joint not required.
 - 7) The following joints are interchangeable, subject to the pouring sequence: 'BT-1', 'L-1', and 'KT-1'; 'KT-2' and 'L-2'; 'KT-3' and 'L-3'.
 - 8) Edge with 1/4 inch tool for length of joint indicated if formed; edging not required when cut with diamond blade saw. Remove header block and board when second slab is placed.



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TIMBERLINE RIDGE PLAT 1
 SITE PLAN / PRELIMINARY PLAT
LAYOUT PLAN LOT DIMENSIONS

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C2.3 |

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GRADING NOTES:

1. STRIP AND STOCKPILE 6" OF TOPSOIL ON ALL DISTURBED AREAS.
2. USE TOPSOIL FOR ALL AREAS EXCEPT UNDER PAVEMENT OR BUILDINGS.
3. RESPREAD TOPSOIL TO 6" DEPTH ON ALL GREEN (NON PAVED AREAS). TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE

EROSION CONTROL NOTES:

1. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
2. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
3. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
4. SEE SWPPP NARRATIVE FOR COMPLETE EROSION CONTROL MEASURES.

TOPSOIL NOTES:

1. STRIP AND STOCKPILE 6" OF TOPSOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO 6" DEPTH ON ALL GREEN (NON PAVED AREAS). IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM OF 6" DEPTH IN ALL GREEN AREAS.
3. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLY FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN ONE INCH (25 MM) DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET AND SHALL PROVIDE THE CITY OF WAUKEE ENGINEERING DEPARTMENT WITH A WRITTEN VERIFICATION OF MEETING THE MINIMUM TOPSOIL REQUIREMENTS.

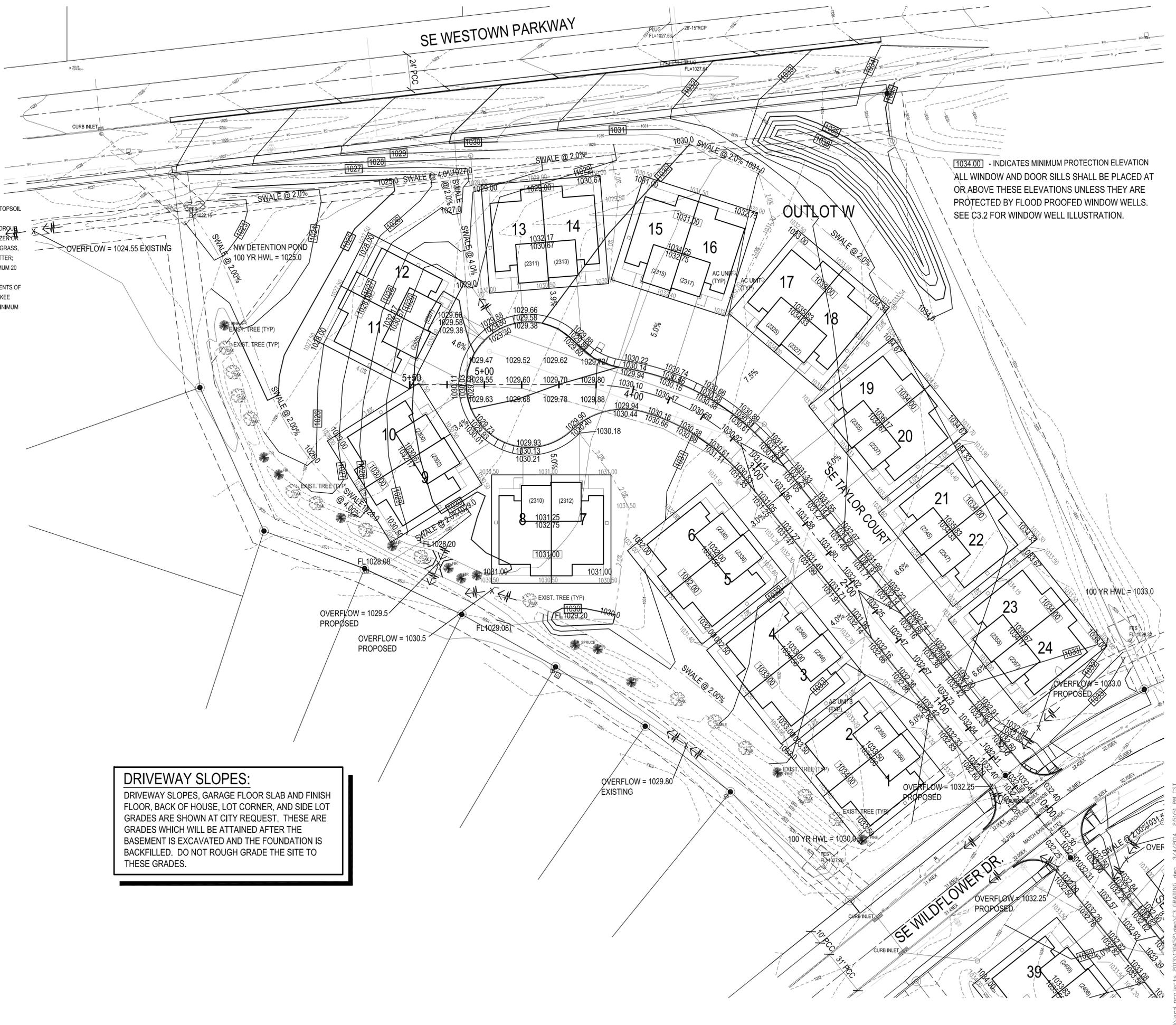
LEGEND:



REFER TO ALLENDER BUTZKE ENGINEERS, INC. GEOTECHNICAL REPORT PN 141132 DATED 2-17-14 FOR DETAILED SOILS ANALYSIS, RECOMMENDATIONS, AND REQUIREMENTS.

DRIVEWAY SLOPES:
 DRIVEWAY SLOPES, GARAGE FLOOR SLAB AND FINISH FLOOR, BACK OF HOUSE, LOT CORNER, AND SIDE LOT GRADES ARE SHOWN AT CITY REQUEST. THESE ARE GRADES WHICH WILL BE ATTAINED AFTER THE BASEMENT IS EXCAVATED AND THE FOUNDATION IS BACKFILLED. DO NOT ROUGH GRADE THE SITE TO THESE GRADES.

[1034.00] - INDICATES MINIMUM PROTECTION ELEVATION ALL WINDOW AND DOOR SILLS SHALL BE PLACED AT OR ABOVE THESE ELEVATIONS UNLESS THEY ARE PROTECTED BY FLOOD PROOFED WINDOW WELLS. SEE C3.2 FOR WINDOW WELL ILLUSTRATION.



