NOTE:

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OWNER / DEVELOPER

HUBBELL METROPOLITAN DEVELOPMENT FUND I, LLC (SERIES E)
6900 WESTOWN PARKWAY
WEST DES MOINES, IA 50266
(515) 243-3228

ZONING

PD (PLANNED DEVELOPMENT OVERLY DISTRICT)
R-4 (ROW DWELLING AND TOWNHOME DWELLING DISTRICT)

SETBACKS

FRONT = 15'
SIDE = 10' MINIMUM BUILDING SEPARATION
REAR = 10'

SUBMITTAL DATES

03/12/13	INITIAL SUBMITTAL
05/28/13	2ND SUBMITTAL
06/11/13	3RD SUBMITTAL
06/25/13	4RD SUBMITTAL
07/03/13	5RD SUBMITTAL

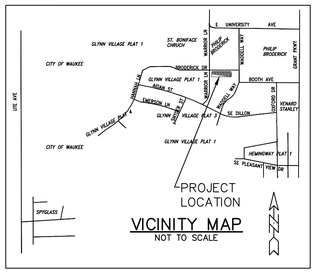
BENCHMARK

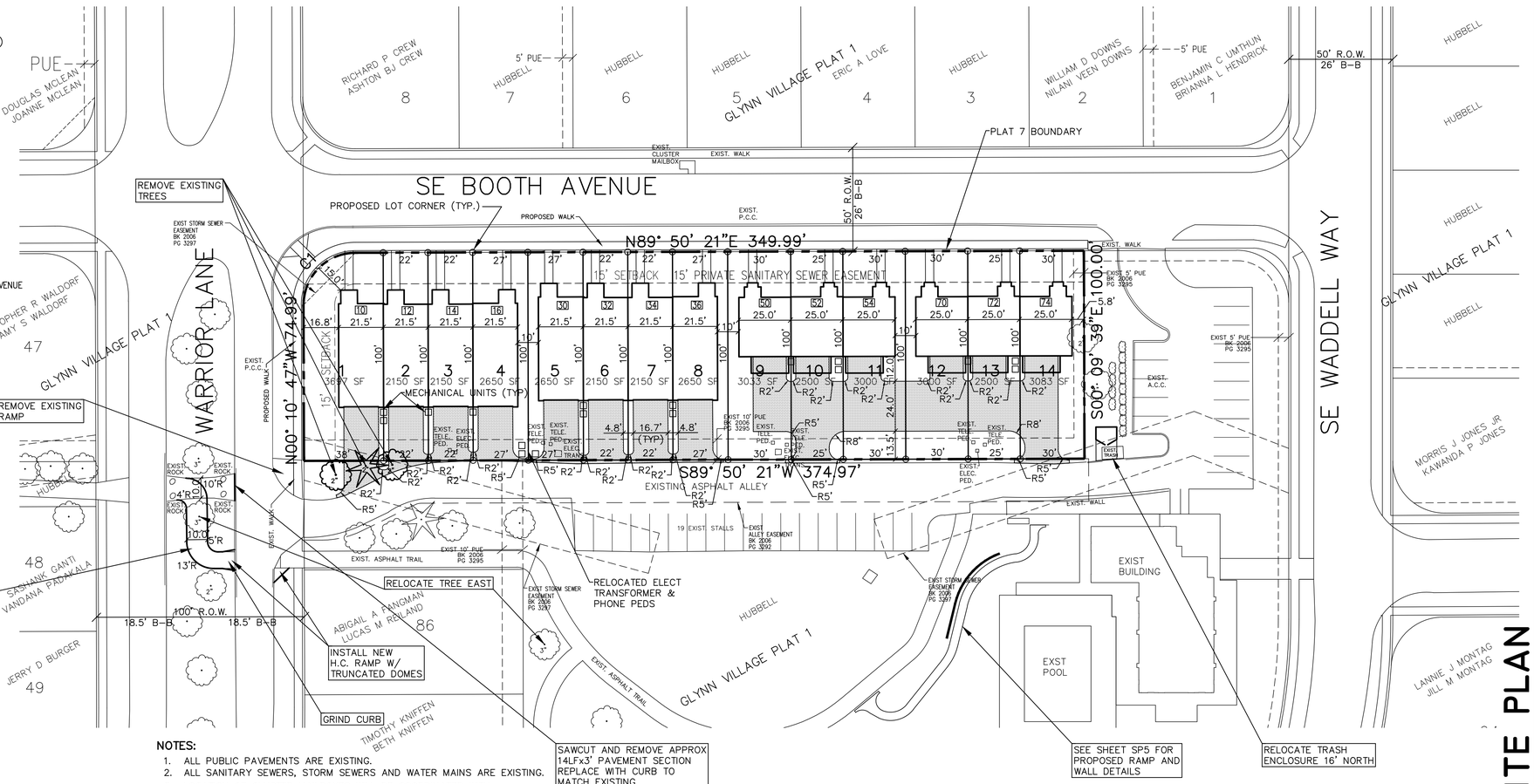
SE TAB BOLT ON HYDRANT AT SW CORNER WARRIOR LANE & UNIVERSITY AVENUE
ELEV=1028.39

