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Waukee Ridge Apartments  
36 Unit  
Waukee, Iowa

PROJECT ID: PDS 2762

ISSUE DATE:  
DATE: 7-1-14  
DATE: 10-29-14  
DATE: 11-17-14  
DATE: 11-21-14

REVISIONS:  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
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DATE: \_\_\_\_\_

Cover Page

As indicated

A.0

**ABBREVIATIONS**

ADJ	ADJUSTABLE
AWN	AWNING
BTM	BOTTOM
BSMT	BASEMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
CL	CENTERLINE
CLG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRYER
DA.	DIAMETER
DN	DOWN
DH	DOUBLE HUNG
DW	DISHWASHER
F.D.	FLOOR DRAIN
FLR	FLOOR
FT	FEET
FURN	FURNACE
HDR	HEADER
HDWD	HARDWOOD
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LIN	LINEN
MAX	MAXIMUM
MIN	MINIMUM
O.C.	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PED.	PEDISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S & R	SHELF AND ROD
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS	TRANSOM
UNEX.	UNEXCAVATED
VAN.	VANITY
W	WASHER
W	WITH
W.H.	WATER HEATER

**ELECTRIC SYMBOLS**

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
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**DRAWING LIST**

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P.7	PROMO FIRST FLOOR
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P.9	PROMO THIRD FLOOR

**STRUCTURAL DRAWING LIST**

S.0.1	STRUCTURAL NOTES
S.1.1	FOUNDATION PLAN-PART A
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**MISC. SYMBOLS**

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Shane Kline

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**Sprinkler Systems**

Iowa Fire Equipment Company  
Kris Schultz  
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[sales@iafire.com](mailto:sales@iafire.com)

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  - B. VALUES BASED FROM THE CITY OF ANKENY, IOWA.

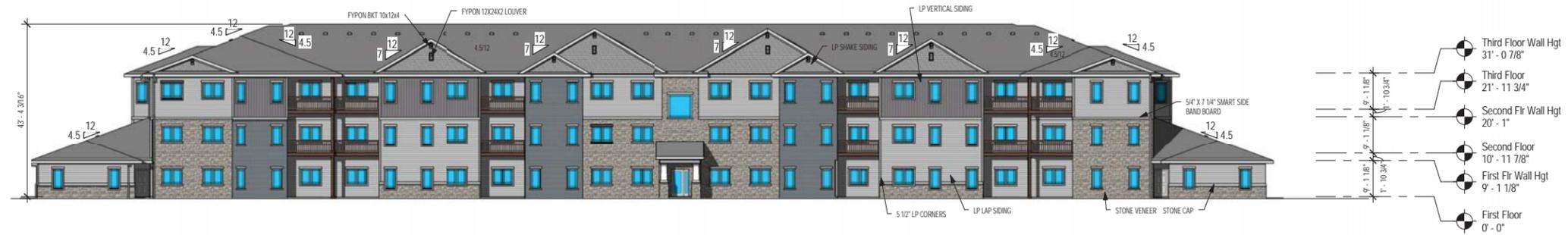
I hereby certify that the portion of this technical submission was prepared by me or under my direct supervision and responsible charge. I am duly a registered architect under the laws of the State of Iowa.

Printed Name: John B. Overton, AIA

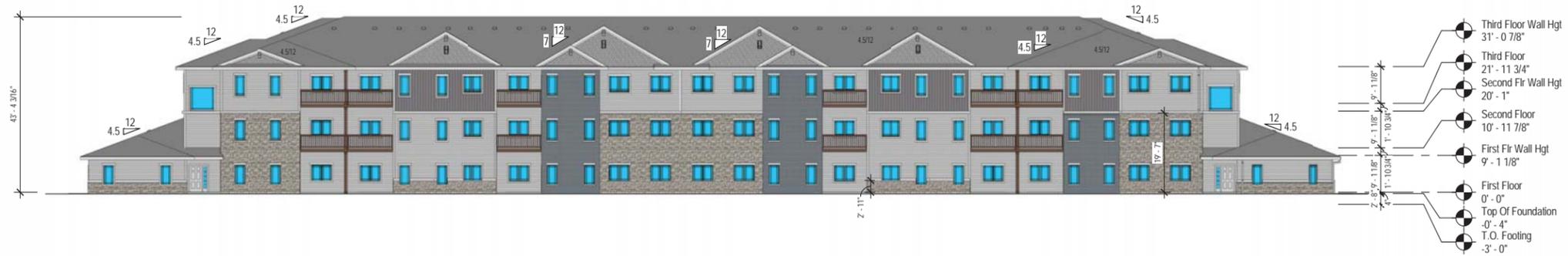
Signature \_\_\_\_\_ Date \_\_\_\_\_  
Registration Expires: 6/30/2013

