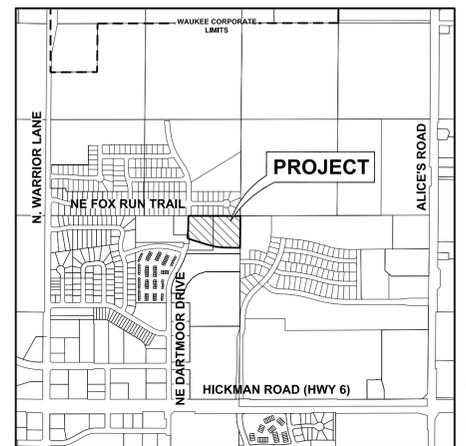


# SITE PLAN FOR: BROOKSIDE TOWNHOMES

## WAUKEE, IOWA

### VICINITY MAP

NOT TO SCALE



### WAUKEE, IOWA

### OWNER/APPLICANT

CALIBER IOWA, LLC  
CONTACT: JAMES LINDGREN  
720 SOUTH 68TH STREET, #120  
WEST DES MOINES, IA 50226

### ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: ERIN OLLENDIJK  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### ARCHITECT

JCORP, INC.  
CONTACT: DUANE JENSEN  
P.O. BOX 159  
HUXLEY, IA 50124  
PH. (515) 597-5457

### DATE OF SURVEY

JUNE 2014

### CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = AUGUST 2014  
ANTICIPATED FINISH DATE = AUGUST 2015

### SUBMITTAL DATES

FIRST SUBMITTAL: 06/16/2014  
SECOND SUBMITTAL: 07/02/2014  
THIRD SUBMITTAL: 07/16/2014

### LEGAL DESCRIPTION

A PART OF THE OUTLOTS OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 79 NORTH, RANGE 26 WEST IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NE CORNER OF OUTLOT 'F' THENCE; SOUTH 0° 02' 57" WEST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, 434.10 FEET; THENCE NORTH 89° 48' 25" WEST, 203.75 FEET; THENCE NORTH 88° 19' 39" WEST, 63.88 FEET; THENCE NORTH 83° 58' 14" WEST, 63.01 FEET; THENCE NORTH 79° 34' 02" WEST, 63.01 FEET; THENCE NORTH 75° 09' 49" WEST, 63.01 FEET; THENCE NORTH 72° 53' 44" WEST, 67.92 FEET; THENCE NORTH 72° 53' 42" WEST, 178.36 FEET TO THE WEST RIGHT OF WAY LINE OF DARTMOOR DRIVE AND IS RECORDED IN ACQUISITION DEED 2012-19158 THENCE NORTHERLY ALONG A CURVE WHOSE RADIUS IS 1035.00 FEET, WHOSE ARC LENGTH IS 165.00 FEET, AND WHOSE CHORD BEARS NORTH 04° 34' 02" EAST, 165.00 FEET; THENCE NORTH 0° 00' 00" EAST ALONG SAID ACQUISITION, 155.28 FEET TO THE SOUTHWEST CORNER OF LOT 11 IN FOX CREEK ESTATES PLAT 4 A OFFICAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY IOWA; THENCE NORTH 89° 34' 24" EAST ALONG SAID PLAT, 302.04 FEET; THENCE NORTH 89° 31' 27" EAST ALONG SAID PLAT, 373.76 FEET TO THE POINT OF BEGINNING AND CONTAINING 273,189.68 SQUARE FEET.

### ZONING

PD (PLANNED DEVELOPMENT OVERLAY DISTRICT) AND R-4 (ROW DWELLING & TOWNHOME DWELLING DISTRICT)

### BULK REGULATIONS

- PD' PLANNED DEVELOPMENT DISTRICT (R-4 UNDERLYING) ZONING REGULATIONS SHALL APPLY TO THIS AREA EXCEPT AS LISTED BELOW:
- PRINCIPAL PERMITTED USES FOR THIS AREA SHALL INCLUDE TOWNHOMES.
  - MINIMUM LOT AREA: 3,350 SQUARE FEET PER HOUSING UNIT FOR LOTS WITH AN ATTACHED 2 STALL GARAGE; 3,900 SQUARE FEET PER HOUSING UNIT WITH AN ATTACHED 3 STALL GARAGE.
  - MINIMUM FLOOR AREA: 1300 SQUARE FEET PER UNIT.
  - MINIMUM LOT FRONTAGE: 50 FEET
  - MAXIMUM DENSITY: 4 HOUSING UNITS PER GROSS ACRE
  - FRONT YARD: 25 FEET PERIMETER BOUNDARY
  - SIDE YARD: 5 FEET
  - REAR YARD: 30 FEET
  - LANDSCAPING & OPEN SPACE:
    - ALL SITES SHOULD CONFORM TO THE CITY'S ORDINANCE FOR LANDSCAPING AND OPEN SPACE WITH REGARD TO THE AMOUNT OF OPEN SPACE TO BE PROVIDED WITHIN THE SUBDIVISION IN ADDITION TO THE NUMBER AND TYPE OF PLANTINGS NEEDED WITHIN EACH LOT.
    - BUFFERS: WHERE THIS DISTRICT BORDERS AN R-2 (ONE & TWO FAMILY RESIDENTIAL DISTRICT) A 25 FOOT LANDSCAPE BUFFER SHOULD BE PROVIDED. THE BUFFER SHOULD PROVIDE A 3 FOOT TALL BERM IN AREAS WHERE PRACTICAL TO THE OVERALL DEVELOPMENT. BUFFER PLANTINGS SHOULD BE PROVIDED AS PRESCRIBED BY THE CITY'S LANDSCAPING AND OPEN SPACE ORDINANCE.
  - PARKING:
    - A MINIMUM OF 2 SPACES PER DWELLING UNIT, 1 VISITOR SPACE PER 5 DWELLING UNITS. VISITOR SPACES SHOULD BE PROVIDED OFF OF THE PRIVATE STREET.
    - A MINIMUM OF 2 GARAGE SPACES SHOULD BE PROVIDED PER DWELLING UNIT.

### BENCHMARKS

- STORM SEWER MANHOLE RIM LOCATED AT THE N.E. CORNER OF WARRIOR LANE AND FOX RUN TRAIL INTERSECTION. MANHOLE IS LOCATED 4' FROM THE EAST BACK OF CURB LINE OF WARRIOR LANE AND 46' NORTH OF FOX RUN TRAIL CENTERLINE. ELEVATION = 1014.23
- SANITARY SEWER MANHOLE RIM LOCATED ON THE WEST SIDE OF NE DARTMOOR DRIVE, 121' +/- NORTH OF THE CENTERLINE OF NE BOWMAN DRIVE. MANHOLE IS LOCATED 9' FROM THE WEST BACK OF CURB LINE OF NE DARTMOOR DRIVE. ELEVATION = 1020.12

### INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DETAILS / HYDRANT COVERAGE PLAN
3	DIMENSION PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	EROSION AND SEDIMENT CONTROL PLAN
8	INTERSECTION DETAILS

### NOTES

- ANY CHANGES PROPOSED TO THE CONSTRUCTION DRAWINGS DURING CONSTRUCTION SHALL BE APPROVED IN WRITING BY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- THE RESULTS OF THE GEOTECHNICAL REPORT ARE TO BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT. THE CONSTRUCTION DRAWINGS ARE SUBJECT TO ANY CHANGES REQUIRED BY THE REPORT.



1-800-292-8989

www.iowaonecall.com

### UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.



CIVIL DESIGN ADVANTAGE  
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1401.002

### GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
MAIL BOX PAD	GAS MAIN
DOWNSPOUT LOCATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS. THE WAUKEE STANDARD SPECIFICATIONS SHALL GOVERN IN THE EVENT OF CONTRASTING REQUIREMENTS.