DENOTES PROPOSED PAVEMENT

CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	90°01'08"	S 44°49'47" W	25.00	39.28	35.36

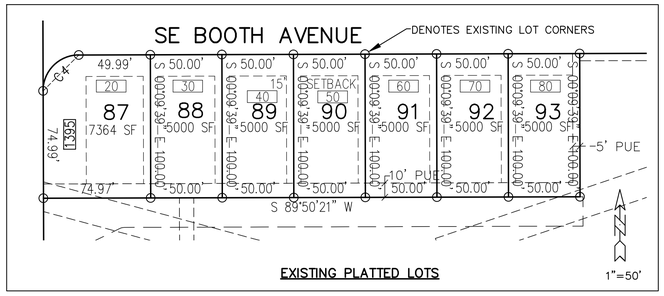




NOTES:

1. ALL PUBLIC PAVEMENTS ARE EXISTING.
2. ALL SANITARY SEWERS, STORM SEWERS AND WATER MAINS ARE EXISTING.
3. LOCATION OF CLUSTER MAILBOXES WILL BE COORDINATED WITH THE CITY AND USPS
4. ALL LOTS SHALL HAVE A MINIMUM PROTECTION ELEVATION (MPE) OF 1026.0
5. ANY SIDEWALKS FRONTING OPEN SPACE WHICH WILL NOT BE DEVELOPED INTO BUILDABLE LOTS IN THE FUTURE WILL HAVE SIDEWALK INSTALLED BY THE DEVELOPER.
6. GENERAL SIDEWALK CONSTRUCTION IS THE RESPONSIBILITY OF THE DEVELOPER.
7. DRIVEWAY THICKNESS: 5" AND SIDEWALK THICKNESS: 4" TRAIL IN MEDIAN: 6"
8. PARKING: REQUIRED: 2 / UNIT PLUS 1/5 UNITS.

   PROVIDED: 2 CAR GARAGE PLUS 2 STALLS BEHIND EACH GARAGE. ALSO 19 EXISTING STALLS ARE LOCATED ON THE SOUTH SIDE OF THE ALLEY.
   REQUIRED: (14X2) + 14/5=31
   PROVIDED: 75
9. THE PRIVATE SANITARY SEWER EASEMENT IS TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION FOR THE TOWNHOMES.



EXISTING PLATTED LOTS

LEGAL DESCRIPTION

All of Lots 87, 88, 89, 90, 91, 92 and 93 in Glynn Village Plat 1, an Official Plat, filed March 6, 2006, in Book 2006 at Page 3292 in the Office of the Recorder for Dallas County, Iowa, now included in and forming a part of the City of Waukee, Dallas County, Iowa, and being more particularly described as:

Beginning at the Southwest corner of Lot 87 in said Glynn Village Plat 1; thence

North 00°(degrees) 10'(minutes) 47"(seconds) West, 74.99 feet along the West line of said Lot 87 to a point of curvature; thence

Northeasterly 39.28 feet along the arc of a curve in the West and North lines of said Lot 87 concave southeasterly and having a radius of 25.00 feet, a central angle of 90°01'08" and a 35.36 feet long chord that bears North 44°49'47" East; thence

North 89°50'21" East, 349.99 feet along the North lines of Lots 87, 88, 89, 90, 91, 92 and 93 in said Glynn Village Plat 1 to the Northeast corner of said Lot 93; thence

South 00°09'39" East, 100.00 feet along the East line of said Lot 93 to the Southeast corner of said Lot 93; thence

South 89°50'21" West, 374.97 feet along the South lines of said Lots 93, 92, 91, 90, 89, 88 and 87 to the point of beginning at the Southwest corner of said Lot 87.

Containing 37,364 square feet (0.86 acres), more or less.

LAND SURVEYOR'S NOTE FOR PRELIMINARY PLATS

THIS PRELIMINARY PLAT IS FOR CONCEPTUAL PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED NOR SHALL ANY CONVEYANCE OF PROPERTY BE MADE WITH REFERENCE TO THIS PRELIMINARY PLAT.