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TIMBERLINE RIDGE PLAT 1
 SITE PLAN / PRELIMINARY PLAN
GRADING PLAN LOTS 1-24

| | |
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GRADING NOTES:

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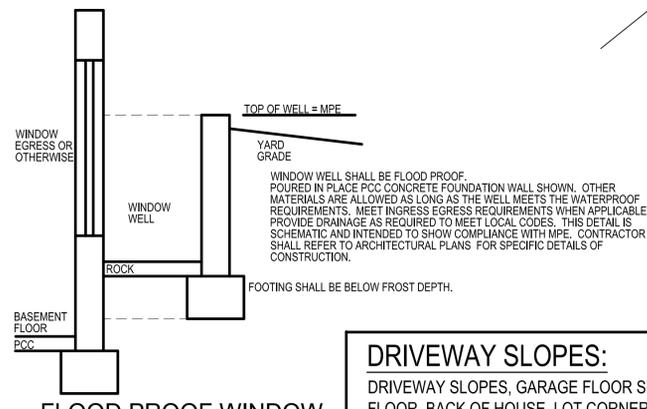
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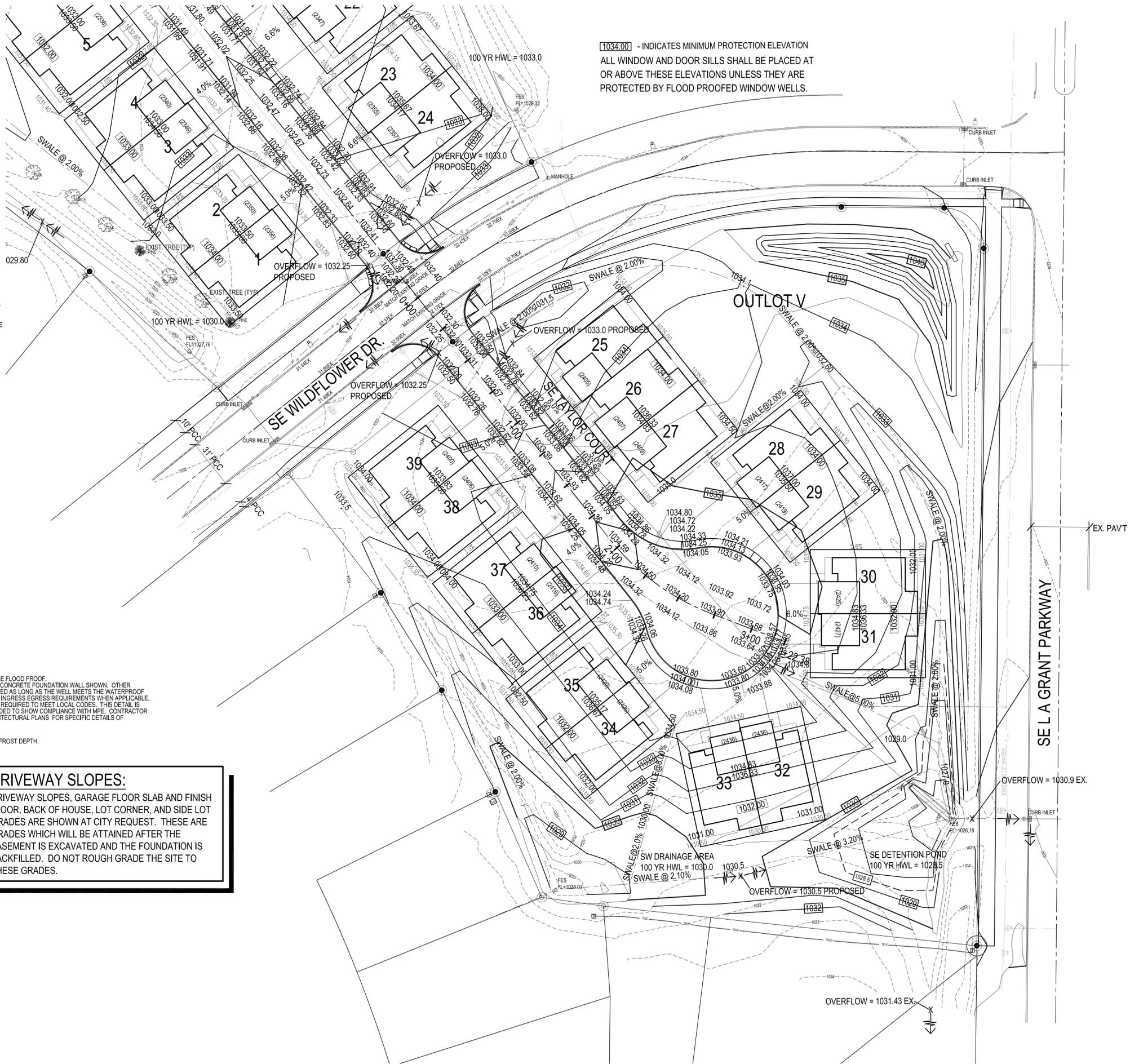
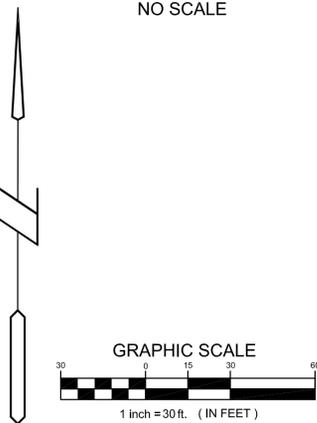
LEGEND:

- 1031 ——— EXISTING CONTOUR
- 1031 ——— PROPOSED CONTOUR

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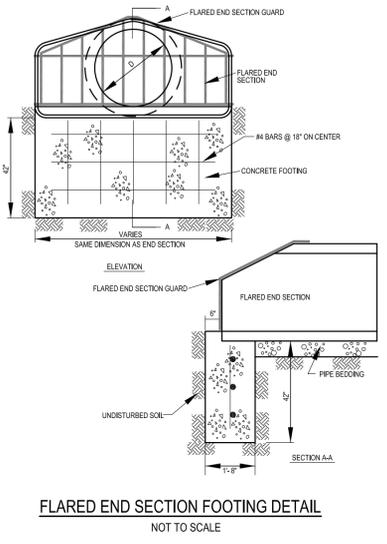