Sheets covered by this seal: A.0, A.0.1, A.0.2, A.1, A.1.1, A.2, A.2.1, A.2.3, A.2.4, A.3, A.3.1, A.3.2, A.3.3, A.3.4, A.3.5, A.4, A.4.1, A.4.2, A.5, A.5.1, A.5.2, A.5.3, A.6.1

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1 FRONT ELEVATION  
 Scale: 1/16" = 1'-0"



2 REAR ELEVATION  
 Scale: 1/16" = 1'-0"

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**Elevations**

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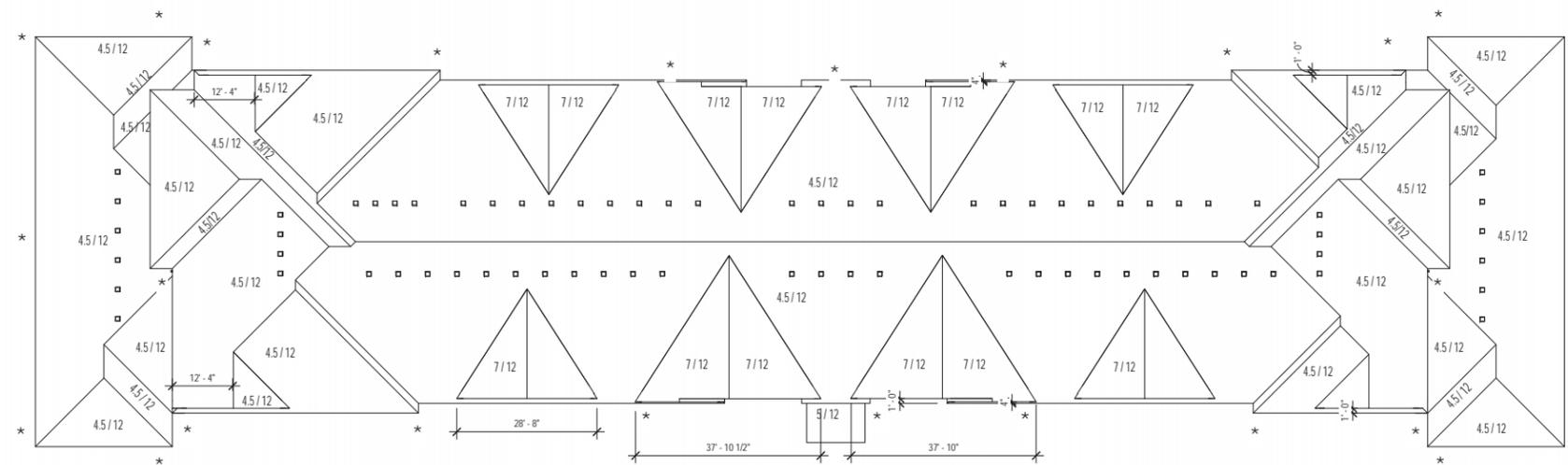
- Third Floor Wall Hgt 31' - 0 7/8"
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- Second Fir Wall Hgt 20' - 1"
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- First Fir Wall Hgt 9' - 1 1/8"
- First Floor 0' - 0"
- Top Of Foundation -0' - 4"
- T.O. Footing -3' - 0"

1 LEFT ELEVATION  
Scale: 1" = 10'-0"



- Third Floor Wall Hgt 31' - 0 7/8"
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2 RIGHT ELEVATION  
Scale: 1" = 10'-0"



ROOF PLAN LEGEND				
SYMBOL	PLATE HGT	PITCH	OVERHANG	HEEL HGT.
ALL	PER LEVEL	4.5/12	2'-0"	7"