THE SURVEYOR NOTES THAT DISTANCES AND/OR AREAS SHOWN FOR THE LOTS OR OUTLOTS DEPICTED ON THIS PRELIMINARY PLAT ARE APPROXIMATE AND THAT INDIVIDUAL LOTS OR OUTLOTS MAY NOT CLOSE WITHIN ACCEPTABLE LIMITS FOR BOUNDARY SURVEYS.

THE SURVEYOR CANNOT AND DOES NOT CERTIFY TO ANY WORK DONE IN PREPARING THIS PRELIMINARY PLAT THAT FALLS UNDER THE SCOPE AND DIRECTION OF A PROFESSIONAL ENGINEER.

LAND SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DANIEL F. RITTEL, P.L.S. #15268 DATE
MY REGISTRATION RENEWAL DATE IS DECEMBER 31, 2013

PAGES OR SHEETS COVERED BY THIS SEAL

LICENSED PROFESSIONAL ENGINEER DOUGLAS J. SALTSGAVER 11993 IOWA

ENGINEERING CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DOUGLAS J. SALTSGAVER, P.E. #11993 DATE
MY REGISTRATION RENEWEL DATE IS DECEMBER 31, 2014

PAGES OR SHEETS COVERED BY THIS SEAL

PRELIMINARY PLAT/SITE PLAN

GLYNN VILLAGE PLAT 7 - GEOMETRIC PLAN

LOCATION:	SCALE: 1" = 50'	DESIGNED BY: DJS	DRAWN BY: PJV
	DWG: 13-027-PRELIM-PLAN.DWG	CHECKED BY: DJS	DATE: 07/03/13
	FIELD BOOK:	SHEET 1 OF 5	FILE NO.: 13-027

NO.	REVISION	DATE	BY	FOR:

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 288-4823

13-027

SPI

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NOTE:

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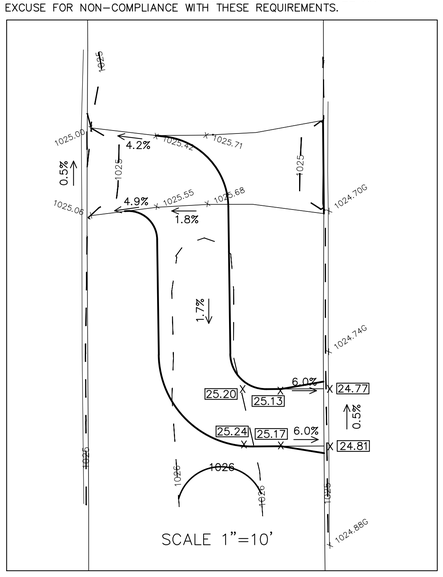
GRADING NOTES:

