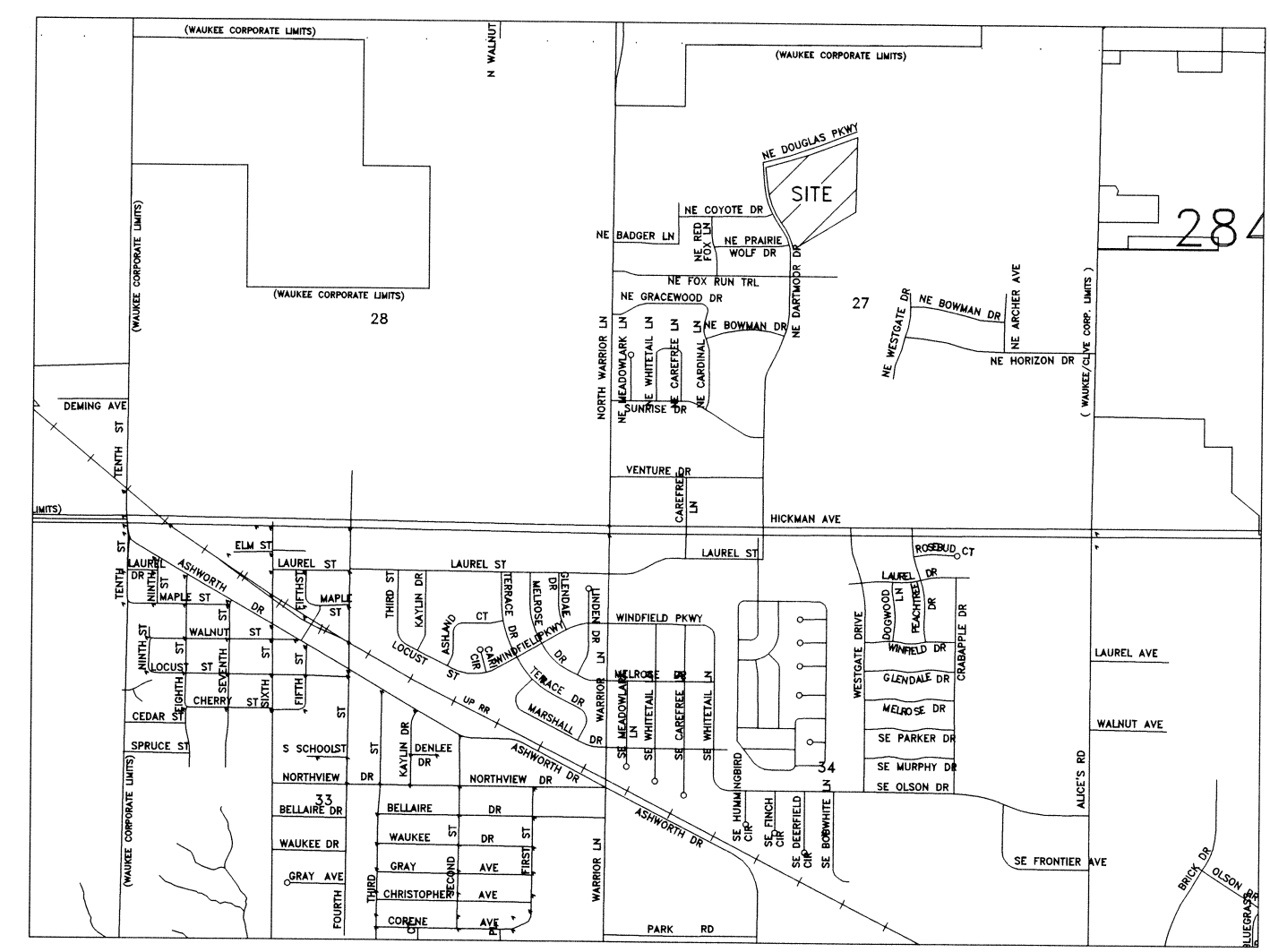
