

SITE PLAN EAST LOT SHOTTENKIRK CHEVROLET

150 N. 6th STREET
Waukee, Iowa

OWNER / DEVELOPER
SHOTTENKIRK PARTNERSHIP, LP
PO BOX 1030
WAUKEE, IA

LEGAL DESCRIPTION
LOT 1 SHOTTENKIRK WAUKEE PLAT 2, AN OFFICIAL PLAT,
WAUKEE, DALLAS COUNTY, IOWA.

SAID TRACT OF LAND CONTAINS 1.665 ACRES MORE OR LESS.
SAID TRACT OF LAND SUBJECT ALL EASEMENTS OF RECORD.

ZONING
M-1A

SETBACKS
FRONT YARD - 30 FEET
REAR YARD - 30 FEET
SIDE YARD - NONE EXCEPT WHEN ADJACENT TO AN 'R' DISTRICT THEN 15'

SITE AREAS

BUILDING	6,031 S.F.	8.3%
PAVING	41,553 S.F.	57.3%
OPEN SPACE	24,943 S.F.	34.4%
TOTAL	72,527 S.F.	100%

PARKING
REQUIRED:
1 SPACE / 4,500 S.F. OF OUTDOOR SALES FOR DISPLAY
41,552 S.F. / 4,500 = 9.2
1 SPACE / EMPLOYEE
5 EMPLOYEES = 5
14 PARKING STALLS REQUIRED
PROPOSED:
14 PROPOSED PARKING STALLS

LEGEND

---	PLAT BOUNDARY
---	8" WATER MAIN # SIZE
---	8" SANITARY SEWER # SIZE
---	8" STORM SEWER # SIZE
---	UNDERGROUND ELECTRIC CABLE
---	UNDERGROUND TELEPHONE CABLE
---	UNDERGROUND CABLE TV
---	6" GAS MAIN # SIZE
○	MANHOLE
□	INTAKE
▽	HYDRANT
PP/LP	POWER POLE/TELEPHONE UTILITY BOX/TELEPHONE RISER
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	SILT FENCE OR APPROVED FILTRATION SOCK
○	TREES

I HEREBY CERTIFY THAT THIS ENGINEERING OR LAND SURVEYING DOCUMENT AND THE RELATED SURVEY WORK WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER & LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, P.E., P.L.S. IOWA LICENSE NO. 13156
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014
PAGES OR SHEETS COVERED BY THIS SEAL:
(SHEETS 1-5)

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS
475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
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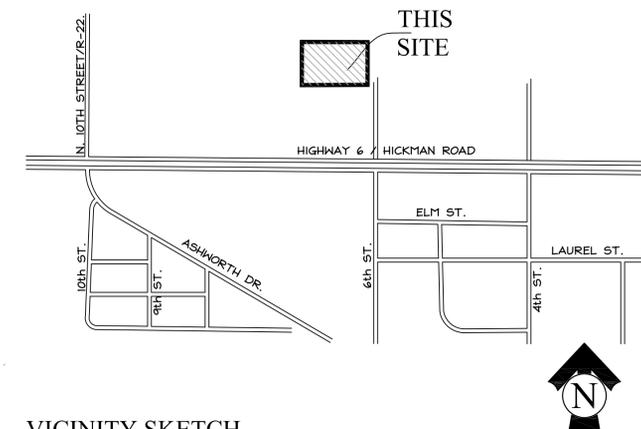
DATE: 7-1-2014
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7-25-2014
9-9-2014
9-18-2014

JOB NUMBER
CC 1587

APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

DIMENSION PLAN EAST LOT
SHOTTENKIRK CHEVROLET

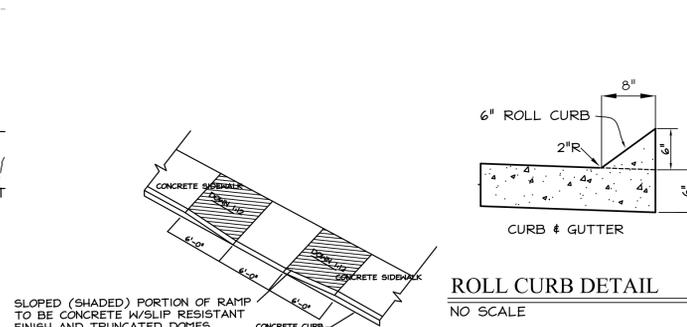
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1 OF 5