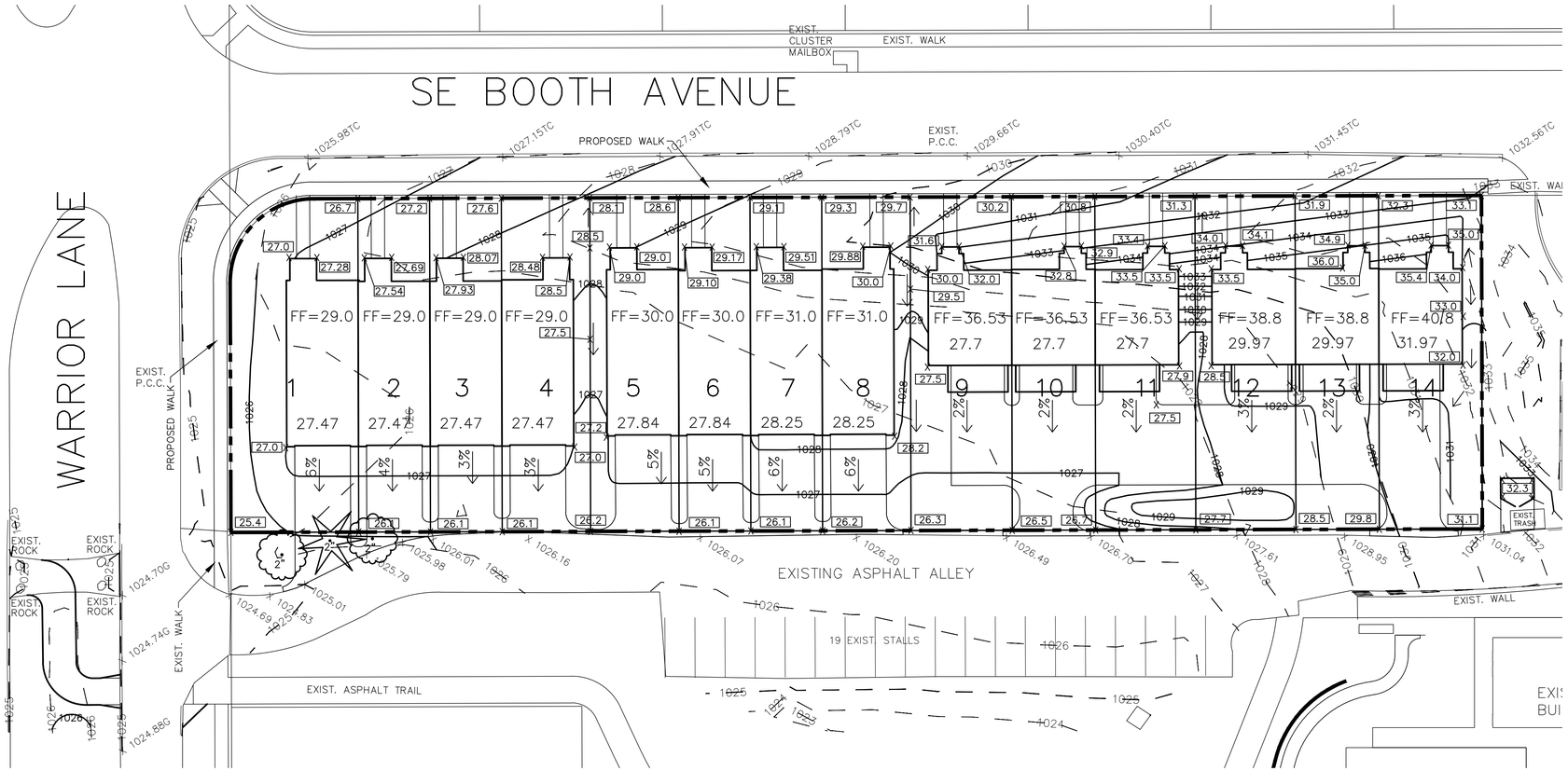
1. REMOVE ALL EXISTING ORGANIC MATERIAL TO 6" MINIMUM DEPTH.
2. PROOF ROLL THE EXPOSED SUB GRADE.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED.
5. ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12" OF SELECT, COMPACTED MATERIAL OF CL OR ML CLASSIFICATION DIRECTLY BELOW THE BOTOM OF SLAB.
6. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF 9". COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO 90% AT OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.
7. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF 0.1 FOOT
8. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE CONTRACTOR.
9. ALL PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR FINISH GRADE, UNLESS OTHERWISE NOTED.

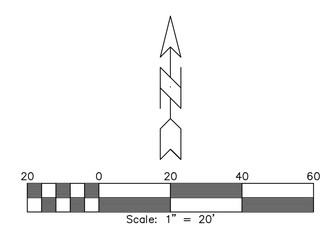
153	DENOTES EXIST. CONTOUR
155	DENOTES PROPOSED CONTOUR
X 56.85	DENOTES PROPOSED SPOT ELEVATION
T/W	DENOTES TOP OF WALL ELEVATION
B/W	DENOTES BOTTOM OF WALL ELEVATION
X=77.08G	DENOTES EXISTING GUTTER ELEVATION
X=74.02TC	DENOTES EXISTING TOP OF CURB ELEVATION
D.S.	DENOTES DOWNSPOUT LOCATION
H.P.	DENOTES HIGH POINT

H.C. STALLS, RAMPS AND ADAAG NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS, SIDEWALK SLOPES, STRIPING, SIGNAGE AND RAMP DETAILS TO MEET CURRENT REQUIREMENTS OF SUDAS, MUTCD, DOJ AND ADAAG.
2. THE CONTRACTOR SHALL VERIFY WITH THE CITY INSPECTOR THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
3. SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
4. PERFORMING THE WORK THE WAY THE CONTRACTOR HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.