REGISTERED PROFESSIONAL ENGINEER  
ERIN OLLENDIJK  
16926

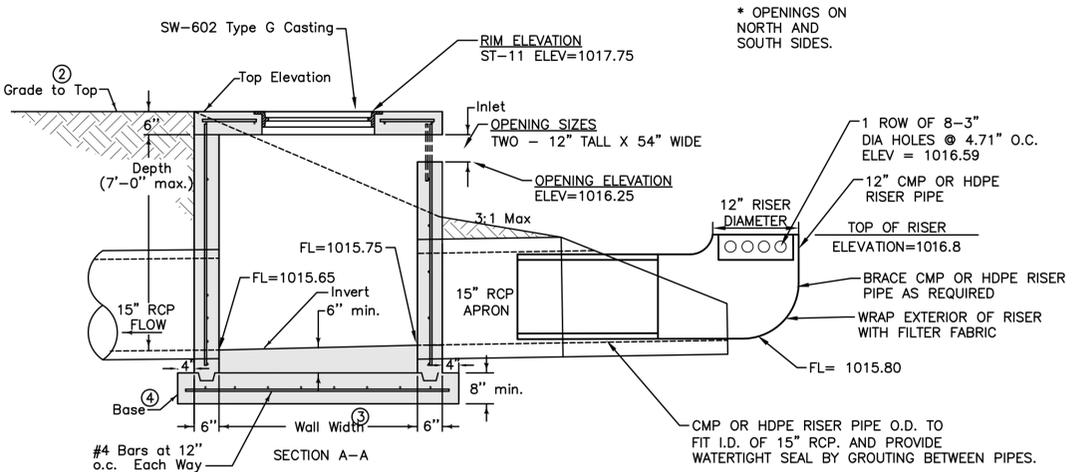
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2015  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS 1-5 AND 7-8

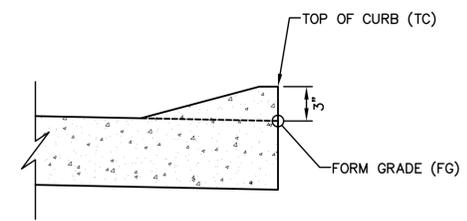
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BROOKSIDE TOWNHOMES

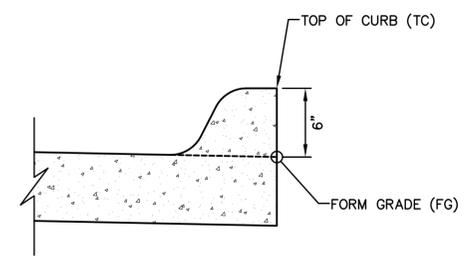


**SEDIMENT BASIN #1 OUTLET STRUCTURE**

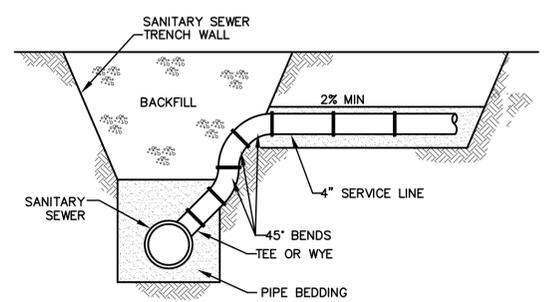
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**INTEGRAL 3" ROLLED CURB  
SPOT ELEVATION REFERENCE DETAIL**

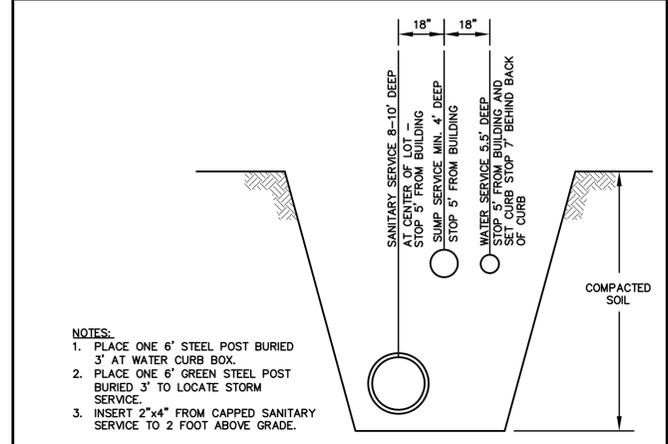


**INTEGRAL 6" STANDARD CURB  
SPOT ELEVATION REFERENCE DETAIL**



**SANITARY SEWER SERVICE RISER**

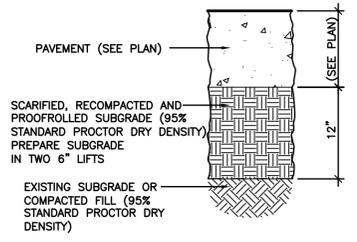
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- NOTES:
1. PLACE ONE 6" STEEL POST BURIED 3' AT WATER CURB BOX.
  2. PLACE ONE 6" GREEN STEEL POST BURIED 3' TO LOCATE STORM SERVICE.
  3. INSERT 2"x4" FROM CAPPED SANITARY SERVICE TO 2 FEET ABOVE GRADE.

**SERVICE LOCATION DETAIL**

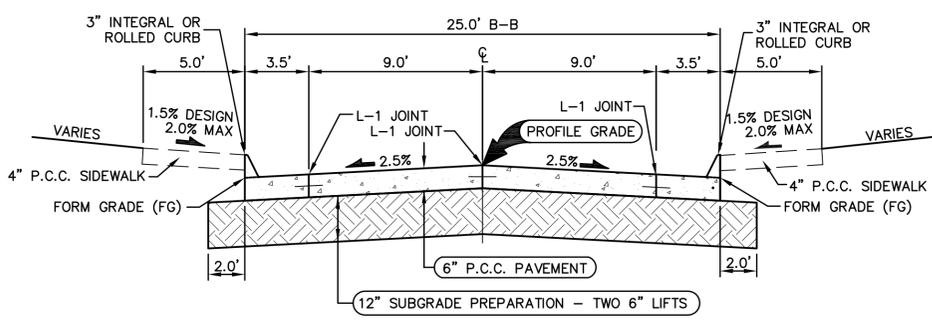
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- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB, EXCEPT WHEN ABUTTING EXISTING PAVEMENT.

**12" SUBGRADE PREPARATION**

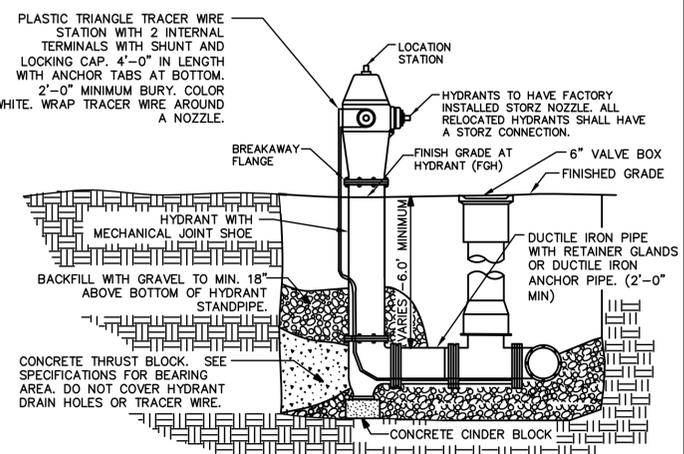
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**TYPICAL SECTION - 25 P.C.C. ROADWAY**