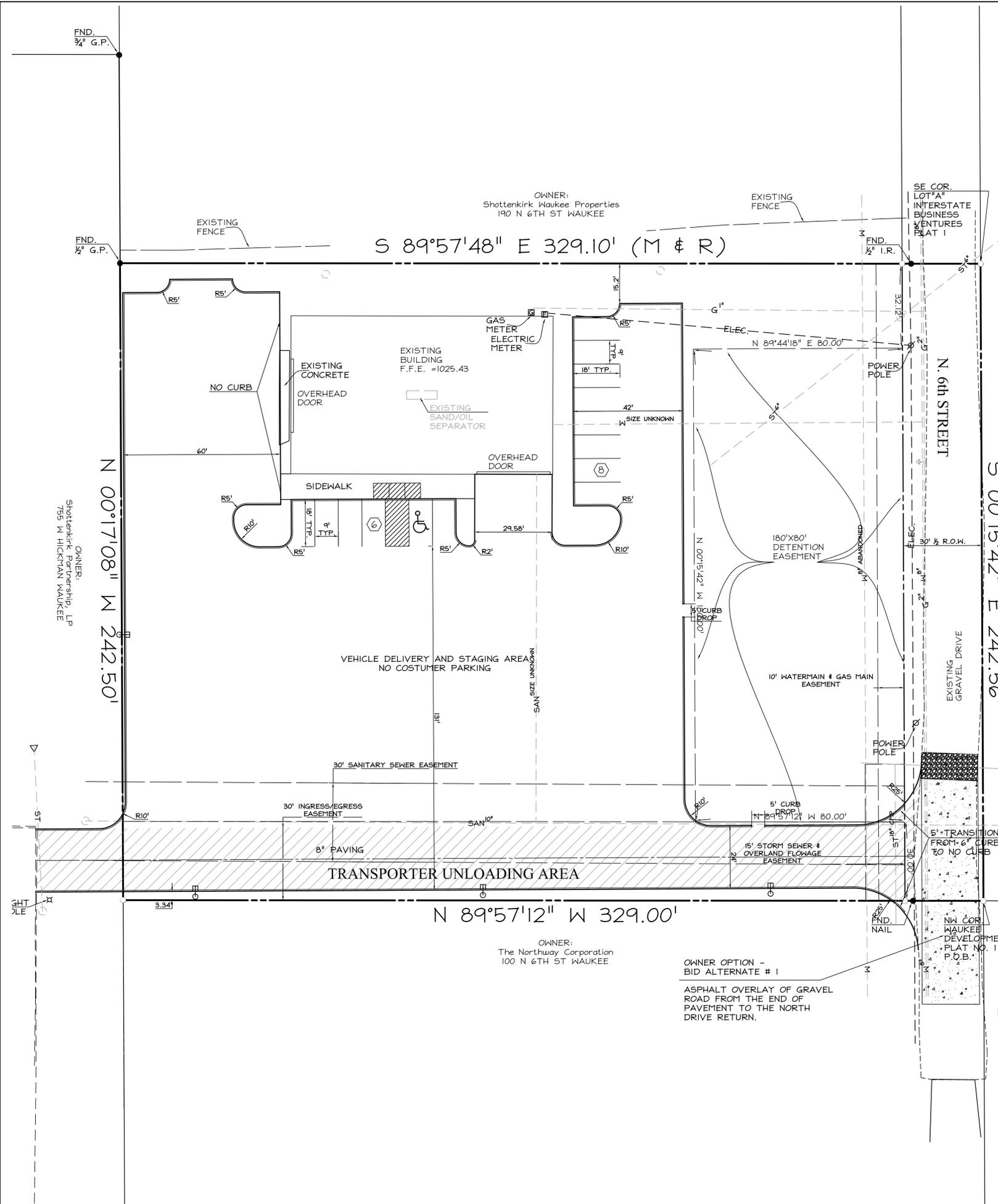
VICINITY SKETCH
NO SCALE

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
A. CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT
B. SHOTTENKIRK PARTNERSHIP, LP
C. COOPER CRAWFORD & ASSOCIATES, L.L.C.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAUKEE STANDARD SPECIFICATIONS.
- SIDEWALK AND DRIVE APPROACH INSTALLATIONS TO BE INSPECTED BY CITY OF WAUKEE ENGINEERING DEPARTMENT, MINIMUM 48 HOUR NOTICE.
- PROVIDE 2' CONCRETE BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR BY THE END OF THE WORK DAY OR PRIOR TO RAIN EVENT.
- VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- ALL SITE WORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH WAUKEE STANDARD SPECIFICATIONS.
- PAVING SHALL BE 6-INCH P.C.C. IN PRIVATE DRIVES AND PARKING LOTS AND 8" IN THE TRANSPORTER UNLOADING AREA.
- EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
- ALL LIGHTING MUST SHINE DOWN FROM RESIDENTIAL USES.
- ANY TRANSFORMERS, JUNCTION BOXES, OR OTHER SUCH UTILITY USES OVER 3 FEET IN HEIGHT CANNOT BE LOCATED WITHIN THE REQUIRED SETBACK. OTHER SUCH USES NOT ABOVE 3 FEET IN HEIGHT MUST BE SCREENED BY LANDSCAPING MATERIALS.
- ACCESSORY BUILDINGS AND SCREENING WILL NOT BE ALLOWED.
- ALL EXTERIOR PARKING LOT AND BUILDING MOUNTED LIGHT FIXTURES MUST BE LOW GLARE, "CUT OFF" FIXTURES.
- ALL CURBS ARE 6-INCH ROLL CURBS.
- ANY CHANGES PROPOSED TO THE PLAN SET DURING CONSTRUCTION TO RECEIVE WRITTEN APPROVAL FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT RECEIVED WRITTEN PERMISSION FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT.
- THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION IN THE RIGHT-OF-WAY OR ON ANY PUBLIC UTILITY, OR BEFORE ANY WEEKEND OR HOLIDAY WORK.
- ANY FUTURE IMPROVEMENTS TO THE EXTERIOR OF THE EXISTING BUILDING OR ANY ADDITIONS OF EXTERIOR SITE LIGHTING SHALL BE REVIEWED BY THE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.



CURB RAMP
NO SCALE



OWNER OPTION -
BID ALTERNATE # 1
ASPHALT OVERLAY OF GRAVEL ROAD FROM THE END OF PAVEMENT TO THE NORTH DRIVE RETURN.

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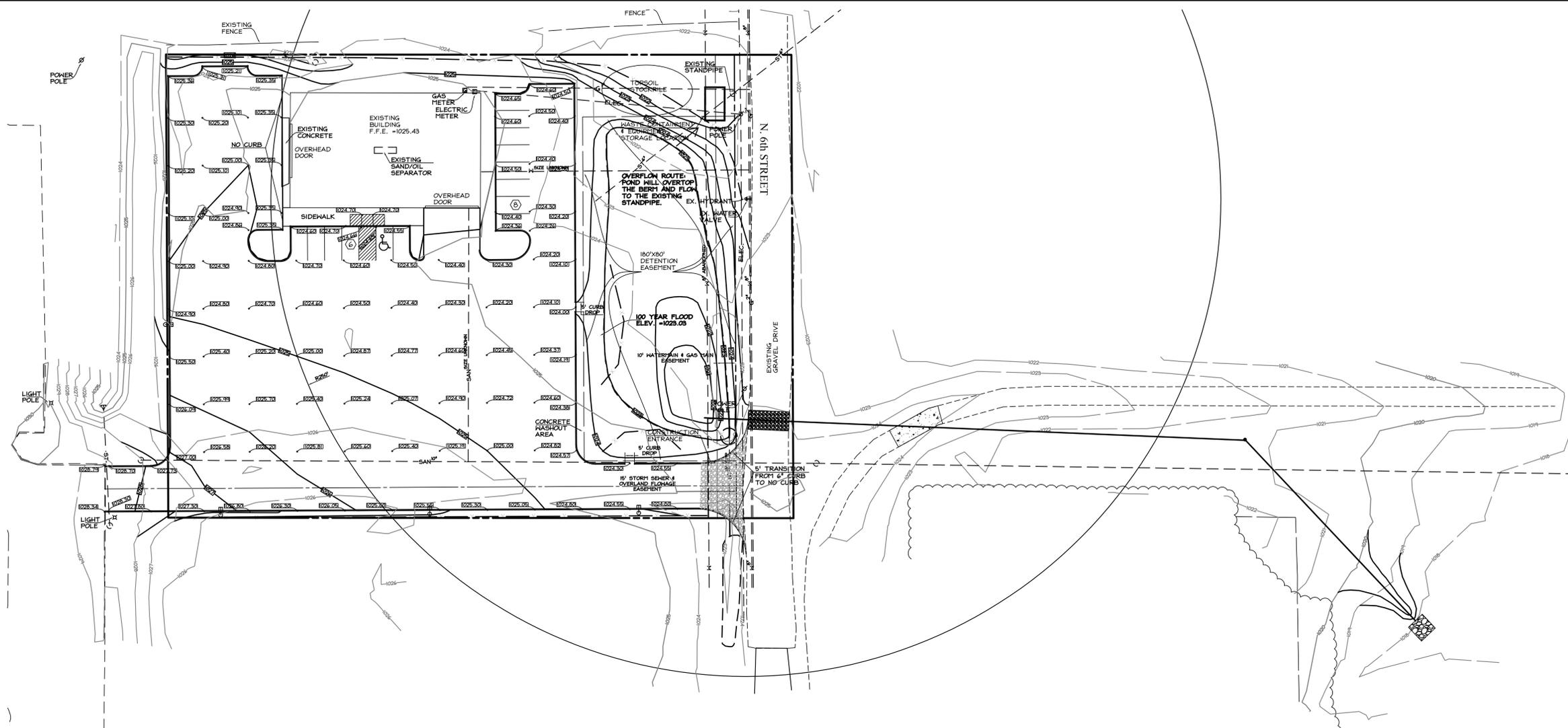
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GRADING NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
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3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
5. STOCKPILE SUFFICIENT TOPSOIL RESPADE A MINIMUM OF 4-INCHES ON UNPAVED AREAS. GENERAL PERMIT #2 HOLDER TO PROVIDE A WRITTEN CERTIFICATION STATEMENT IDENTIFYING SATISFACTION OF 4 INCH TOPSOIL REQUIREMENT.
6. ALL AREAS TO RECEIVE FILL TO BE BENCHED.
7. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES.
8. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
9. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE BETWEEN 0-4%.
10. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
11. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
12. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2012 STATEWIDE URBAN DESIGN AND SPECIFICATIONS.
14. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
15. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH WAUKEE STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS AND THE 2012 STATEWIDE URBAN DESIGN AND SPECIFICATIONS.
16. 1.633 ACRES OF THE SITE WILL BE DISTURBED.