PRELIMINARY PLAT/SITE PLAN

SP2

GLYNN VILLAGE PLAT 7 - GRADING PLAN

LOCATION:	SCALE: 1" = 20'	DESIGNED BY: DJS	DRAWN BY: PJV		
	DWG: 13-027-GRD.DWG	CHECKED BY: DJS	DATE: 07/03/13		
	FIELD BOOK:	SHEET 2 OF 5	FILE NO.: 13-027		

NO.	REVISION	DATE	BY	FOR:

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 288-4823

13-027

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SANITARY SEWERS:

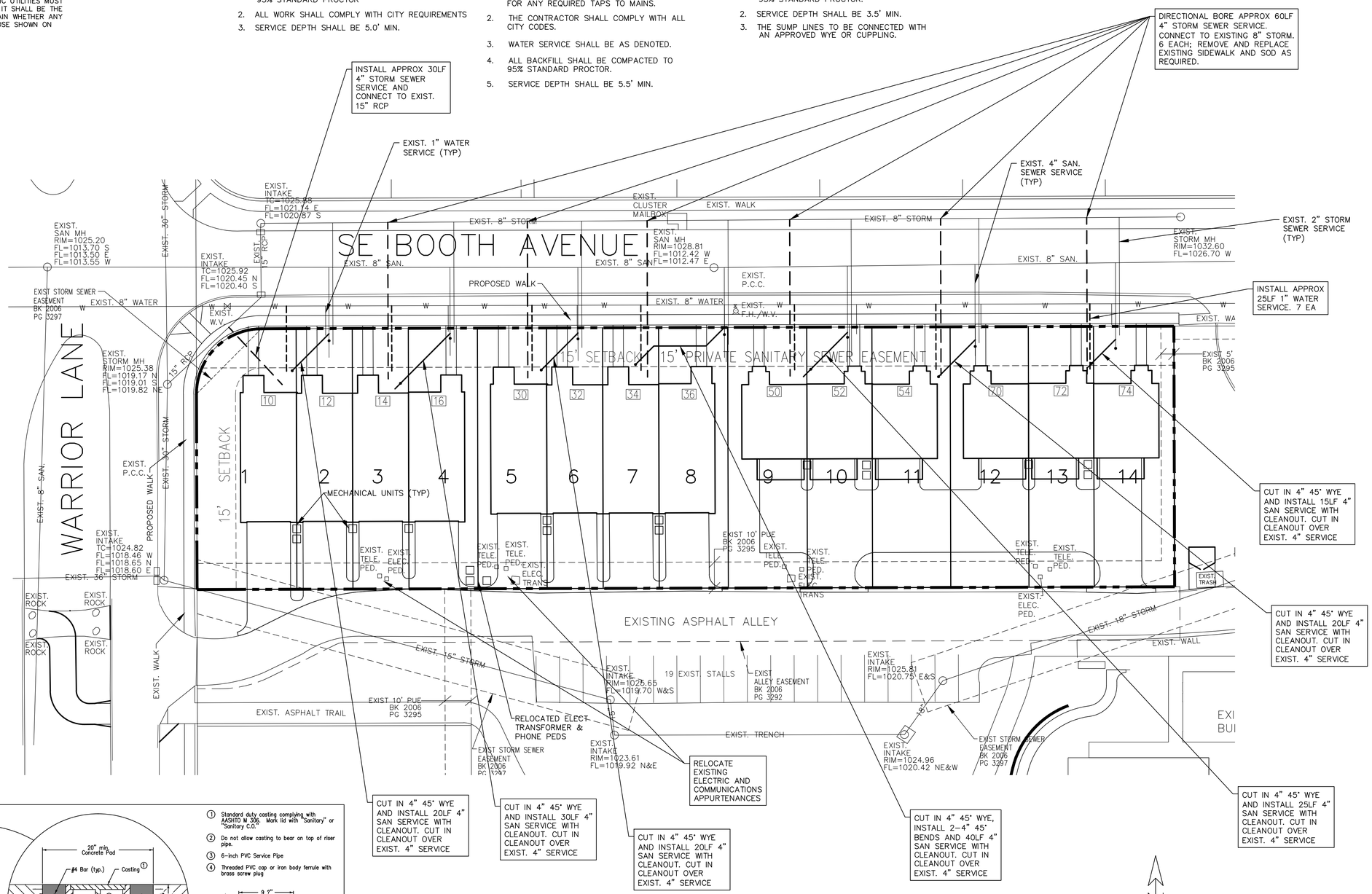
1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR
2. ALL WORK SHALL COMPLY WITH CITY REQUIREMENTS
3. SERVICE DEPTH SHALL BE 5.0' MIN.

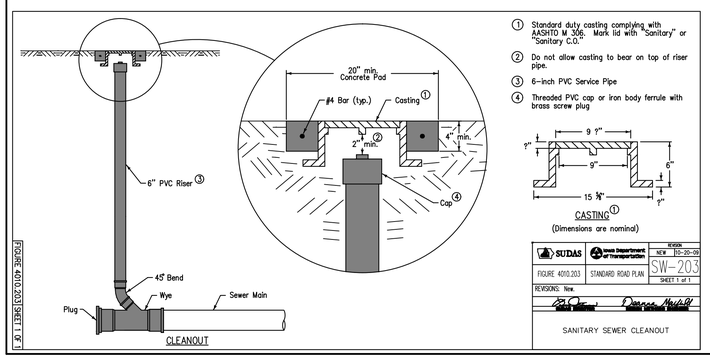
WATER SERVICE:

1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY CODES.
3. WATER SERVICE SHALL BE AS DENOTED.
4. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
5. SERVICE DEPTH SHALL BE 5.5' MIN.