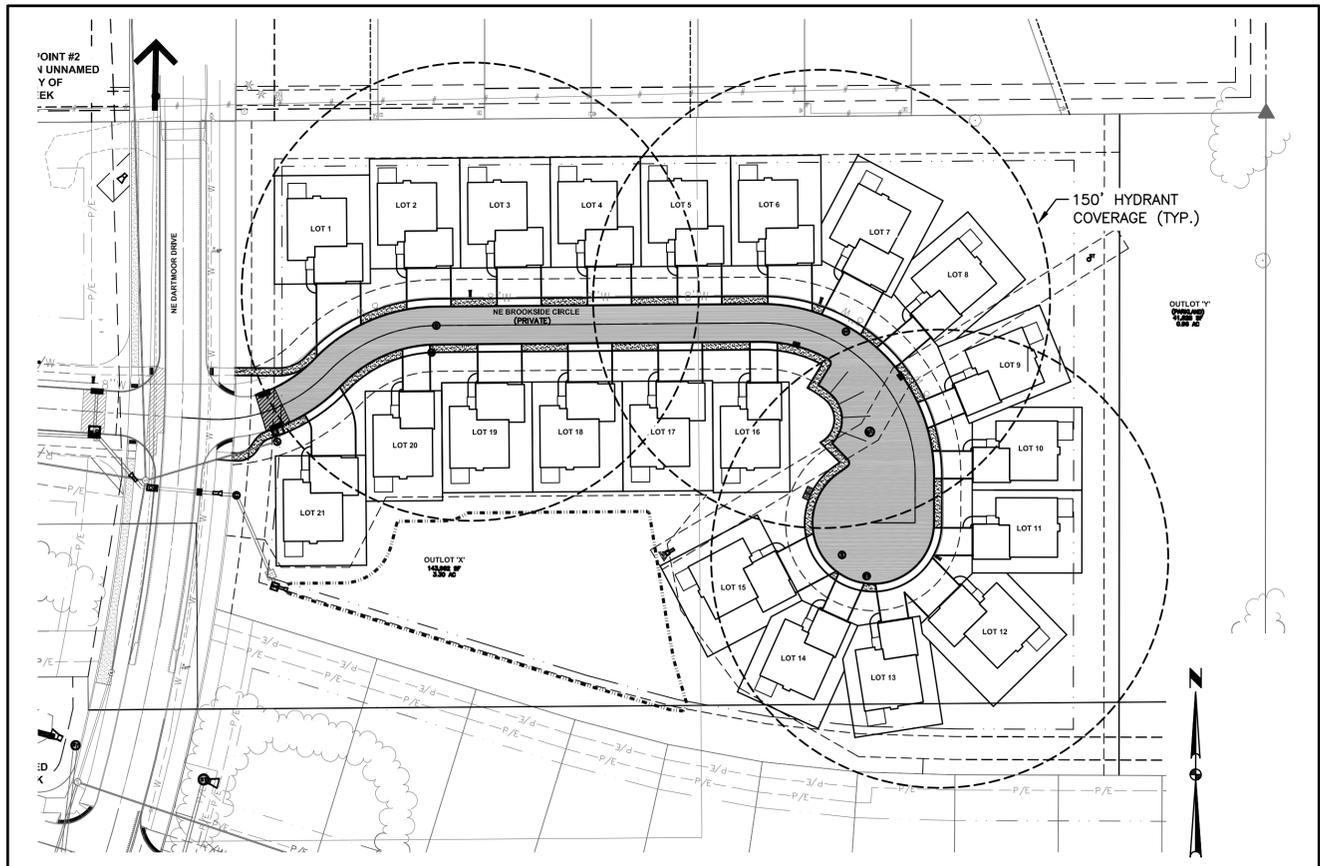
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- NOTES:
1. PREPARE SUBGRADE IN 2 - 6" LIFTS.
  2. MAXIMUM C JOINT SPACING IS 15'.



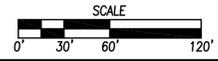
**HYDRANT ASSEMBLY DETAIL**

NOT TO SCALE



**HYDRANT COVERAGE PLAN**

NOT TO SCALE



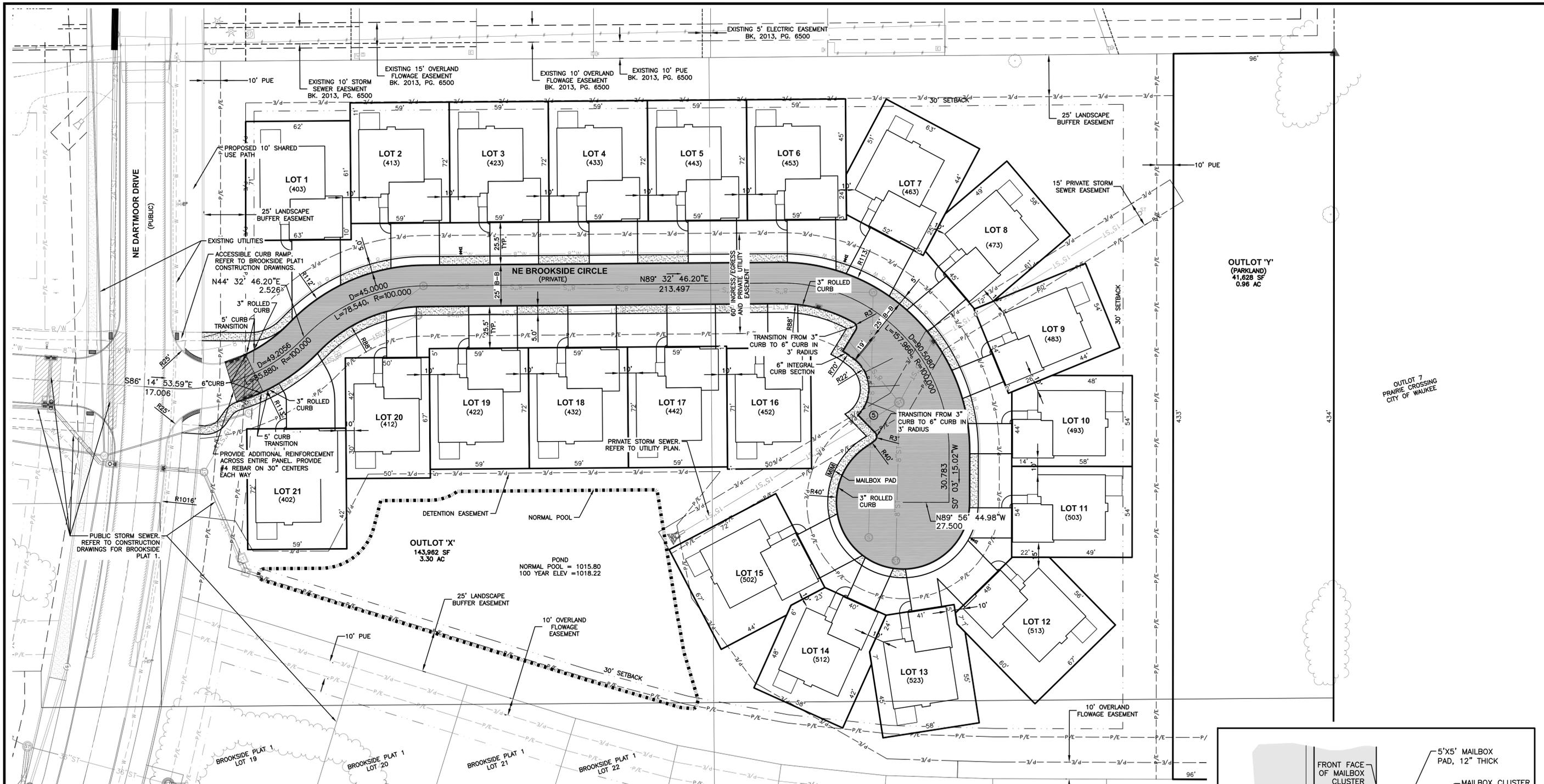
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 PLOTTED BY: BBA, QLENDIKE, TCC

REVISIONS	DATE
THIRD SUBMITTAL	07/16/14
SECOND SUBMITTAL	07/02/14
FIRST SUBMITTAL	06/16/14

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: EKO  
 EI: JJN



**BROOKSIDE TOWNHOMES  
 DETAILS AND HYDRANT COVERAGE PLAN**



**GENERAL NOTES**

1. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
19. MONUMENT SIGNS ARE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
20. ALL STAKING IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