EROSION & POLLUTION CONTROL NOTES

1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS PLAN.
2. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
3. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
4. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
5. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER, THE CITY OF WAUKEE STORM WATER COORDINATOR, AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
6. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 21 DAYS, IT SHALL BE SEEDED BY DAY 7.
7. PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
8. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
9. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR BY THE END OF THE DAY OR PRIOR TO A RAIN EVENT.
10. SILT FENCING TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM. LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
11. ADDITIONAL SILT FENCING (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
12. SILT FENCING TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
13. ALL INTAKES SHALL HAVE SILT FENCING PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. BELOW GRADE INLET PROTECTION REQUIRED FOR ALL PUBLIC STREETS. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER.
14. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
15. ALL PERIMETER EROSION CONTROLS/SILT FENCE SHALL REMAIN IN PLACE, AND BE MAINTAINED, UNTIL UPSTREAM AREAS ARE STABILIZED.
16. CONTRACTOR SHALL PROVIDE FILTER FABRIC AROUND INTAKE GRATES, OR A SIMILAR EROSION CONTROL PRACTICE AFTER PAVING OPERATIONS.
17. WRITTEN CERTIFICATION WILL BE PROVIDED AT COMPLETION THAT GENERAL PERMIT #2 - 4 INCH TOPSOIL REQUIREMENTS HAS BEEN MET.



STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

Location: Part Sec. 28, T79N, R26W.
 Nature of Construction Activity: Building and parking addition
 Areas: Total site area = 1.832 acres
 Site area affected = 1.633 acres
 Runoff coefficient = 0.40 (rational method)
 Approximate slopes anticipated: 3:1, or flatter.
 Runoff from this project will flow into unnamed ditches which will flow into the Little Walnut Creek.

Erosion and sediment controls

- Stabilization practices
 - Existing vegetation is preserved whenever possible.
 - Permanent seeding and/or sodding.
- Structural practices
 - Silt fences
 - Drainage swales
 - Rock outlet protection (riprap)
- Storm water management
 - Infiltration of runoff onsite.
 - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
- Waste disposal
 - All building material wastes must be removed from the site.
 - Off-site vehicle tracking of sediments shall be minimized.

MAINTENANCE

Maintain effective operating conditions of all protective measures identified in this plan.

- Silt fencing is cleaned when they have lost 50% of their capacity.
- Drainage swales remain undisturbed.
- Rock outlet protection (riprap) remains intact.
- Clean spilled debris by the end of day or prior to rain event.

INSPECTIONS

Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days.

- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
- Observe erosion and sediment controls to ensure that they are operating correctly.
- Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
- Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
- Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection.
- An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
 - A summary of the scope of the inspection.
 - Qualifications of the personnel making the inspection.
 - Major observations relating to the implementation of the prevention plan.
 - Any actions taken.
 - Signature.

NON-STORM WATER DISCHARGES

Water main flushing - Requires dechlorination prior to discharge

- Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
 - Rock outlet protection (riprap)
 - Silt fencing
 - Existing vegetation

CONTRACTORS

The grading contractor shall have the responsibility of implementing the measures contained in this plan.

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - W 8" WATER MAIN # SIZE
 - SAN 8" SANITARY SEWER # SIZE
 - ST 8" STORM SEWER # SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4" GAS MAIN # SIZE
 - MANHOLE
 - INTAKE
 - HYDRANT
 - POWER POLE/LIGHT POLE
 - UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SILT FENCE OR APPROVED FILTRATION SOCK
 - TREES

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

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 PHONE: (515) 224-1344 FAX: (515) 224-1345

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APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

GRADING PLAN EAST LOT
 SHOTTENKIRK CHEVROLET

JOB NUMBER
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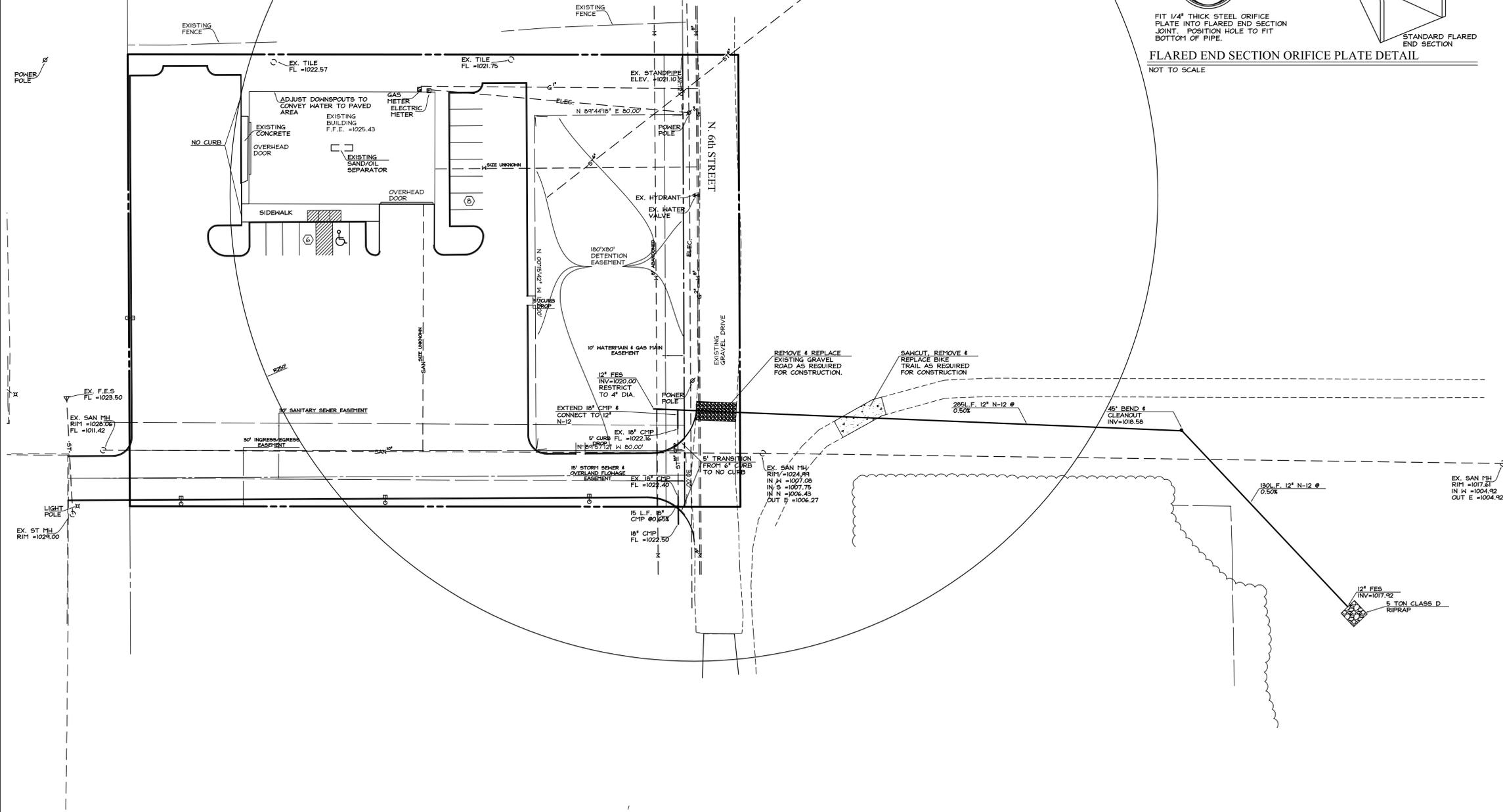
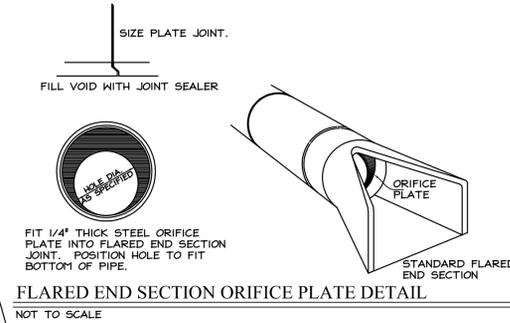
SHEET
 2 OF 5