STORM SEWERS:

1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
2. SERVICE DEPTH SHALL BE 3.5' MIN.
3. THE SUMP LINES TO BE CONNECTED WITH AN APPROVED WYE OR CUPPLING.





PRELIMINARY PLAT/SITE PLAN

SP3

UTILITY PLAN/GLYNN VILLAGE PLAT 7 CONSTRUCTION DRAWING

LOCATION:		DRAWN BY:	PJV
SCALE:	1" = 20'	DESIGNED BY:	DJS
DWG:	13-027-UTL.DWG	CHECKED BY:	DJS
FIELD BOOK:		SHEET 3 OF 5	
		DATE:	07/03/13
		FILE NO.:	13-027

NO.	REVISION	DATE	BY	FOR:

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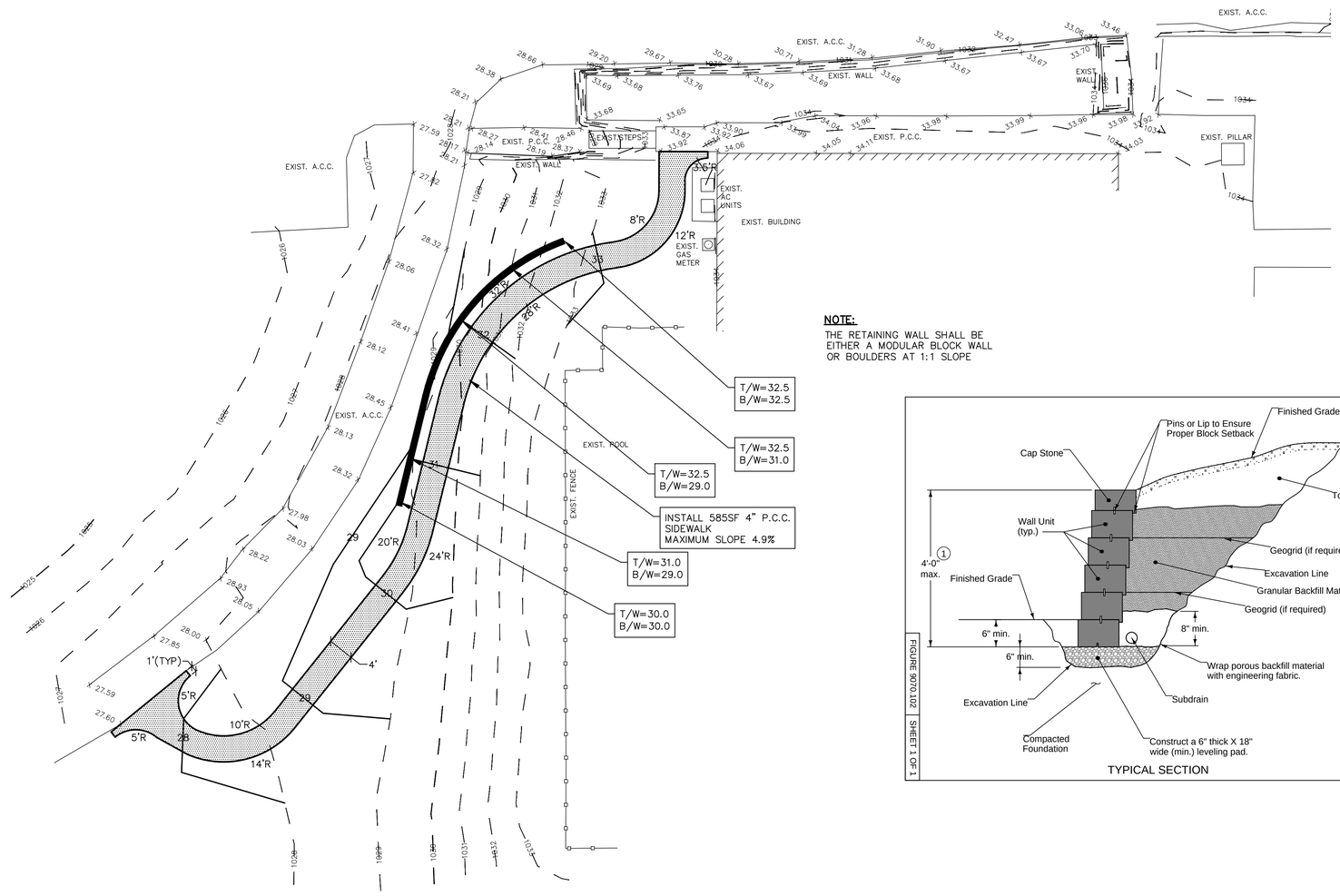
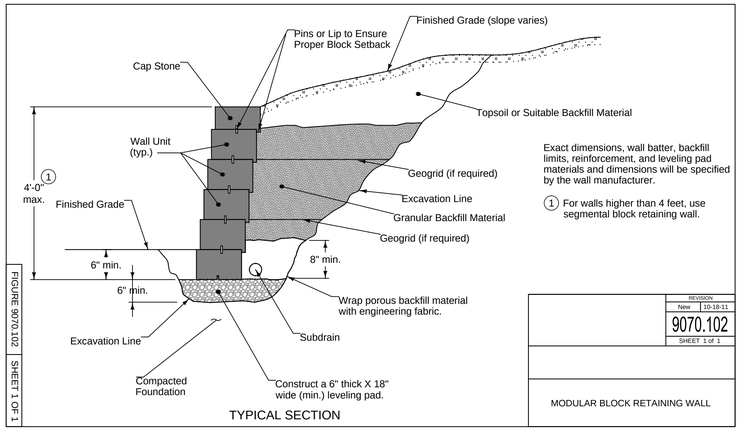
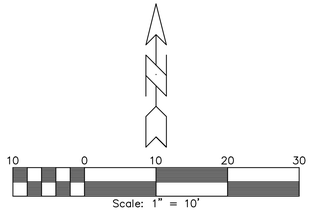