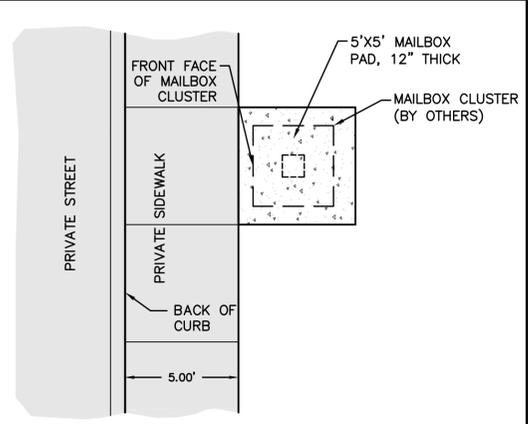
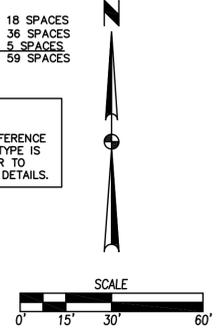
**PAVEMENT THICKNESS**

- |                              |                     |
|------------------------------|---------------------|
| 1. SIDEWALKS                 | 4" P.C.C. (C-4 MIX) |
| 2. DRIVEWAYS                 | 6" P.C.C. (C-4 MIX) |
| 3. PRIVATE ROADS             | 6" P.C.C. (C-4 MIX) |
| 4. DRIVE APPROACH WITHIN ROW | 8" P.C.C. (C-4 MIX) |

**PARKING REQUIREMENTS**

- 2 SPACES PER DWELLING UNIT  
1 VISITOR SPACE PER 5 DWELLING UNITS
- |                            |                    |
|----------------------------|--------------------|
| <b>PARKING REQUIRED:</b>   |                    |
| 2 SPACES PER UNIT          | = 42 SPACES        |
| 1 COMMON SPACE PER 5 UNITS | = 4 SPACES         |
| <b>TOTAL REQUIRED</b>      | <b>= 46 SPACES</b> |
- |                                |                    |
|--------------------------------|--------------------|
| <b>PARKING PROVIDED:</b>       |                    |
| UNITS (9 @ 2 SPACES PER UNIT)  | = 18 SPACES        |
| UNITS (12 @ 3 SPACES PER UNIT) | = 36 SPACES        |
| VISITOR PARKING                | = 5 SPACES         |
| <b>TOTAL PROVIDED</b>          | <b>= 59 SPACES</b> |

\*\*\*\*\* NOTE \*\*\*\*\*  
THE TOWNHOME UNITS THAT ARE SHOWN ARE FOR REFERENCE PURPOSES ONLY. FINAL UNIT TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.



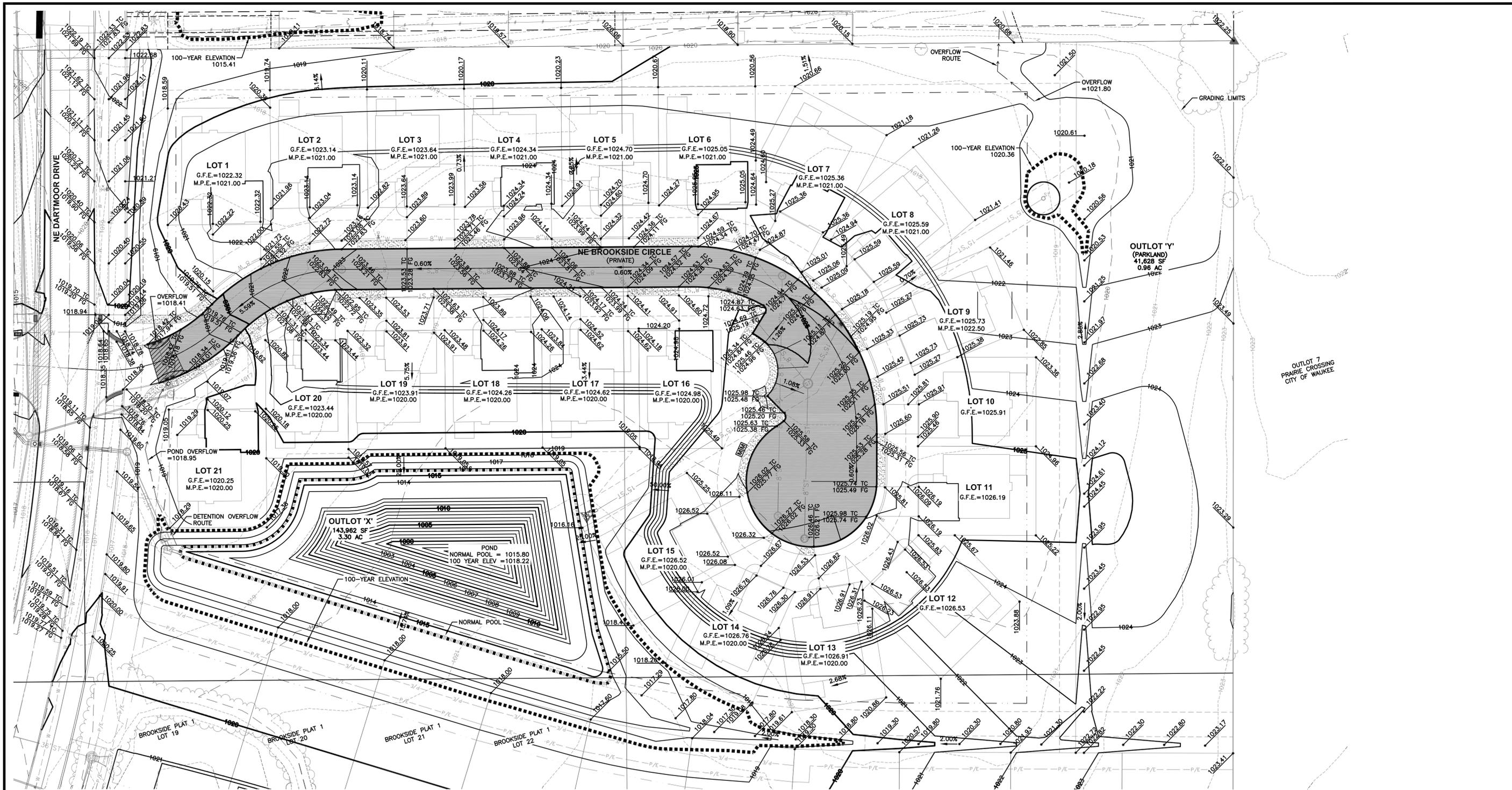
**INSTALLATION NOTE:**  
1. MAILBOX PADS TO BE INSTALLED BY DEVELOPER.

**MAILBOX PAD DETAIL**

NOT TO SCALE

	DATE	07/16/14
	THIRD SUBMITTAL	07/02/14
	SECOND SUBMITTAL	07/02/14
	FIRST SUBMITTAL	06/16/14
<b>BROOKSIDE TOWNHOMES</b> <b>DIMENSION PLAN</b>	3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410 ENGINEER: EKO EI: JJN	REVISIONS DATE 07/16/14 07/02/14 06/16/14

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 COMMENT: ENCL  
 PLOTTED BY: ERIC GLENDEKE  
 PLOT DATE: 7/16/2014 3:24 PM

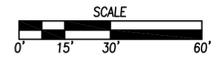


**GRADING NOTES**

1. THE COMPLETION AND APPROVAL OF THE COSESCO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), INSTALLATION OF THE ORIFICE PLATE AND INSTALLATION OF THE TEMPORARY STAND PIPE SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS POSSIBLE.
14. A CERTIFIED AS-BUILT GRADING PLAN OF THE DETENTION BASIN AND DRAINAGE SWALES SHALL BE SUBMITTED TO THE CITY OF WAUKEE UPON COMPLETION OF THE SITE IMPROVEMENTS FOR EACH PHASE OF CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
15. ALL FOUNDATIONS AND DECK POSTS WITHIN 1 FOOT OF A LOT BOUNDARY SHALL BE STAKED AND AN AS-BUILT PROVIDED AT TIME OF BUILDING PERMIT AND INDIVIDUAL LOT CONSTRUCTION.