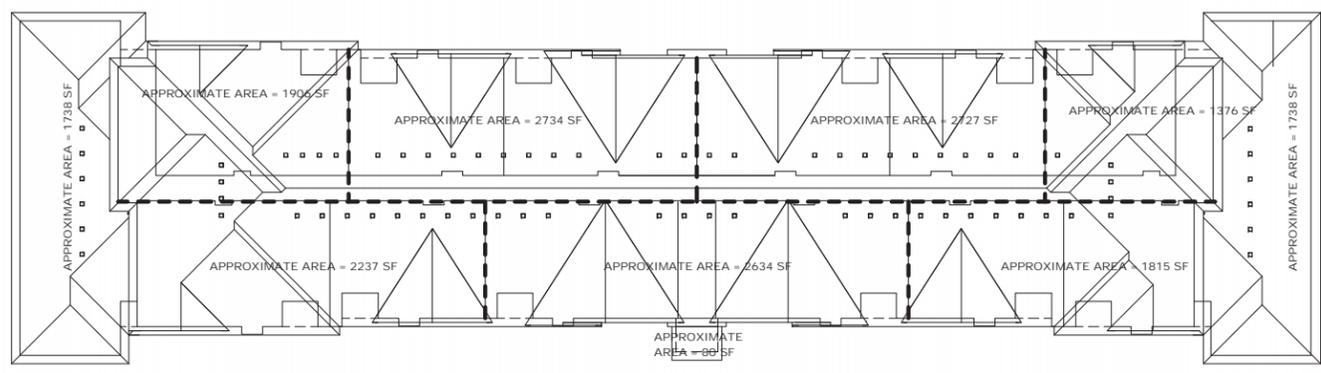
ALL RAKE OVERHANGS ARE 12" UNLESS NOTED

ESTIMATED ROOF SF	
24691 SF	24691 SF

24691 SF  
24691 SF  
1. THE AREA EXCLUDES SHEATHED SURFACES BELOW VALLEY.  
2. NO WASTE FACTOR HAS BEEN INCLUDED.

ROOF NOTES	
1.	PROVIDE ICE SNOW BARRIER UNDER ALL VALLEYS, EAVES, & ALONG ENTIRE PERIMETER OF THE ROOF
2.	PROVIDE EVEN SPACED ROOF VENTS ALONG RIDGE. COORDINATE AMOUNTS OF VENTED SOFFIT TO ENSURE PROPER AIR MOVEMENT
3.	EACH ROOF VENT TO = 70 NET. SQ. IN.

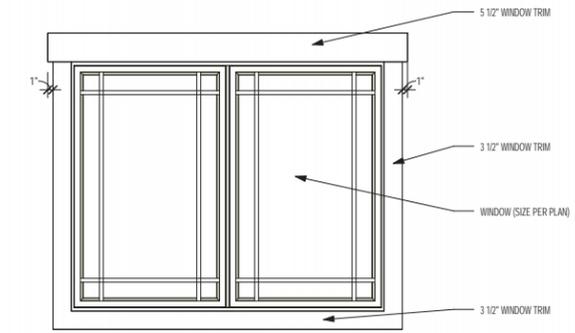
3 ROOF PLAN  
Scale: 1/16" = 1'-0"



--- REPRESENTS ATTIC DRAFT STOP LOCATION

4 ROOF PLAN - ATTIC DRAFT STOP  
Scale: 1" = 20'-0"

NOTE:  
1. EXTEND DRAFTSTOPS THROUGH EAVES OVERHANG  
2. 20" x 30" DOOR BETWEEN DRAFT AREAS



5 TYPICAL WINDOW TRIM  
Scale: 3/4" = 1'-0"

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Elevations

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**ELECTRIC SYMBOLS**

	SINGLE POLE SWITCH
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**MISC. SYMBOLS**

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Printed Name: John B. Overton, AIA

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Registration Expires: 6/30/2013

Sheets covered by this seal: A.0, A.0.1, A.0.2, A.1, A.1.1, A.2, A.2.1, A.2.3, A.2.4, A.3, A.3.1, A.3.2, A.3.3, A.3.4, A.3.5, A.4, A.4.1, A.4.2, A.5, A.5.1, A.5.2, A.5.3, A.6.1

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2 REAR ELEVATION  
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Cover Page