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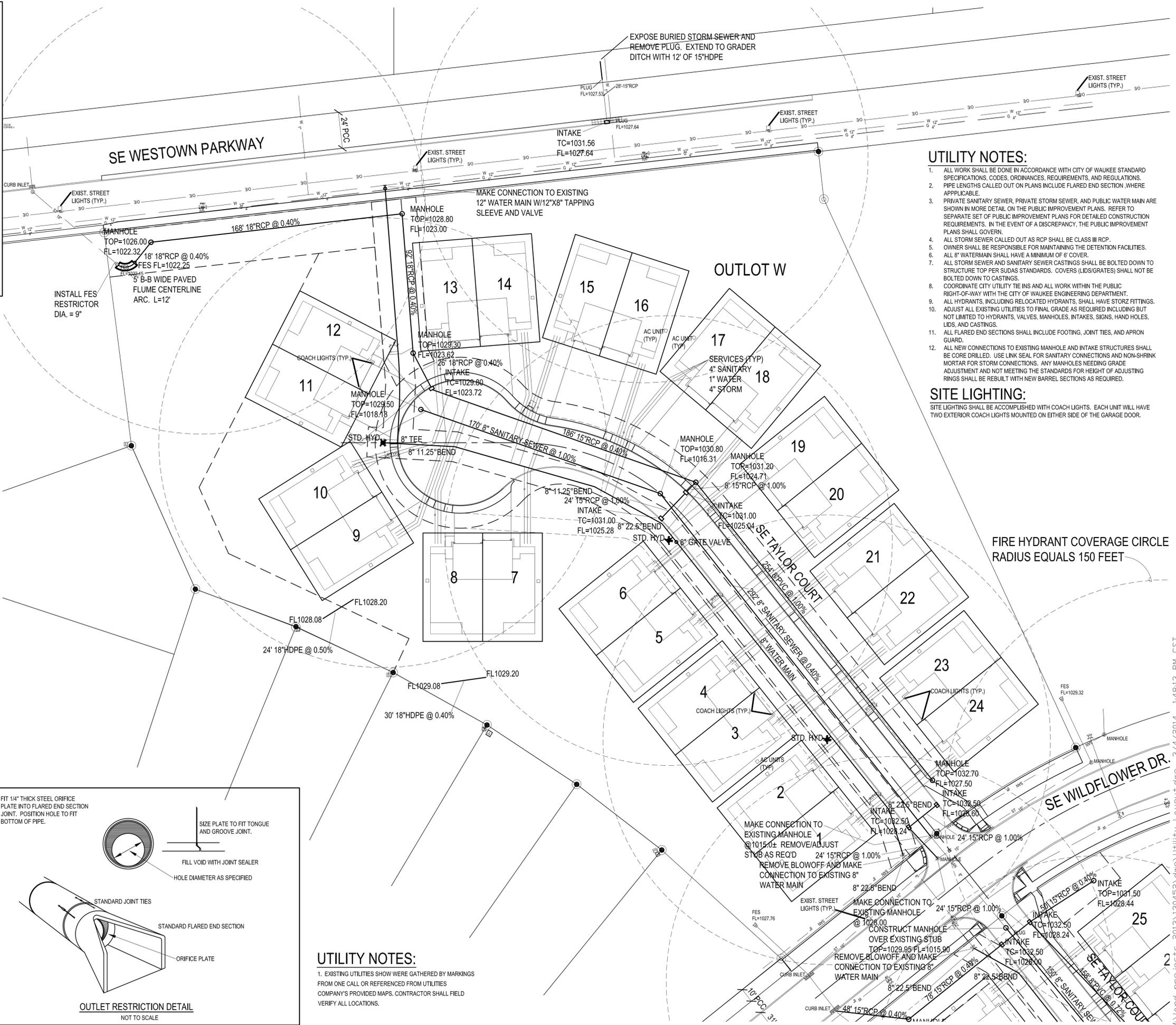
TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
GRADING PLAN LOTS 25-39

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C3.2 |

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FLARED END SECTION FOOTING DETAIL
NOT TO SCALE

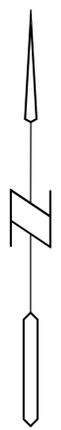


UTILITY NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS, CODES, ORDINANCES, REQUIREMENTS, AND REGULATIONS.
2. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
3. PRIVATE SANITARY SEWER, PRIVATE STORM SEWER, AND PUBLIC WATER MAIN ARE SHOWN IN MORE DETAIL ON THE PUBLIC IMPROVEMENT PLANS. REFER TO SEPARATE SET OF PUBLIC IMPROVEMENT PLANS FOR DETAILED CONSTRUCTION REQUIREMENTS. IN THE EVENT OF A DISCREPANCY, THE PUBLIC IMPROVEMENT PLANS SHALL GOVERN.
4. ALL STORM SEWER CALLED OUT AS RCP SHALL BE CLASS III RCP.
5. OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DETENTION FACILITIES.
6. ALL 8" WATERMAIN SHALL HAVE A MINIMUM OF 6' COVER.
7. ALL STORM SEWER AND SANITARY SEWER CASTINGS SHALL BE BOLTED DOWN TO STRUCTURE TOP PER SUDAS STANDARDS. COVERS (LIDS/GRATES) SHALL NOT BE BOLTED DOWN TO CASTINGS.
8. COORDINATE CITY UTILITY TIE INS AND ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
9. ALL HYDRANTS, INCLUDING RELOCATED HYDRANTS, SHALL HAVE STORZ FITTINGS. ADJUST ALL EXISTING UTILITIES TO FINAL GRADE AS REQUIRED INCLUDING BUT NOT LIMITED TO HYDRANTS, VALVES, MANHOLES, INTAKES, SIGNS, HAND HOLES, LIDS, AND CASTINGS.
10. ALL FLARED END SECTIONS SHALL INCLUDE FOOTING, JOINT TIES, AND APRON GUARD.
11. ALL NEW CONNECTIONS TO EXISTING MANHOLE AND INTAKE STRUCTURES SHALL BE CORE DRILLED. USE LINK SEAL FOR SANITARY CONNECTIONS AND NON-SHRINK MORTAR FOR STORM CONNECTIONS. ANY MANHOLES NEEDING GRADE ADJUSTMENT AND NOT MEETING THE STANDARDS FOR HEIGHT OF ADJUSTING RINGS SHALL BE REBUILT WITH NEW BARREL SECTIONS AS REQUIRED.

SITE LIGHTING:

SITE LIGHTING SHALL BE ACCOMPLISHED WITH COACH LIGHTS. EACH UNIT WILL HAVE TWO EXTERIOR COACH LIGHTS MOUNTED ON EITHER SIDE OF THE GARAGE DOOR.

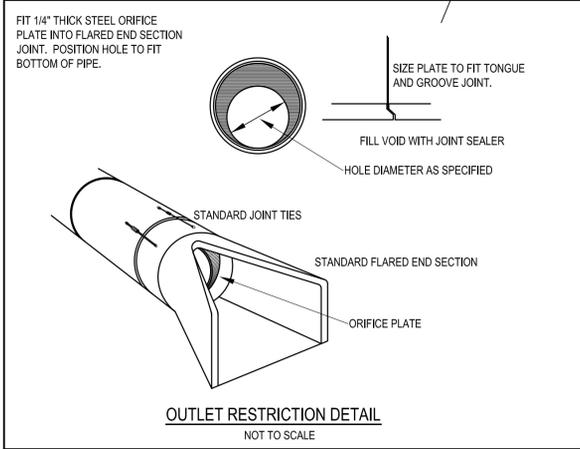
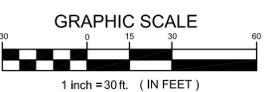


BENCHMARK:
CUT X IN CENTERLINE OF LA GRANT PARKWAY AT SOUTHEAST CORNER OF STONE PRAIRIE PLAT 1
ELEV. 1027.81 (NAVD DATUM)

5/8" IRON ROD WITH BENCHMARK CAP "CONTROL POINT" LOCATED ON THE NORTH SIDE OF 312TH PLACE NEAR THE SOUTHEAST CORNER OF LOT 63 IN GRANT PARK.
ELEV. 1037.18 (NAVD DATUM)



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OUTLET RESTRICTION DETAIL
NOT TO SCALE

UTILITY NOTES:

1. EXISTING UTILITIES SHOW WERE GATHERED BY MARKINGS FROM ONE CALL OR REFERENCED FROM UTILITIES COMPANY'S PROVIDED MAPS. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS.