\* G.F.E. = FINISHED ELEVATION AT THE FRONT OF THE GARAGE. REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATION CHANGES WITHIN THE BUILDINGS. VERIFY PRIOR TO CONSTRUCTION.

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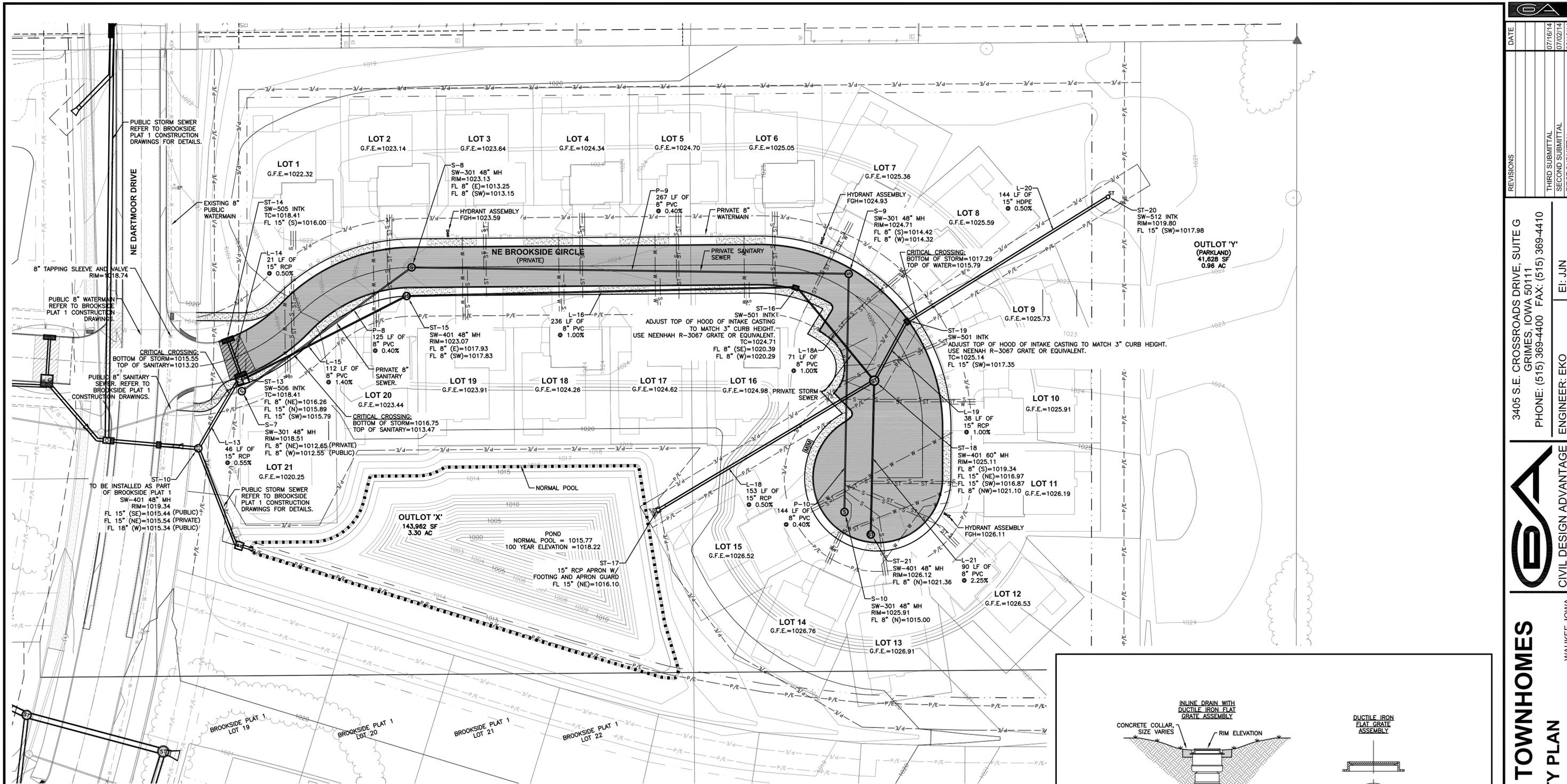
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07/02/14 <td>SECOND SUBMITTAL</td>	SECOND SUBMITTAL
06/16/14 <td>FIRST SUBMITTAL</td>	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: EKO  
 E.I.: JJN



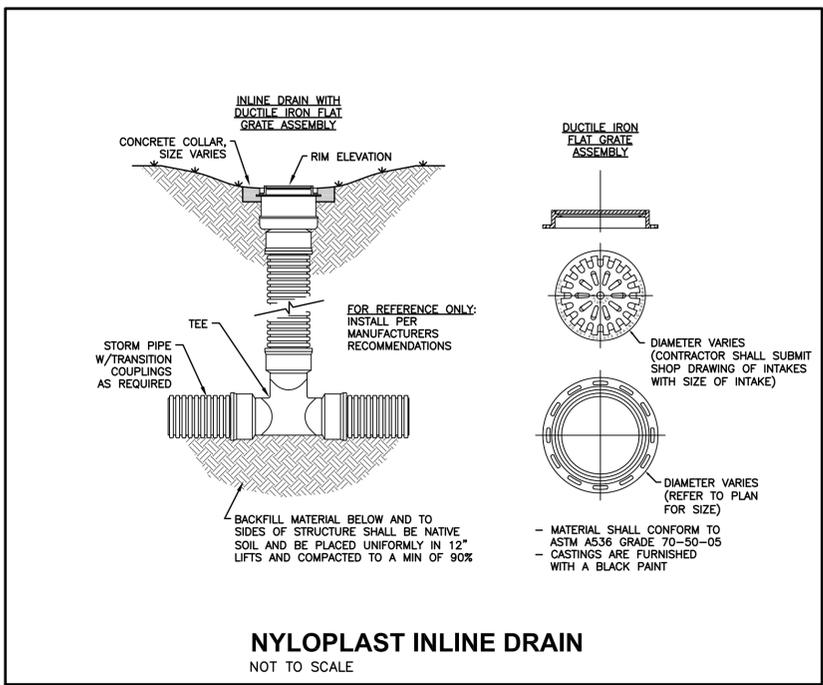
WAUKEE, IOWA

**BROOKSIDE TOWNHOMES  
 GRADING PLAN**



**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 6.0' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES, 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SEDIMENT CONTROLS AT ALL PERMANENT STORM SEWER INLETS. DROP DOWN INLET PROTECTION IS REQUIRED FOR PUBLIC STREETS.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING.
- ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- NO STREET LIGHTS ARE PROPOSED. PHOTOCELLS SHALL BE PROVIDED ON UNITS.