SITE PLAN EAST LOT SHOTTENKIRK CHEVROLET

150 N. 6th STREET
Waukee, Iowa

UTILITY NOTES

1. ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS.
5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
6. WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH WAUKEE STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS. THE CONTRACTOR SHALL CONTACT CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
7. ALL EXISTING UTILITIES ON THE PLAN ARE PUBLIC UNLESS OTHERWISE NOTED.
8. ALL HYDRANTS TO HAVE STORZ FITTINGS, INCLUDING THE RELOCATED HYDRANT.
9. ALL MANHOLES MUST BE ADJUSTED PER CITY STANDARDS (3 PIECE CASTING AND CHIMNEY SEAL FOR SANITARY IN PAVED SURFACES).
10. ALL UTILITIES MUST BE TESTED TO CITY STANDARDS WITH COPIES PROVIDED TO THE ENGINEERING DEPARTMENT.
11. COORDINATION OF ALL CITY UTILITY SERVICE TIE-INS WITH THE CITY ENGINEERING DEPARTMENT.
12. INSTALLATION OF THE GAS SERVICE LINE SHALL BE COORDINATED WITH THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT.



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UTILITY PLAN EAST LOT
SHOTTENKIRK CHEVROLET

SHEET
3 OF 5



SCALE: 1"=30'

JOB NUMBER
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Waukee, Iowa

PLANTING SCHEDULE

COUNT	KEY	Botanical name/COMMON NAME	SIZE	CONDITION	REMARKS
2	AR	Acer x fremanii 'Jeffersred' AUTUMN BLAZE FREEMAN MAPLE	3" cal.	TS/B4B	SEE PLAN
3	GT	Gleditsia Tricanthos HONEYLOCUST	3" cal.	TS/B4B	SEE PLAN
2	TC	Tilia cordata LITTLE LEAF LINDEN	3 cal.	TS/B4B	SEE PLAN
4	MF	Malus species 'Flame' FLAME CRABAPPLE	1 1/2" cal.	TS/B4B	NO FRUIT
2	PG	Picea pungens glauca COLORADO BLUE SPRUCE	6'-8' ht.	TS/B4B	SEE PLAN
2	PM	Pseudotsuga menziesii DOUGLAS FIR	6'-8' ht.	TS/B4B	SEE PLAN
17	SG	Spiraea x goldmound 'Goldmound' GOLDMOUND SPIRAEA	18"-24" ht.	CONT.	SEE PLAN

BIO-SWALE PLANTINGS

BASED ON 6,397 S.F.
TYPE 3 SEED MIXTURE (TABLE 9010.08 SUDAS, 2014 EDITION)

COMMON NAME	APPLICATION RATE LB/ACRE
LITTLE BLUESTEM	3 PLS
INDIANGRASS	4 PLS
SIDE-OATS GRAMA	5 PLS
SMITCHGRASS	1 PLS
BIG BLUESTEM	3 PLS
OATS	16
GRAIN RYE	40

BIO-SWALE MAINTENANCE:
CONTROLLED BURNS EVERY 3 TO 5 YEARS

LANDSCAPING NOTES

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- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1990).
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL TREES, SHRUBS, BEDS AND GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3-INCHES SHREDDED BARK MULCH.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
- ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5 FEET FROM R.O.W. AND CONIFEROUS TREES AT LEAST 10 FEET FROM R.O.W.
- ALL LANDSCAPING SHALL BE INSTALLED WITH THIS CONTRACT.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BUFFER PARK AND OPEN SPACE LANDSCAPING.
- ALL AREAS SHALL BE TURF OR PLANTINGS UNLESS OTHERWISE INDICATED.
- ALL BUFFER AND OPEN SPACE LANDSCAPING SHALL BE INSTALLED PRIOR TO FINAL OCCUPANCY.
- AREAS TO BE SEEDED SHOULD USE AN SUDAS TYPE 1 PERMANENT LAWN MIXTURE.