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TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
UTILITY PLAN LOTS 1-24

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C4.1 |

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UTILITY NOTES:

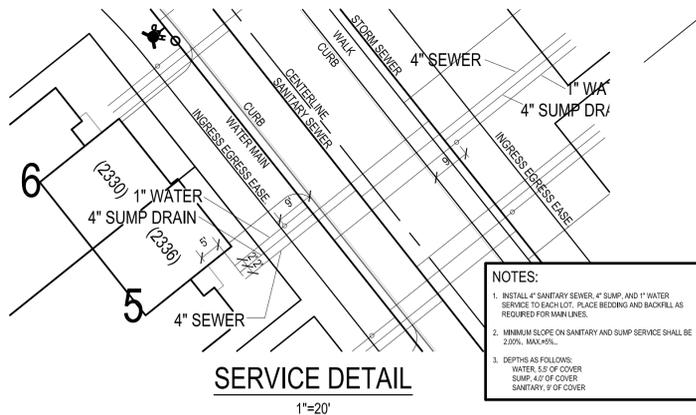
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- ALL HYDRANTS, INCLUDING RELOCATED HYDRANTS, SHALL HAVE STORZ FITTINGS. ADJUST ALL EXISTING UTILITIES TO FINAL GRADE AS REQUIRED INCLUDING BUT NOT LIMITED TO HYDRANTS, VALVES, MANHOLES, INTAKES, SIGNS, HAND HOLES, LIDS, AND CASTINGS.
- ALL FLARED END SECTIONS SHALL INCLUDE FOOTING, JOINT TIES, AND APRON GUARD.
- ALL NEW CONNECTIONS TO EXISTING MANHOLE AND INTAKE STRUCTURES SHALL BE CORE DRILLED. USE LINK SEAL FOR SANITARY CONNECTIONS AND NON-SHRINK MORTAR FOR STORM CONNECTIONS. ANY MANHOLES NEEDING GRADE ADJUSTMENT AND NOT MEETING THE STANDARDS FOR HEIGHT OF ADJUSTING RINGS SHALL BE REBUILT WITH NEW BARREL SECTIONS AS REQUIRED.

SITE LIGHTING:

SITE LIGHTING SHALL BE ACCOMPLISHED WITH COACH LIGHTS. EACH UNIT WILL HAVE TWO EXTERIOR COACH LIGHTS MOUNTED ON EITHER SIDE OF THE GARAGE DOOR.



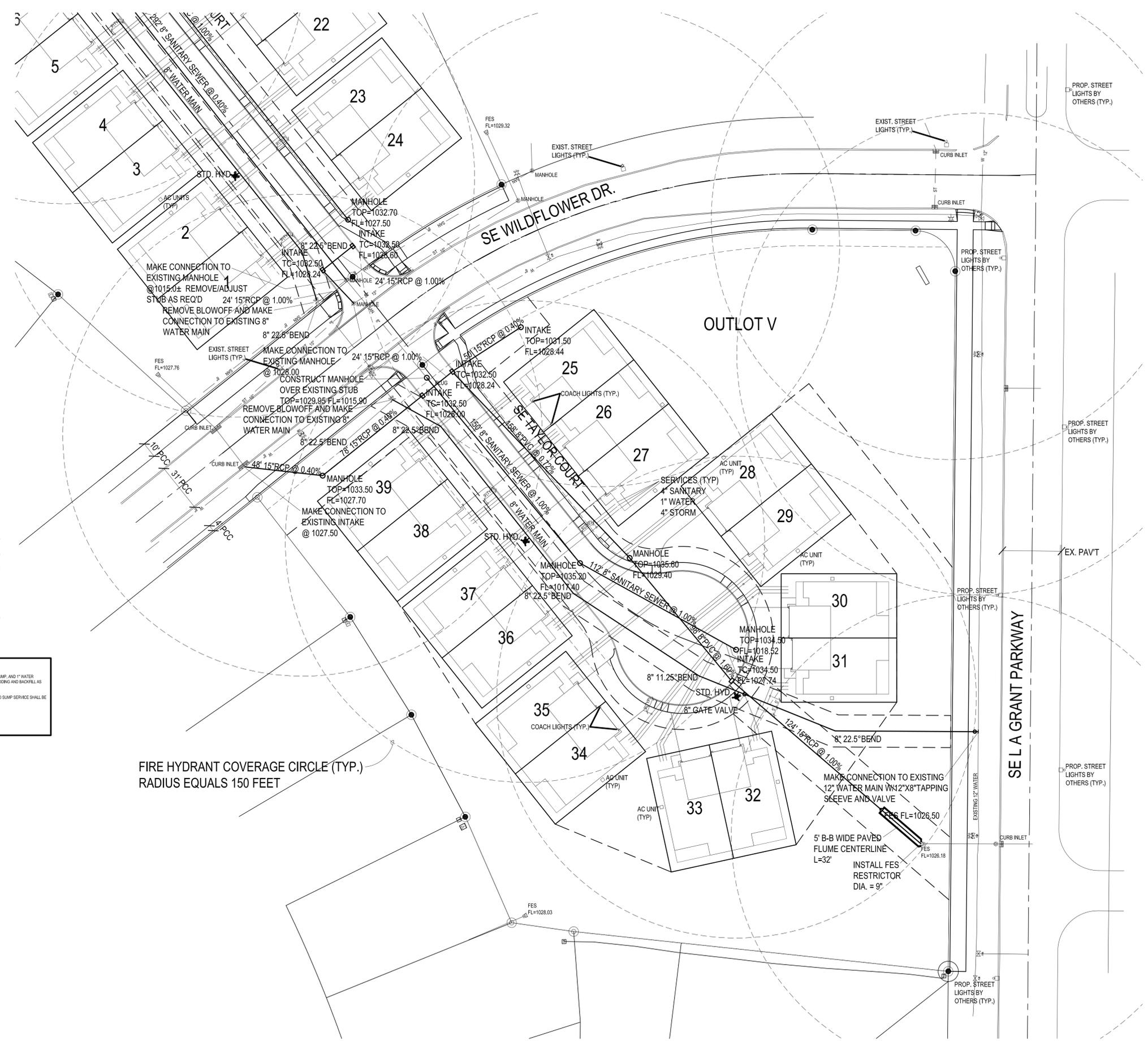
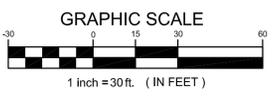
- NOTES:**
- INSTALL 4" SANITARY SEWER, 4" SUMP, AND 1" WATER SERVICE TO EACH LOT. PLACE BEDDING AND BACKFILL AS REQUIRED FOR MANHOLES.
 - MINIMUM SLOPE ON SANITARY AND SUMP SERVICE SHALL BE 2.00%. MAX=5%.
 - DEPTHS AS FOLLOWS:
WATER: 5' OF COVER
SUMP: 4' OF COVER
SANITARY: 9' OF COVER