**BROOKSIDE TOWNHOMES**  
UTILITY PLAN

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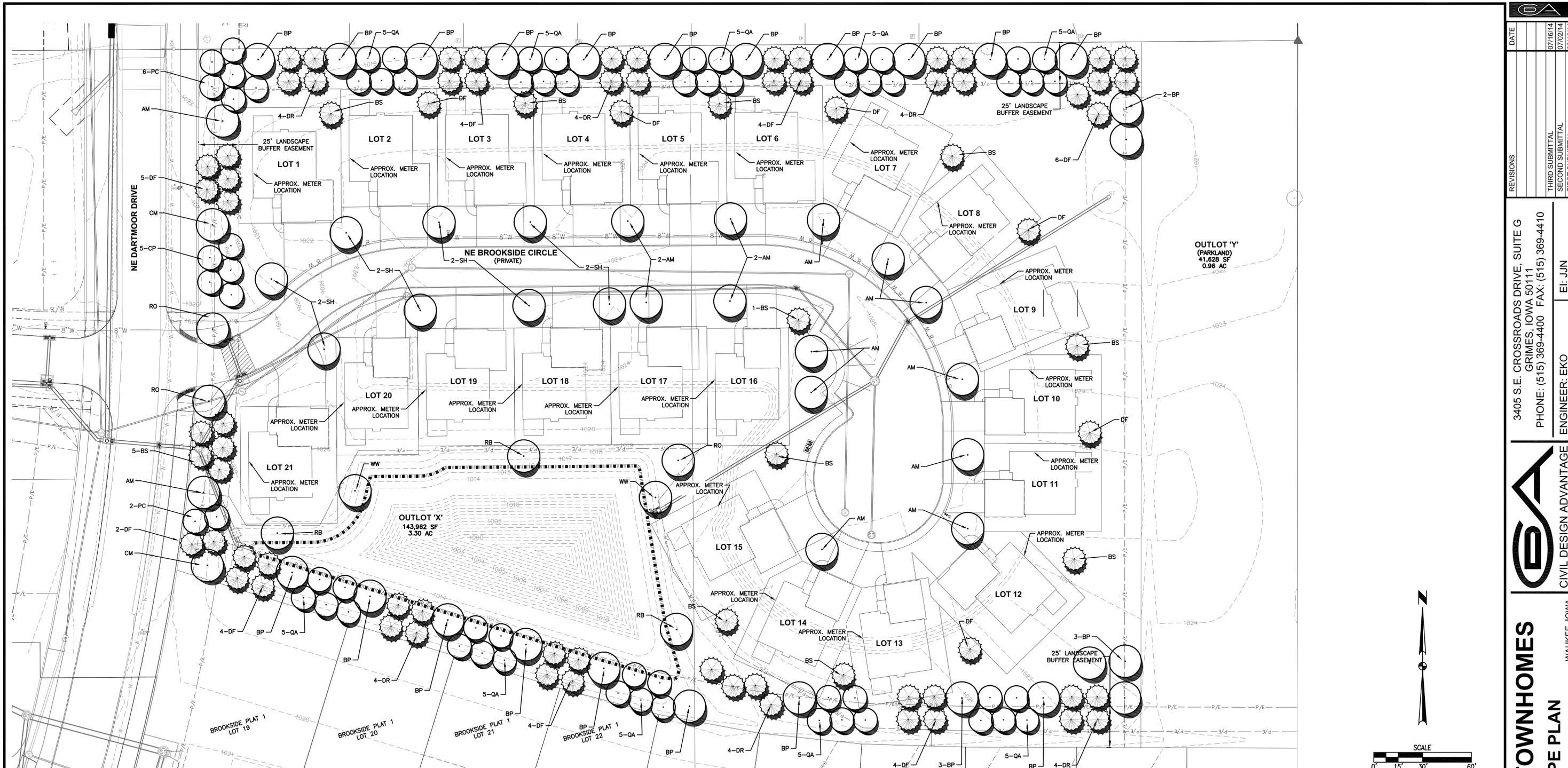
ENGINEER: EKO  
E.I.: JJN

WAUKEE, IOWA

DATE: 07/16/14  
THIRD SUBMITTAL: 07/02/14  
SECOND SUBMITTAL: 06/16/14  
FIRST SUBMITTAL: 06/16/14

REVISIONS:

5/8  
1401.002



**LANDSCAPE NOTES**

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY. R.O.W. SHALL BE CLEAN AND FREE OF DEBRIS PRIOR TO ANY RAIN EVENT.
- CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

**LANDSCAPE REQUIREMENTS**

SITE AREA = 231,562 SF  
 OPEN SPACE REQUIRED (20%) = 46,312 SF  
 OPEN SPACE PROVIDED (45%) = 104,332 SF  
 IMPERVIOUS AREA = 107,948 SF

2 TREES PER UNIT.

MINIMUM 50%  
 OVERSTORY TREES = 8' MIN. HEIGHT  
 EVERGREEN TREES = 6' MIN. HEIGHT  
 ORNAMENTAL TREES = 6' MIN. HEIGHT

TREES REQUIRED: 42 TREES  
 TREES PROVIDED: 42 TREES

BUFFER REQUIRED ALONG NORTH, SOUTH & EAST PROPERTY LINE.

**BUFFER REQUIREMENTS (NE DARTMOOR DR)**

1 OVERSTORY TREE, 2 EVERGREEN TREES AND 2 ORNAMENTAL TREES PER 50 LF

NE DARTMOOR DRIVE BUFFER (300 LF)  
 OVERSTORY TREES REQUIRED = 6  
 EVERGREEN TREES REQUIRED = 12  
 ORNAMENTAL TREES REQUIRED = 12

OVERSTORY TREES PROVIDED = 6  
 EVERGREEN TREES PROVIDED = 12  
 ORNAMENTAL TREES PROVIDED = 12

**BUFFER REQUIREMENTS (NORTH)**

1 OVERSTORY TREE, 2 EVERGREEN TREES & 2 ORNAMENTAL PER 50 LF

520 LF  
 OVERSTORY TREES REQUIRED = 13  
 EVERGREEN TREES REQUIRED = 26  
 ORNAMENTAL TREES REQUIRED = 26

OVERSTORY TREES PROVIDED = 13  
 EVERGREEN TREES PROVIDED = 26  
 ORNAMENTAL TREES PROVIDED = 26

**BUFFER REQUIREMENTS (SOUTH)**

1 OVERSTORY TREE, 2 EVERGREEN TREES & 2 ORNAMENTAL PER 50 LF

582 LF  
 OVERSTORY TREES REQUIRED = 12  
 EVERGREEN TREES REQUIRED = 24  
 ORNAMENTAL TREES REQUIRED = 24

OVERSTORY TREES PROVIDED = 12  
 EVERGREEN TREES PROVIDED = 24  
 ORNAMENTAL TREES PROVIDED = 25

**PLANT SCHEDULE (BUFFERS)**

CODE	QTY	OVERSTORY TREES	SIZE	COND
AM	2	AUTUMN BLAZE MAPLE	1.5" CAL	B&B
CM	2	CRIMSON KING MAPLE	1.5" CAL	B&B
RO	2	RED OAK	1.5" CAL	B&B
BP	25	BLOODGOOD PLANTER	1.5" CAL	B&B
QA	50	QUAKING ASPEN	1.5" CAL	B&B
PC	8	PRAIRIE CRAB	1.5" CAL	B&B
CP	5	CHANTICLEER PEAR	1.5" CAL	B&B

CODE	QTY	CONIFEROUS TREES	SIZE	COND
DF	33	DOUGLAS FIR	4" HT	B&B
DR	24	DWARF REDWOOD	4" HT	B&B
BS	5	COLORADO BLUE SPRUCE	4" HT	B&B

**PLANT SCHEDULE (OPEN SPACE)**

CODE	QTY	OVERSTORY TREES	SIZE	COND
AM	13	AUTUMN BLAZE MAPLE	8' HT.	B&B
SH	8	SHADEMASTER HONEYLOCUST	8' HT.	B&B
RO	1	RED OAK	8' HT.	B&B
RB	3	RIVER BIRCH	8' HT.	B&B
LW	2	NORWEYAN SPRUCE	8' HT.	B&B

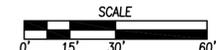
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DF	6	DOUGLAS FIR	6' HT.	B&B
BS	9	COLORADO BLUE SPRUCE	6' HT.	B&B

**TURF NOTE**

ALL AREAS OF THE SITE, INCLUDING RIGHT-OF-WAY, OUTLOTS AND BUFFERS, SHALL EITHER BE SEED WITH TYPE 1 SEED OR SODDED UPON COMPLETION OF CONSTRUCTION.