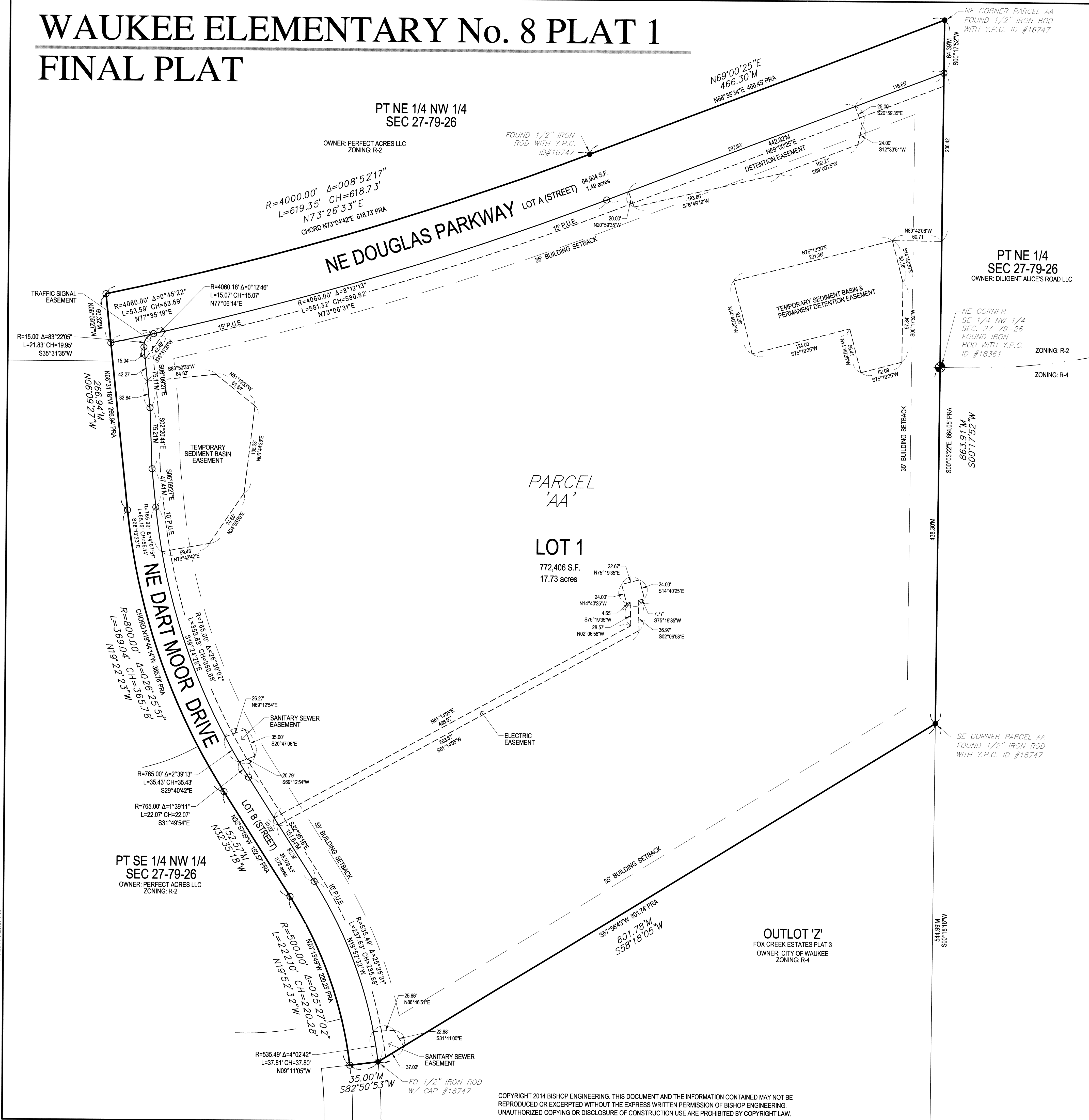