BENCHMARK:
CUT X IN CENTERLINE OF LA GRANT PARKWAY AT SOUTHEAST CORNER OF STONE PRAIRIE PLAT 1
ELEV. 1027.81 (NAVD DATUM)

5/8" IRON ROD WITH BENCHMARK CAP "CONTROL POINT" LOCATED ON THE NORTH SIDE OF 312TH PLACE NEAR THE SOUTHEAST CORNER OF LOT 63 IN GRANT PARK.
ELEV. 1037.18 (NAVD DATUM)



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



FIRE HYDRANT COVERAGE CIRCLE (TYP.)
RADIUS EQUALS 150 FEET

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Civil Engineering & Land Surveying
Established 1959

**TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
UTILITY PLAN LOTS 25-39**

| | |
|-------------------|---|
| REFERENCE NUMBER: | |
| DRAWN BY: | SKV |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY 2-11-14 PER CITY 3-4-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C4.2 |

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GRADING NOTES:

1. STRIP AND STOCKPILE 6" OF TOPSOIL ON ALL DISTURBED AREAS.
2. USE TOPSOIL FOR ALL AREAS EXCEPT UNDER PAVEMENT OR BUILDINGS.
3. RESPREAD TOPSOIL TO 6" DEPTH ON ALL GREEN (NON PAVED AREAS). TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 1/2" IN SIZE

EROSION CONTROL NOTES:

1. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
2. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
3. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
4. SEE SWPPP NARRATIVE FOR COMPLETE EROSION CONTROL MEASURES.

TOPSOIL NOTES:

1. STRIP AND STOCKPILE 6" OF TOPSOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO 6" DEPTH ON ALL GREEN (NON PAVED AREAS). IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM OF 6" DEPTH IN ALL GREEN AREAS.
3. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLY FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN ONE INCH (25 MM) DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET AND SHALL PROVIDE THE CITY OF WAUKEE ENGINEERING DEPARTMENT WITH A WRITTEN VERIFICATION OF MEETING THE MINIMUM TOPSOIL REQUIREMENTS.

REFER TO ALLENDER BUTZKE ENGINEERS, INC. GEOTECHNICAL REPORT PN 141132 DATED 2-17-14 FOR DETAILED SOILS ANALYSIS.

GENERAL NOTES:

1. SEE SUPPLEMENTAL DETAILED STORM WATER POLLUTION PREVENTION PLAN PROVIDED IN THE PROJECT SPECIFICATIONS FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS, AND ADDITIONAL NOTES. ADDITIONAL NOTES AND MEASURES CALLED OUT ON SWPPP SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN ORIGINAL BID.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATEWIDE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE LOCAL JURISDICTIONAL GOVERNMENT REQUIREMENTS, CODES, REGULATIONS, ORDINANCES, STANDARDS, POLICIES, AND SPECIAL PROVISIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL CONTACT THE CITY OF WAUKEE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL GIVE THE PUBLIC WORKS 48 HOURS ADVANCE NOTICE. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTIONAL GOVERNMENT. ALL NECESSARY CONSTRUCTION SIGNS AND BARRICADES DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS AND BARRICADES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES STREETS AND HIGHWAYS" AND IN ACCORDANCE WITH THE LOCAL GOVERNMENT REQUIREMENTS.
6. CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY, COUNTY, OR STATE PRIOR TO ANY CONSTRUCTION. A SWPPP AND NPDES PERMIT SHALL BE AVAILABLE ON SITE AT ALL TIMES. THIS SWPPP DRAWING IS ONLY ONE PART OF THE SWPPP WHICH INCLUDES THE NPDES PERMIT, NARRATIVE, GRADING AND UTILITY PLANS, DETAILED CONSTRUCTION PLANS, SITE PLANS, SOILS REPORTS, CONTRACTOR CERTIFICATIONS, INSPECTION REPORTS, AND OTHER SUPPORTING INFORMATION AND DOCUMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING AN ANNOTATED COPY OF THE SWPPP ON SITE DOCUMENTING ANY AND ALL CHANGES, ADDITIONS, AND UPDATES TO THE SWPPP.
7. EROSION CONTROL MEASURES SHOWN AND QUANTITIES LISTED ON THIS PLAN ARE AN ESTIMATION FOR BIDDING PURPOSES ONLY IN ORDER TO ESTABLISH UNIT PRICES. ADDITIONAL MEASURES TO MEET THE REQUIREMENTS OF THE SWPPP AND CHANGING SITE CONDITIONS MAY BE NEEDED IN ORDER TO PREVENT POLLUTION OF THE STORM WATER DISCHARGE FROM THIS SITE. CONTRACTOR SHALL SUBMIT CHANGE ORDERS TO THE OWNER FOR HIS APPROVAL IN ADVANCE OF EXTRA WORK.
8. ALL POLLUTION PREVENTION MEASURES REQUIRED, AS A RESULT OF CONSTRUCTION ACTIVITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL ACTIONS NECESSARY FOR INSTALLATION OF CONTROL MEASURES FOR COMPLIANCE WITH PERMIT REQUIREMENTS.
9. INSPECTOR SHALL MEET IDNR AND EPA REQUIREMENTS FOR ALL INSPECTION INCLUDING BUT NOT LIMITED TO DISTURBED AREAS, TRACK OUT, ENTRANCE, DISCHARGE POINTS AND STORAGE AREAS.
10. MODIFICATIONS TO THE SWPPP SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
11. THE INSPECTION REPORTS SHALL INCLUDE THE INSPECTOR'S QUALIFICATIONS.
12. ALL CONTRACTORS SHALL SUBMIT A CONTRACTOR'S CERTIFICATION STATEMENT PRIOR TO BEGINNING WORK AT THE SITE. ALL CERTIFICATIONS SHALL BE INCLUDED IN THE SWPPP.
13. CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT-OF-WAY OR ABUTTING PROPERTIES AS THE RESULT OF THIS CONSTRUCTION PROJECT. PERFORM CLEAN UP IMMEDIATELY. DISPOSE OF ALL DEBRIS OFF SITE IN A LAWFUL MANNER. CONTRACTOR SHALL LIMIT ACCESS TO THE SITE ACROSS STABILIZED ACCESS IN ORDER TO LIMIT THE TRACKING OF SITE SOIL ONTO ADJACENT RIGHT-OF-WAY AND PROPERTY.
14. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE EXISTING LANDSCAPING AND INSURE THE SURVIVAL OF EXISTING TREES AND SHRUBS. REPLACE ALL DAMAGED LANDSCAPING MATERIAL AT NO COST TO THE OWNER.
15. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETE.
16. AS FINAL STABILIZATION IS ACHIEVED, THE CONTRACTOR SHALL REMOVE CONTROL DEVICES AND REPAIR AND STABILIZE AREAS DISTURBED DURING THE REMOVAL PROCESS. REMOVAL IS INCLUDED IN THE UNIT PRICE FOR THE CONTROL DEVICE.