LANDSCAPE REQUIREMENTS

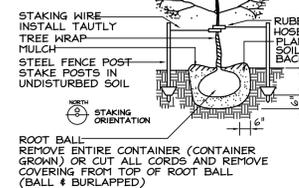
- 1 TREE / 1,000 S.F. REQUIRED OPEN SPACE
- 11,970 S.F. / 1,000 = 12 TREES
- 1 SHRUB / 1,000 S.F. REQUIRED OPEN SPACE
- 11,970 S.F. / 1,000 = 12 SHRUBS

OPEN SPACE REQUIREMENTS

- 15% OPEN SPACE REQUIRED.
- 33% OPEN SPACE PROVIDED.
- 24,943 S.F. OPEN SPACE / 72,527 S.F. TOTAL AREA = 34.4%

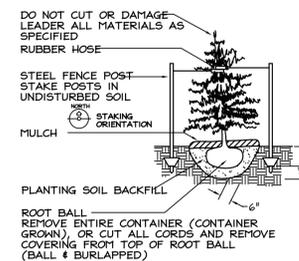
26,760 S.F. PERVIOUS AREA
47,584 S.F. IMPERVIOUS AREA

DO NOT CUT OR DAMAGE LEADER ALL MATERIALS SPECIFIED



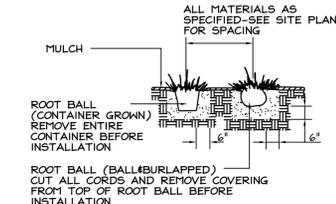
DECIDUOUS TREE PLANTING & STAKING DETAIL

NO SCALE



EVERGREEN TREE PLANTING & STAKING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - W 8" WATER MAIN # SIZE
 - SAN 8" SANITARY SEWER # SIZE
 - ST 8" STORM SEWER # SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4" GAS MAIN # SIZE
 - MANHOLE
 - INTAKE
 - HYDRANT
 - OPP/LP POWER POLE/LIGHT POLE
 - P/P/LP UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - * * * SILT FENCE OR APPROVED FILTRATION SOCK
 - TREES

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 7-1-2014
REVISIONS: 7-25-2014
9-9-2014
9-18-2014

APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

LANDSCAPE PLAN EAST LOT
SHOTTENKIRK CHEVROLET

JOB NUMBER
CC
1587
SHEET
4 OF 5



K:\Land Projects\3\PROJECTS\1500\CC1587\DWG\CC1587_BASE.dwg LANDSCAPE EAST, 9/30/2014 2:34:50 PM, kcmwford, 1:1

SITE PLAN EAST LOT SHOTTENKIRK CHEVROLET

Waukee, Iowa

DEMOLITION NOTES
 1. REMOVAL OF THE WATER PUMP WILL BE ACCORDANCE WITH DALLAS COUNTY PROVISIONS. INFORMATION REGARDING DALLAS COUNTY REQUIREMENTS CAN BE FOUND AT THE FOLLOWING WEB ADDRESS: [HTTP://WWW.CO.DALLAS.TX.US/DEPARTMENT-SERVICES/ENVIRONMENTAL-HEALTH/PRIVATE-WELL-INFO](http://www.co.dallas.tx.us/department-services/environmental-health/private-well-information)