# WAUKEE ELEMENTARY No. 8 PLAT 1 FINAL PLAT



**PROPERTY DESCRIPTION:**  
 PARCEL AA OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, WAUKEE, DALLAS COUNTY, IOWA, AS RECORDED IN BOOK 2013, AT PAGE 19460. SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD SAID TRACT OF LAND CONTAINS 20.00 ACRES MORE OR LESS.

**ADDRESS:**  
 645 NE DARTMOOR DR  
 WAUKEE, IA 50263

**OWNER:**  
 WAUKEE COMMUNITY SCHOOL DISTRICT

**ZONING:**  
 R-2: SINGLE-FAMILY RESIDENTIAL DISTRICT  
 BUILDING SETBACKS:  
 THIRTY FIVE (35) FEET ALL SIDES

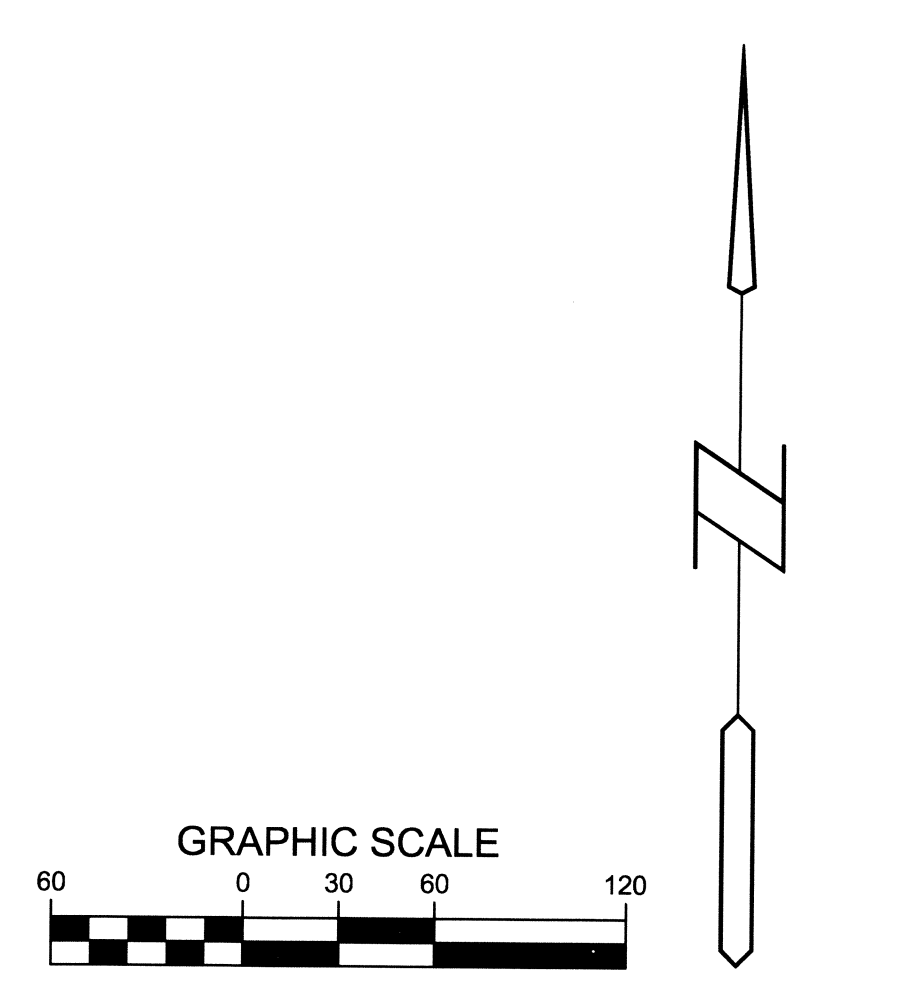
**PREPARED FOR:**  
 WAUKEE COMMUNITY SCHOOL DISTRICT  
 560 SE UNIVERSITY AVENUE  
 WAUKEE, IA 50263  
 PH: (515) 987-5161

**PREPARED BY:**  
 BISHOP ENGINEERING  
 ATTN: LARRY HYLER  
 3501 104TH ST  
 URBANDALE, IA 50322  
 PH: (515) 276-0467

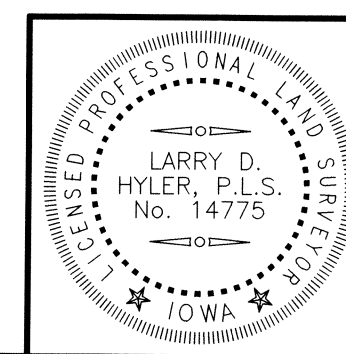
**MINIMUM FINISH FLOOR ELEVATION:**  
 THE MINIMUM FINISH FLOOR ELEVATION FOR THIS LOT SHALL BE 1009.00 (NAVD 88).

**SURVEY NOTES:**  
 THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.



- ABBREVIATIONS:**
- AC ACRES
  - BK BOOK
  - D DEEDED DISTANCE
  - EX EXISTING
  - ENCL ENCLOSURE
  - FRAC FRACTIONAL
  - M MEASURED DISTANCE
  - P PLATTED DISTANCE
  - PG PAGE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PRA PREVIOUSLY RECORDED AS
  - PUE PUBLIC UTILITY EASEMENT
  - ROW RIGHT OF WAY
  - SF SQUARE FEET
- LEGEND:**
- PROPERTY CORNER - FOUND AS NOTED
  - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
  - ⊙ SECTION CORNER - FOUND AS NOTED



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: *Larry D. Hylar* DATE: 4-17-2014  
 LARRY D. HYLAR, L.S. 14775

LICENSE RENEWAL DATE: DEC. 31, 2014  
 PAGES OR SHEETS COVERED BY THIS SEAL: THIS PAGE ONLY

**Bishop Engineering**  
 "Planning Your Successful Development"

3501 104th Street  
 Des Moines, Iowa 50322-3625  
 Phone: (515) 276-0467 Fax: (515) 276-0217  
 Civil Engineering & Land Surveying  
 Established 1959

**WAUKEE ELEMENTARY No. 8 PLAT 1  
 WAUKEE, IA**

**FINAL PLAT**

REFERENCE NUMBER:	
DRAWN BY:	JMR
CHECKED BY:	LDH
REVISION DATE:	
PROJECT NUMBER:	130353
SHEET NUMBER:	1 OF 1

M:\LAND PROJECTS\2013130353\DWG\FINAL PLAT.DWG 4/16/2014 5:28:07 PM

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