BENCHMARK:

CUT X IN CENTERLINE OF LA GRANT PARKWAY AT SOUTHEAST CORNER OF STONE PRAIRIE PLAT 1
ELEV. 1027.81 (NAVD DATUM)

5/8" IRON ROD WITH BENCHMARK CAP "CONTROL POINT" LOCATED ON THE NORTH SIDE OF 312TH
PLACE NEAR THE SOUTHEAST CORNER OF LOT 63 IN GRANT PARK.
ELEV. 1037.18 (NAVD DATUM)

LEGEND:

- SF-SF-SF SILT FENCE (TYP)
- 120 EXISTING CONTOUR
- 120 PROPOSED CONTOUR

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



GRAPHIC SCALE



SE WESTOWN PARKWAY

STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

TIMBERLINE RIDGE PLAT 1, BEING AN OFFICIAL REPLAT IS DESCRIBED AS: OUTLOT X AND OUTLOT Z IN STONE PRAIRIE PLAT 1, AN OFFICIAL PLAT, CITY OF WAUKEE, DALLAS COUNTY, IOWA. SAID TRACT OF LAND CONTAINS 8.23 ACRES, MORE OR LESS.

ADDRESS:

245 AND 250 SE WILDFLOWER DRIVE
WAUKEE, IOWA 50263

OWNER/APPLICANT:

HALE DEVELOPMENT COMPANY LLC
6620 TONI DRIVE
DES MOINES, IA 50313
515-289-1271

IMPERVIOUS AREA:

3.31 ACRES = 39.8 PERCENT OF SITE AREA.

PERVIOUS AREA = OPEN SPACE:

5.01 ACRES = 60.2 PERCENT OF SITE AREA.

DISTURBED AREA:

9.3 ACRES

PERMANENT STABILIZATION MEASURES:

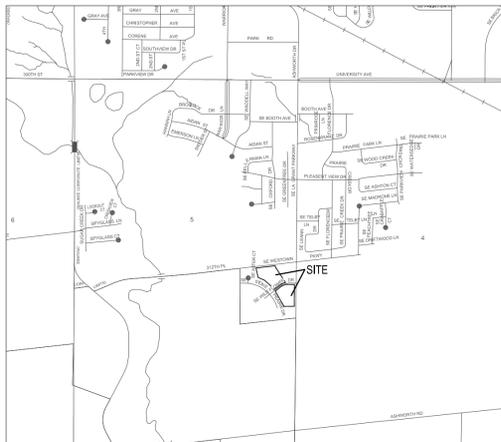
ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH TURF GRASS. PLANTING BEDS SHALL BE MAINTAINED WITH MULCH. SURFACE DRAINAGE WILL LEAVE THE SITE IN FIVE LOCATIONS. EACH DISCHARGE WILL BE TO PUBLIC STORM SEWER. TEMPORARY CONTROLLED DISCHARGE STORM WATER STORAGE WILL BE PROVIDED IN TWO LOCATIONS. THE FIRST BEING IN THE FAR NE CORNER AND THE SECOND BEING IN THE FAR SE CORNER. OPEN CHANNEL FLOW ACROSS THE BOTTOM OF EACH DETENTION POND WILL TAKE PLACE IN A PCC FLUME. THE OTHER THREE DISCHARGE LOCATIONS ARE IN DEPRESSED LAWN AREAS ALLOWING FOR SUBSURFACE ABSORPTION TO TAKE PLACE.

SEEDING / SODDING REQUIREMENTS:

1. AS INFRASTRUCTURE IMPROVEMENTS AND FINAL FINISH GRADING ARE COMPLETE, SEED ALL DISTURBED AREAS NOT LIKELY TO BE DISTURBED DURING BUILDING CONSTRUCTION WITH SUDAS PERMANENT LAWN MIXTURE. SEED THE BALANCE OF THE SITE WITH TEMPORARY EROSION CONTROL MIXTURE.
2. AS BUILDINGS, DRIVES, AND WALKS ARE COMPLETE, SOD ALL AREAS DISTURBED BY THE BUILDER ACTIVITIES.
3. MULCH ALL SEEDED AREAS WITH SLOPES EXCEEDING 5:1.
4. STAKE ALL SOD ON AREAS WITH SLOPES EXCEEDING 4:1.

IOWA DNR AND COSECO REQUIREMENTS:

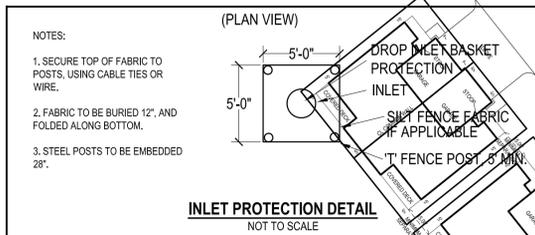
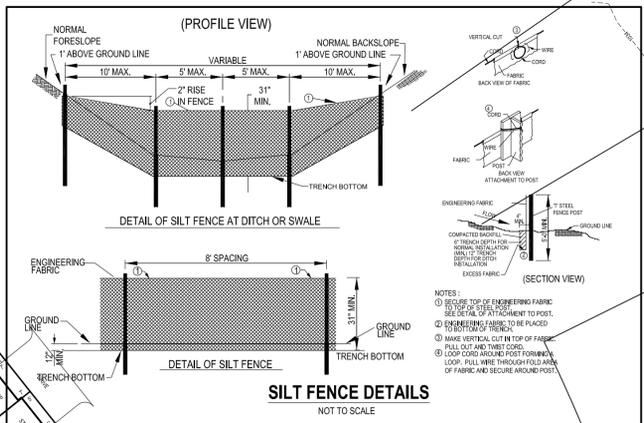
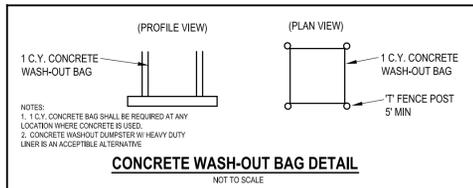
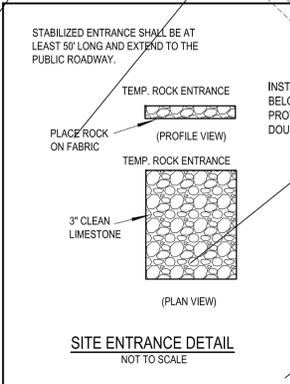
1. OWNER AND CONTRACTOR SHALL COMPLY WITH ALL STIPULATIONS OF THE NPDES GENERAL PERMIT NO. 2.
2. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AN AS-BUILT SURVEY AND RECORD DRAWINGS OF ALL STORM WATER MANAGEMENT FACILITIES ON SITE. THE RECORDS SHALL INCLUDE CERTIFICATION OF SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS AND SPOT ELEVATIONS OF ALL LOCATIONS WHERE OVERLAND FLOWAGE IN EASEMENT CROSSES A PROPERTY LINE OR RIGHT-OF-WAY.