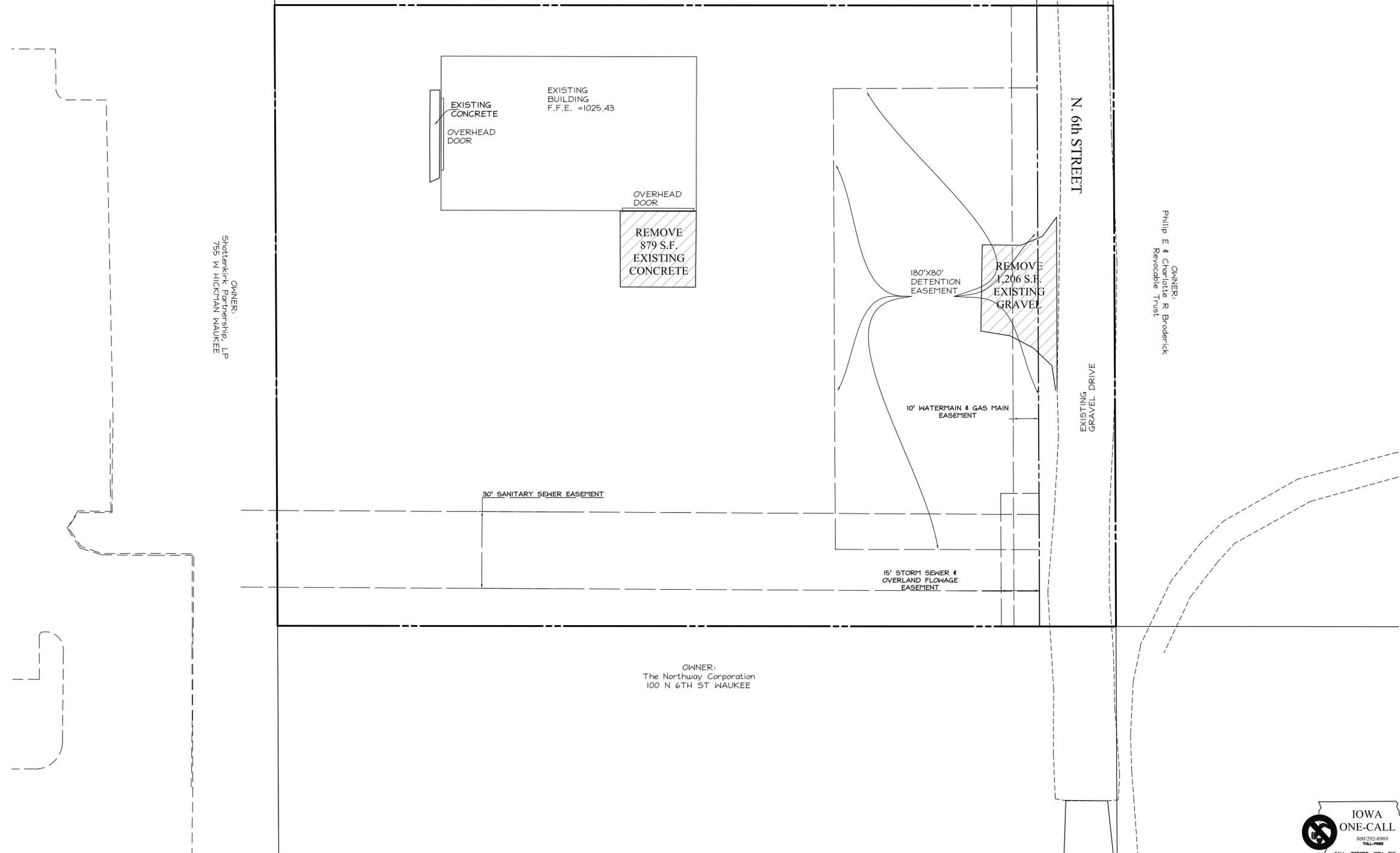
OWNER:
Shottenkirk Waukee Properties
190 N 6TH ST WAUKEE

EXISTING
FENCE

EXISTING
FENCE

OWNER:
Shottenkirk Partnership, LP
755 W HICKMAN WAUKEE

OWNER:
Philip E & Charlotte R Broderick
Revocable Trust



OWNER:
The Northway Corporation
100 N 6TH ST WAUKEE

LEGEND

- EXISTING/PROPOSED**
- PLAT BOUNDARY
 - W 8" WATER MAIN # SIZE
 - SAN 8" SANITARY SEWER # SIZE
 - ST 8" STORM SEWER # SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
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 - - - - - EXISTING CONTOURS
 - - - - - PROPOSED CONTOURS
 - * * * * * SILT FENCE OR APPROVED FILTRATION SOCK
 - ☁ TREES

**COOPER CRAWFORD
& ASSOCIATES, L.L.C.**
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 7-1-2014
 REVISIONS: 7-15-2014
 7-23-2014

SCALE: 1"=40'

APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

DEMO PLAN EAST LOT
SHOTTENKIRK CHEVROLET

JOB NUMBER
**CC
1587**

SHEET
5 OF 5