NOTE:

THE RETAINING WALL SHALL BE EITHER A MODULAR BLOCK WALL OR BOULDERS AT 1:1 SLOPE



TYPICAL SECTION



PRELIMINARY PLAT/SITE PLAN

SP5

PLAT 7 - CLUBHOUSE RAMP PLAN

GLYNN VILLAGE

LOCATION:			
SCALE: 1" = 10'	DESIGNED BY: DJS	DRAWN BY: PJV	
DWG: 13-027-RAMP.DWG	CHECKED BY: DJS	DATE: 07/03/13	
FIELD BOOK:	SHEET 5 OF 5	FILE NO.: 13-027	

NO.	REVISION	DATE	BY	FOR:

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2413 GRAND AVENUE
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(515) 288-4023

13-027

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Landscape Calculations

Trees:

- 2 trees per dwelling unit (50% to be overstory)
  trees required (14 units = 28 trees, 14 overstory)
- 1 tree per 40 lineal feet of frontage (Warrior Lane & SE Booth Avenue)
  in addition to general tree requirement
  Warrior (100 lf = 3 trees)
  Booth (375 lf = 10 trees)
- Additional trees of similar spacing and location to the rendering provided as part of the PD Amendment (Exhibit D) for areas within and adjacent to the site/plat should be provided
  Exhibit D (19 trees)