VICINITY MAP
SCALE: 1" = 2000'

UTILITY LEGEND:

- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- SAN- SANITARY SEWER
- ST- STORM SEWER
- G- GAS LINE
- W- WATER LINE
- UE- UNDERGROUND ELECTRIC
- O/E- OVERHEAD ELECTRIC
- T- TELEPHONE LINE
- Ⓜ TELEPHONE RISER
- Ⓜ TELEPHONE MANHOLE
- Ⓜ GROUND LIGHT
- Ⓜ LIGHT POLE
- Ⓜ POWER POLE
- Ⓜ TRANSFORMER POLE
- Ⓜ ELECTRIC TRANSFORMER
- Ⓜ ELECTRIC METER
- Ⓜ CLEAN-OUT
- Ⓜ INTAKE
- Ⓜ SURFACE INTAKE
- Ⓜ TRAFFIC SIGNAL MANHOLE
- Ⓜ FIRE HYDRANT
- Ⓜ WATER VALVE
- Ⓜ GAS METER
- Ⓜ DENOTES NUMBER OF PARKING STALLS



- NOTES:**
1. SECURE TOP OF FABRIC TO POSTS, USING CABLE TIES OR WIRE.
 2. FABRIC TO BE BURIED 12", AND FOLDED ALONG BOTTOM.
 3. STEEL POSTS TO BE EMBEDDED 28".

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TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT

SWPPP

REFERENCE NUMBER:

DRAWN BY:

SKV

CHECKED BY:

REVISION DATE:

1-30-14 PER CITY
2-11-14 PER CITY
3-4-14 PER CITY

PROJECT NUMBER:

130452

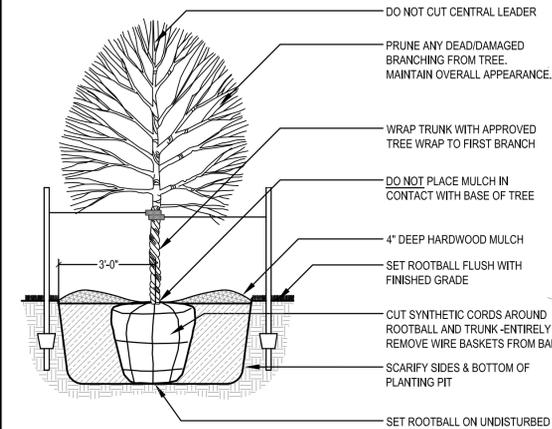
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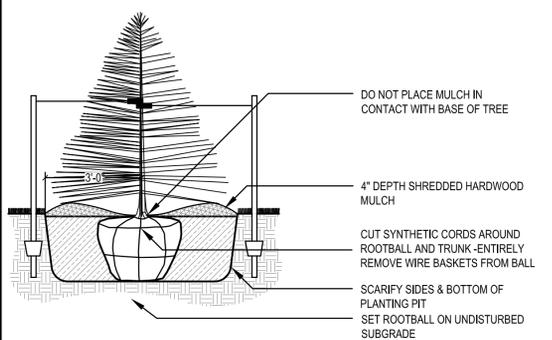
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LANDSCAPE NOTES:

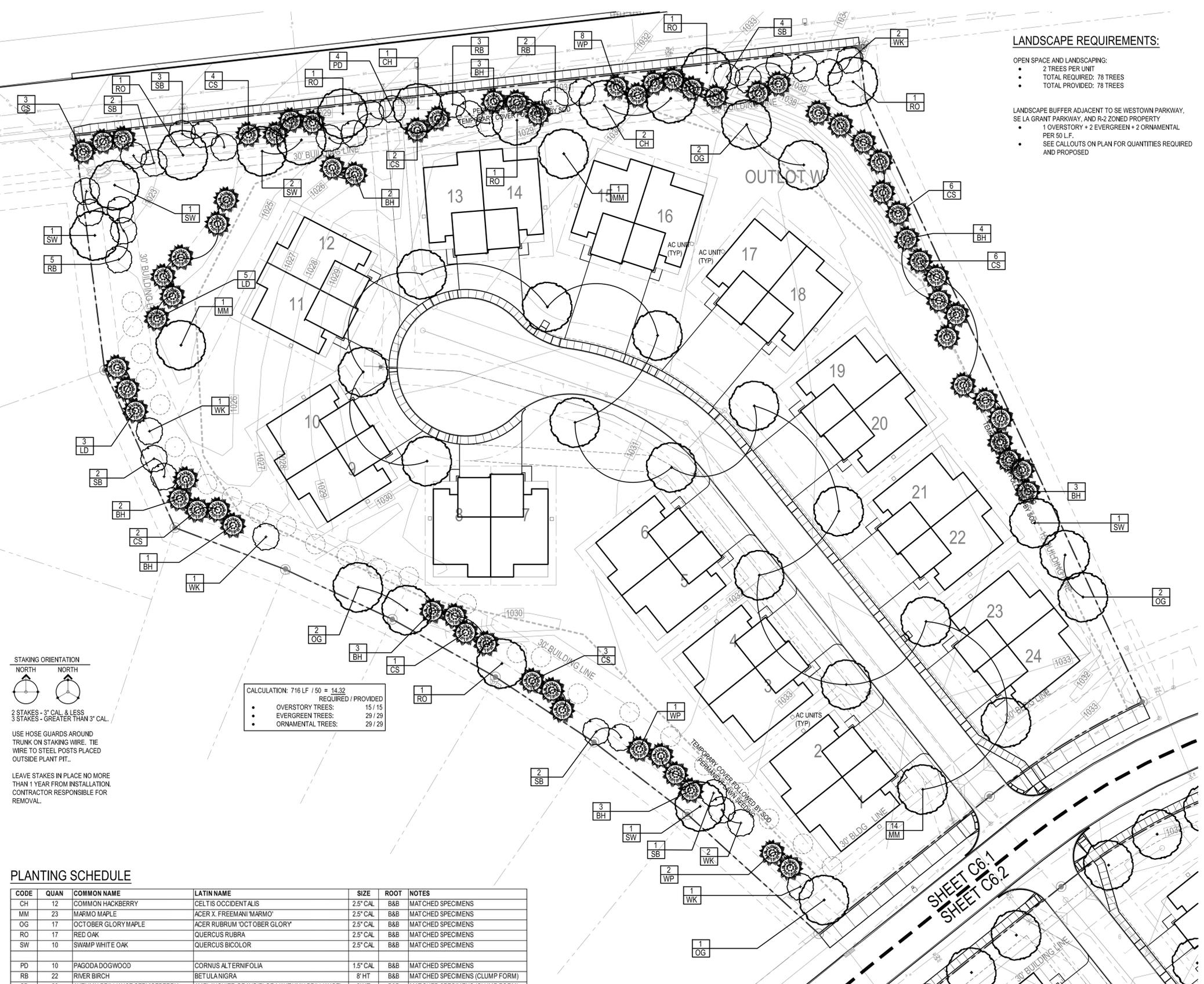
- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 3 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 1/8" STEEL EDGING - COLOR GREEN, OR APPROVED EQUAL. SEE AC UNIT SCREENING AND FRONT ENTRY PLANTING DETAIL - SHEET C6.2.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK SHREDDED HARDWOOD MULCH. SEE AC UNIT SCREENING AND FRONT ENTRY PLANTING DETAIL - SHEET C6.2.
- ALL BEDS TO RECEIVE PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