**IRRIGATION NOTE**

DETENTION POND SHALL SUPPLY ALL IRRIGATION ON SITE.



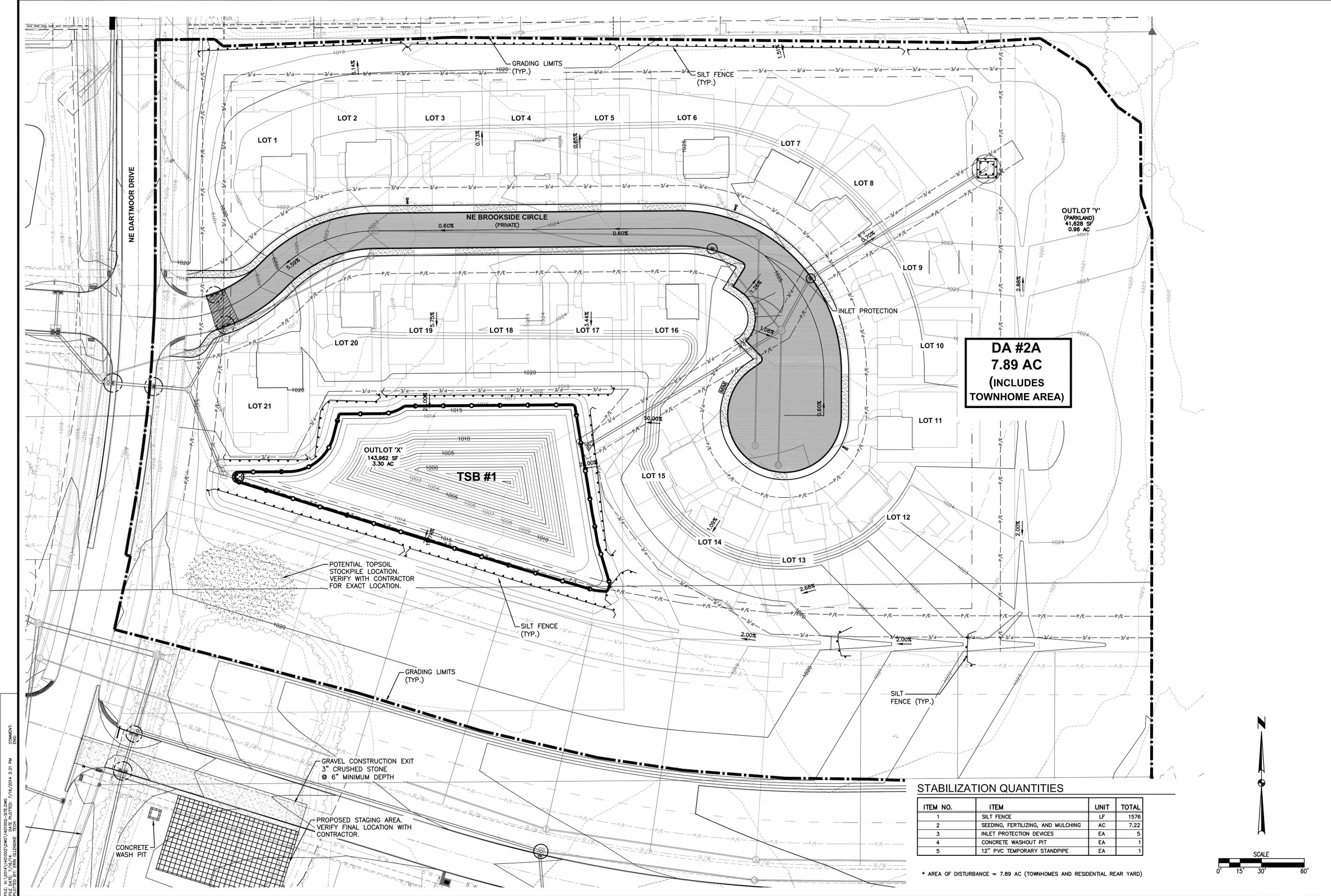
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 EI: JLN



WAUKEE, IOWA

**BROOKSIDE TOWNHOMES  
 LANDSCAPE PLAN**



**DA #2A**  
**7.89 AC**  
**(INCLUDES**  
**TOWNHOME AREA)**

**OUTLOT 'X'**  
 143,962 SF  
 3.30 AC

**OUTLOT 'Y'**  
 (PARKLAND)  
 41,528 SF  
 0.96 AC

**TSB #1**

**STABILIZATION QUANTITIES**

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1576
2	SEEDING, FERTILIZING, AND MULCHING	AC	7.22
3	INLET PROTECTION DEVICES	EA	5
4	CONCRETE WASHOUT PIT	EA	1
5	12" PVC TEMPORARY STANDPIPE	EA	1

\* AREA OF DISTURBANCE = 7.89 AC (TOWNHOMES AND RESIDENTIAL REAR YARD)

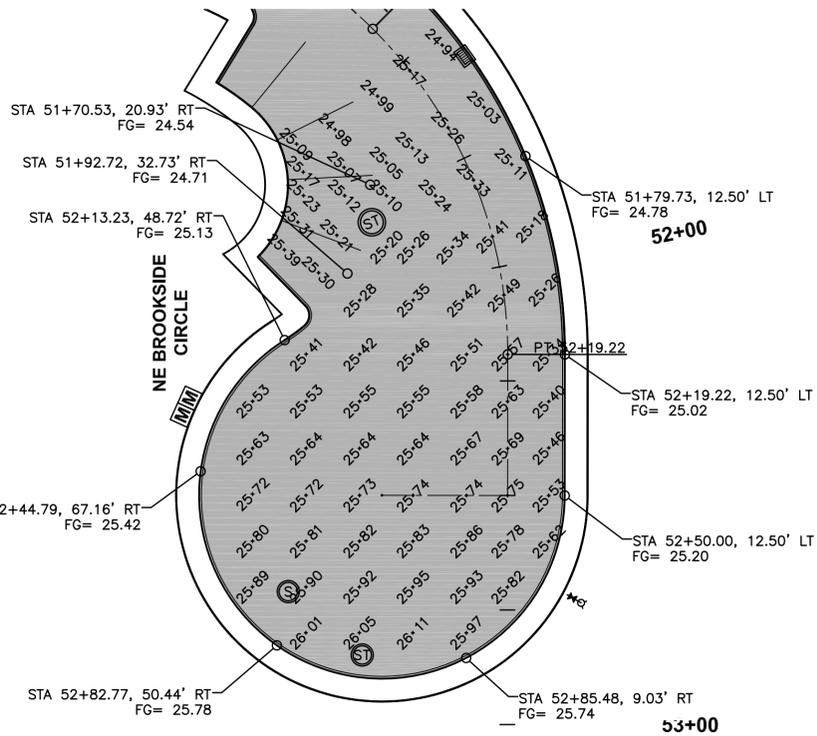
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FIRST SUBMITTAL	06/16/14