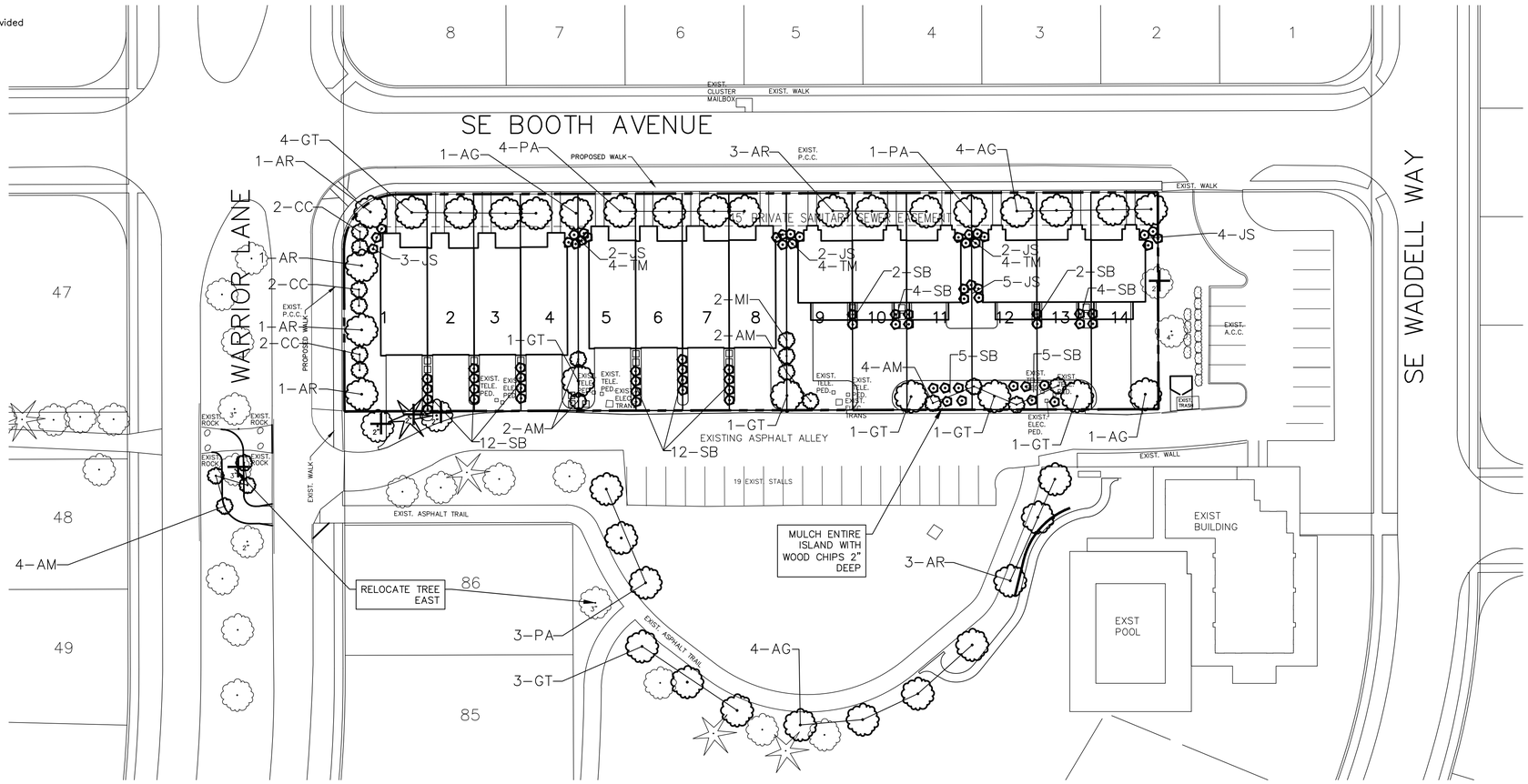
Shrubs:

- Shrubs to be used to screen ground mounted mechanical units
- Additional shrubs of similar number and location to the rendering provided as part of the PD Amendment (Exhibit D) should be provided

Plants Required:
46 overstory trees
14 additional trees
76 Shrubs

Plants Provided:
60 Trees
76 Shrubs

Pervious Area:
14,033 sf
Impervious Area:
23,331 sf



Landscape Schedule

Code	Quantity	Common Name	Botanical Name	Size	Root	Note
AR	10	Red Maple	Acer rubrum	1.5"	B&B	Single straight leader, matched
AG	10	European Alder	Alnus glutinosa	1.5"	B&B	Single straight leader, matched
GT	12	Thornless Honeylocust	Gleditsia triacanthos inermis	1.5"	B&B	Single straight leader, matched
PA	8	London Planetree 'Bloodgood'	Platanus x acerfolia 'Bloodgood'	1.5"	B&B	Single straight leader, matched
AM	12	Amur Maple	Acer grinnala		B&B	Multi-stem, rounded
CC	6	Eastern Redbud	Cercis canadensis		B&B	Single straight leader, matched
MI	2	Prairie Crab Apple	Malus ioensis		B&B	Single straight leader, matched
TM	12	Taunton Yew	Taxus x media 'Taunton'	12"	Cont.	Full form to base
SB	46	Goldflame Spirea	Spiraea x Bumalda 'Goldflame'	12"	Cont.	Full form
JS	18	Blue Star Juniper	Juniperus squamata 'Blue Star'	12"	Cont.	Full form

30 0 30 60 90
Scale: 1" = 30'

PRELIMINARY PLAT/SITE PLAN

SP4

GLYNN VILLAGE PLAT 7 - LANDSCAPE PLAN

NO.	REVISION	DATE	BY	FOR:

LOCATION:
SCALE: 1" = 30'
DWG: 13-027-LND.DWG
FIELD BOOK:
DESIGNED BY: DJS
CHECKED BY: DJS
SHEET 4 OF 5
DRAWN BY: PJV
DATE: 07/03/13
FILE NO.: 13-027

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