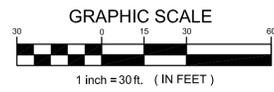
PLANTING SCHEDULE

| CODE | QUAN | COMMON NAME | LATIN NAME | SIZE | ROOT | NOTES |
|------|------|--------------------------------|---|----------|------|--------------------------------|
| CH | 12 | COMMON HACKBERRY | CELTIS OCCIDENTALIS | 2.5" CAL | B&B | MATCHED SPECIMENS |
| MM | 23 | MARMO MAPLE | ACER X. FREEMANI 'MARMO' | 2.5" CAL | B&B | MATCHED SPECIMENS |
| OG | 17 | OCTOBER GLORY MAPLE | ACER RUBRUM 'OCTOBER GLORY' | 2.5" CAL | B&B | MATCHED SPECIMENS |
| RO | 17 | RED OAK | QUERCUS RUBRA | 2.5" CAL | B&B | MATCHED SPECIMENS |
| SW | 10 | SWAMP WHITE OAK | QUERCUS BICOLOR | 2.5" CAL | B&B | MATCHED SPECIMENS |
| PD | 10 | PAGODA DOGWOOD | CORNUS ALTERNIFOLIA | 1.5" CAL | B&B | MATCHED SPECIMENS |
| RB | 22 | RIVER BIRCH | BETULA NIGRA | 8" HT | B&B | MATCHED SPECIMENS (CLUMP FORM) |
| SB | 28 | AUTUMN BRILLIANCE SERVICEBERRY | AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE' | 8" HT | B&B | MATCHED SPECIMENS (CLUMP FORM) |
| WK | 20 | WINTER KING HAWTHORN | CRATAEGUS VIRIDIS 'WINTER KING' | 1.5" CAL | B&B | MATCHED SPECIMENS |
| LD | 8 | EUROPEAN LARCH | LARIX DECIDUA | 6" | B&B | FULL FORM TO GROUND |
| BH | 31 | BLACK HILLS SPRUCE | PICEA GLAUCO DENSATA | 6" | B&B | FULL FORM TO GROUND |
| CS | 43 | COLORADO SPRUCE | PICEA PUNGENS | 6" | B&B | FULL FORM TO GROUND |
| WP | 40 | WHITE PINE | PINUS STROBUS | 6" | B&B | FULL FORM TO GROUND |

INDICATES EXISTING BUFFER TREE TO REMAIN - 27 TOTAL COUNTED TOWARDS FULFILLMENT OF BUFFERING REQUIREMENT

LANDSCAPE REQUIREMENTS:

- OPEN SPACE AND LANDSCAPING:
- 2 TREES PER UNIT
 - TOTAL REQUIRED: 78 TREES
 - TOTAL PROVIDED: 78 TREES
- LANDSCAPE BUFFER ADJACENT TO SE WESTOWN PARKWAY, SE LA GRANT PARKWAY, AND R-2 ZONED PROPERTY
- 1 OVERSTORY + 2 EVERGREEN + 2 ORNAMENTAL PER 50 L.F.
 - SEE CALLOUTS ON PLAN FOR QUANTITIES REQUIRED AND PROPOSED



I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.
BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2014
SIGNED: _____ DATE: _____



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**TIMBERLINE RIDGE PLAT 1
SITE PLAN / PRELIMINARY PLAT
LANDSCAPE PLAN - LOTS 1-24**

REFERENCE NUMBER:
DRAWN BY:
MG
CHECKED BY:
REVISION DATE:
1-30-14 PER CITY
PROJECT NUMBER:
130452
SHEET NUMBER:
C6.1

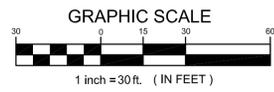
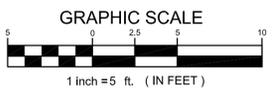


INSTALL 5 ALPINE CURRANT (RIBES ALPINUM - #5 CONTAINER) AT AC UNITS ON LOTS 1, 6, 7, 24, 25, 26, 27 & 39

THREE OPTIONS ARE AVAILABLE FOR FRONT ENTRY WALK PLANTINGS - OPTION #1 IS SHOWN ABOVE, OTHER OPTIONS INFERRED BASED ON QUANTITY OF PROPOSED PLANTINGS:

- 1) THREE DENSIFORMIS YEW (TAXUS DENSIFORMIS - #5 CONTAINER)
FOUR LITTLE PRINCESS SPIREA (SPIREA X 'LITTLE PRINCESS' - #5 CONTAINER)
- 2) THREE NORTHWIND SWITCHGRASS (PANICUM X 'NORTHWIND' - #1 CONTAINER)
FOUR GREEN MOUND BOXWOOD (BUXUS X 'GREEN MOUND' - #5 CONTAINER)
- 3) THREE KNOCKOUT ROSE (ROSA X 'RADRAZZ' - #5 CONTAINER)
FOUR KARL FOERSTER FEATHER GRASS (CALAMAGROSTIS X 'KARL FOERSTER' - #1 CONTAINER)

NOTE: ALL UNITS MUST INCLUDE FRONT ENTRY PLANTING BEDS



A.C. UNIT SCREENING & FRONT ENTRY PLANTING BED(TYP)

| | |
|-------------------|------------------|
| REFERENCE NUMBER: | |
| DRAWN BY: | MG |
| CHECKED BY: | |
| REVISION DATE: | 1-30-14 PER CITY |
| PROJECT NUMBER: | 130452 |
| SHEET NUMBER: | C6.2 |