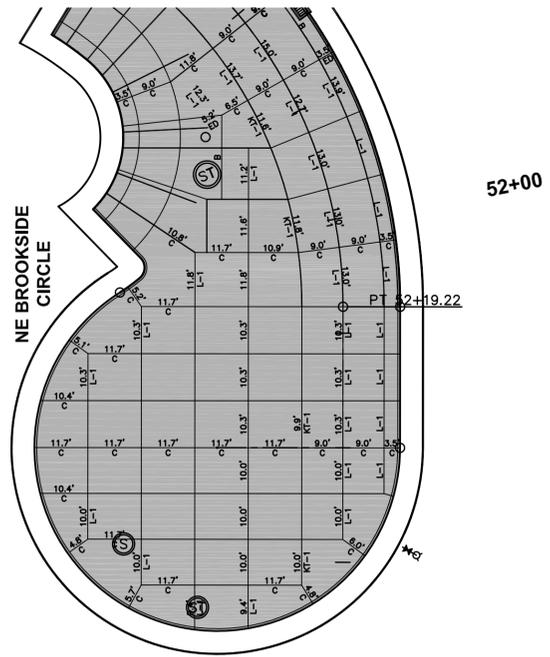
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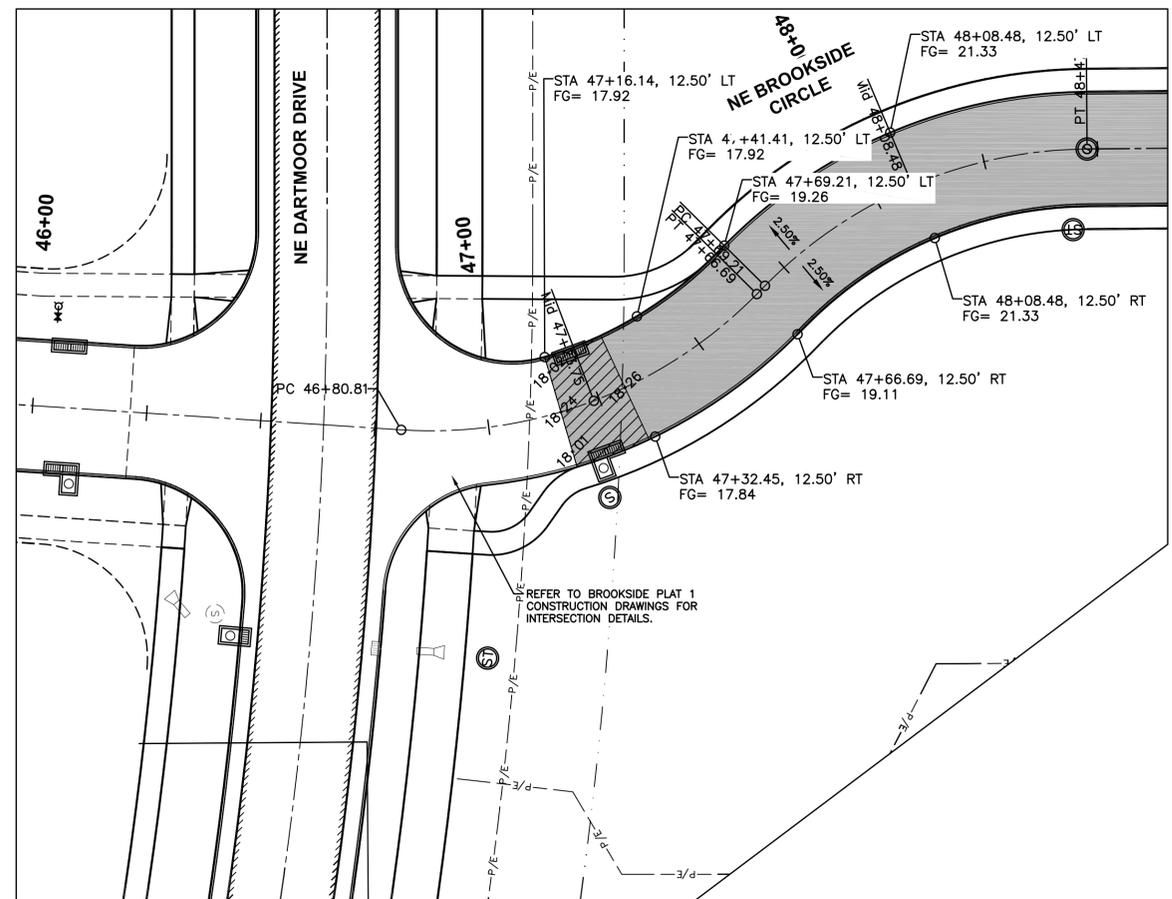
**BROOKSIDE TOWNHOMES**  
**EROSION AND SEDIMENT CONTROL PLAN**  
 WAUKEE, IOWA



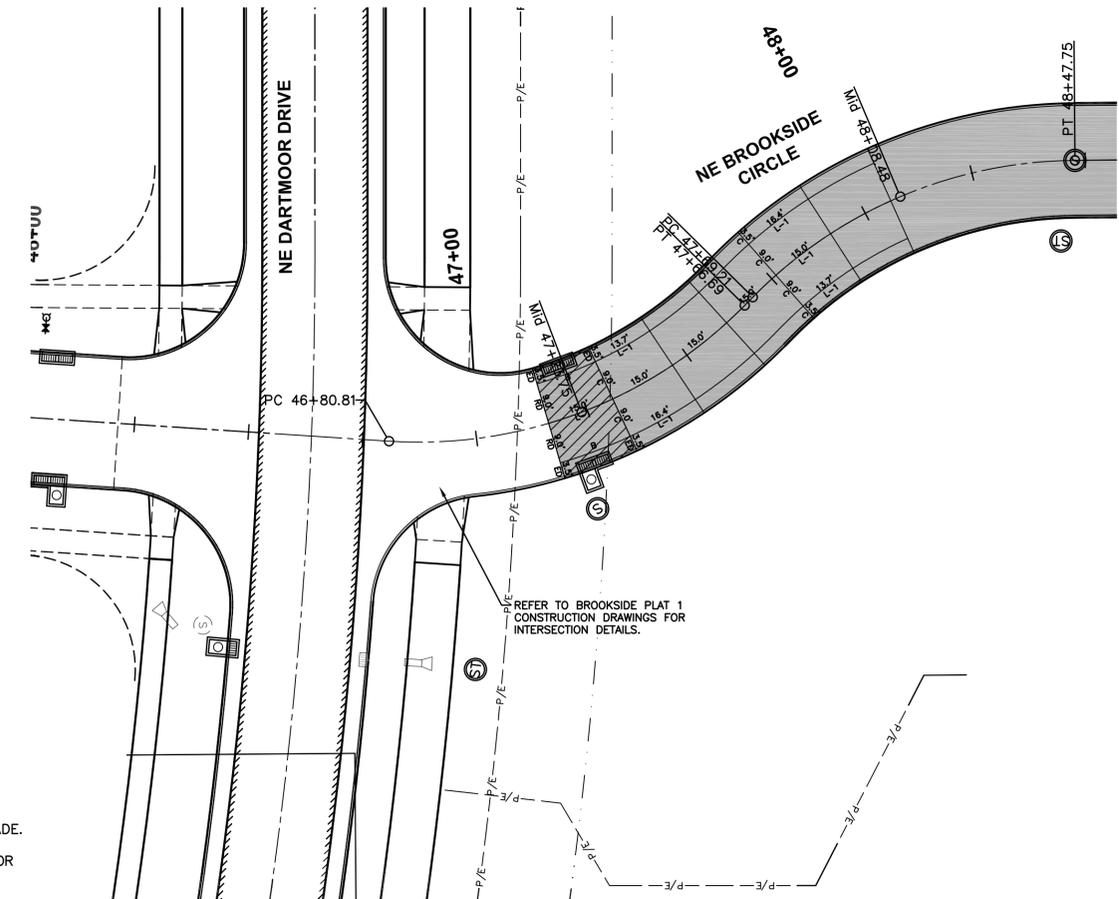
**GEOMETRICS AND STAKING LAYOUT**



**JOINTING LAYOUT**



**GEOMETRICS AND STAKING LAYOUT**



**JOINTING LAYOUT**



- NOTES:**
1. ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM GRADE.
  2. INSTALL ACCESSIBLE CURB RAMPS AT LOCATIONS SHOWN.
  3. REFER TO FIGURE 6010.514 FOR GRATE INTAKE BOXOUT FOR PCC PAVEMENT DETAILS.
  4. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING JOINTS ALONG NE DARTMOOR DRIVE AND MATCH JOINTING ACCORDINGLY.

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WAUKEE, IOWA

**BROOKSIDE TOWNHOMES**  
**INTERSECTION DETAILS**