As indicated

A.0

**ABBREVIATIONS**

ADJ	ADJUSTABLE
AWN	AWNING
BTM	BOTTOM
BSMT	BASEMENT
BTW	BETWEEN
CA	CASEMENT
CANT.	CANTILEVER
CAB.	CABINET
CL	CENTERLINE
CLG	CEILING
C.O.	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
D	DRYER
DA.	DIAMETER
DN	DOWN
DN	DOUBLE HUNG
DW	DISHWASHER
F.D.	FLOOR DRAIN
FLR	FLOOR
FT	FEET
FURN	FURNACE
HDR	HEADER
HDWD	HARDWOOD
INSUL	INSULATION
JST	JOIST
LVL	LAMINATED VENEER LUMBER
LIN	LINEN
MAX	MAXIMUM
MIN	MINIMUM
O.C.	ON CENTER
O.H.D.	OVERHEAD DOOR
OPNG.	OPENING
PED.	PEDISTAL
N.T.S.	NOT TO SCALE
REF	REFRIGERATOR
REQ	REQUIRED
RO	ROUGH OPENING
RM	ROOM
SH	SINGLE HUNG
S & R	SHELF AND ROD
S.F.	SQUARE FEET
S.P.	SUMP PIT
STL	STEEL
TYP.	TYPICAL
TRANS	TRANSOM
UNEX.	UNEXCAVATED
VAN.	VANITY
W	WASHER
W	WITH
W.H.	WATER HEATER

**ELECTRIC SYMBOLS**

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	240 VOLT RECEPTACLE
	PHONE OUTLET
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	EXHAUST FAN
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	WALL MOUNTED LIGHT
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	FLUORESCENT LIGHT
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**DRAWING LIST**

A.0	Cover Page
A.0.1	Code Review
A.0.2	Wall Types
A.1	Elevations
A.1.1	Elevations
A.2	Foundation
A.2.1	First Floor
A.2.3	Second Floor
A.2.4	Third Floor
A.3	Unit A-B
A.3.1	Unit B-B
A.3.2	Unit C-B
A.3.3	Unit D-B
A.3.5	Unit B-A
A.3.6	Unit A
A.3.7	Unit B
A.3.8	Unit C
A.3.9	Unit D
A.4	Stair 1
A.4.1	Stair 2
A.4.2	Stair 3
A.5	Building Sections
A.5.1	Building Sections
A.5.2	Building Sections
A.5.3	Building Sections
A.6.1	Party Wall Details
P.7	PROMO FIRST FLOOR
P.8	PROMO SECOND FLOOR
P.9	PROMO THIRD FLOOR

**STRUCTURAL DRAWING LIST**

S.0.1	STRUCTURAL NOTES
S.1.1	FOUNDATION PLAN-PART A
S.1.2	FOUNDATION PLAN-PART B
S.2.1	FOUNDATION DETAILS
S.3.1	FLOOR FRAMING PLAN-PART A
S.3.2	FLOOR FRAMING PLAN-PART B
S.3.3	FLOOR FRAMING PLAN-PART A
S.3.4	FLOOR FRAMING PLAN-PART B
S.3.5	ROOF FRAMING PLAN-PART A
S.3.6	ROOF FRAMING PLAN-PART B
S.4.1	FRAMING DETAILS

**MISC. SYMBOLS**

	FROST PROOF HOSE BIB
	FLOOR LINE ABOVE
	STRUCTURAL BEAM/HEADER OR GIRDER TRUSS



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 Shane Kline

PH(515)556-6803

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Travis

PH(515)979-1404

**Sprinkler Systems**

Iowa Fire Equipment Company  
 Kris Schultz  
 2800 Delaware Avenue, Ankeny, IA 50317  
 PH(515)265-8030  
 sales@iafire.com

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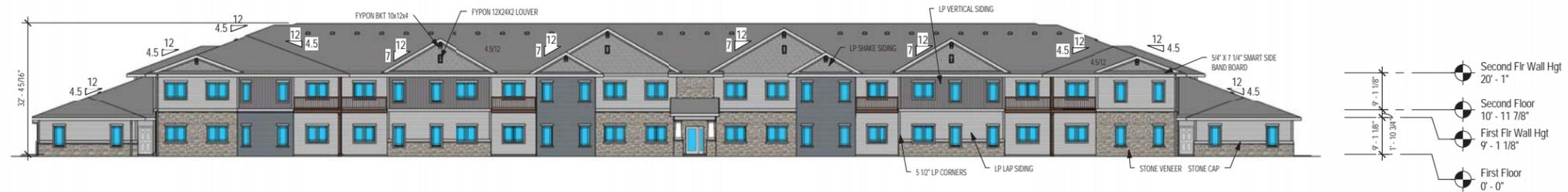
I hereby certify that the portion of this technical submission was prepared by me or under my direct supervision and responsible charge. I am duly a registered architect under the laws of the State of Iowa.

Printed Name: John B. Overton, AIA

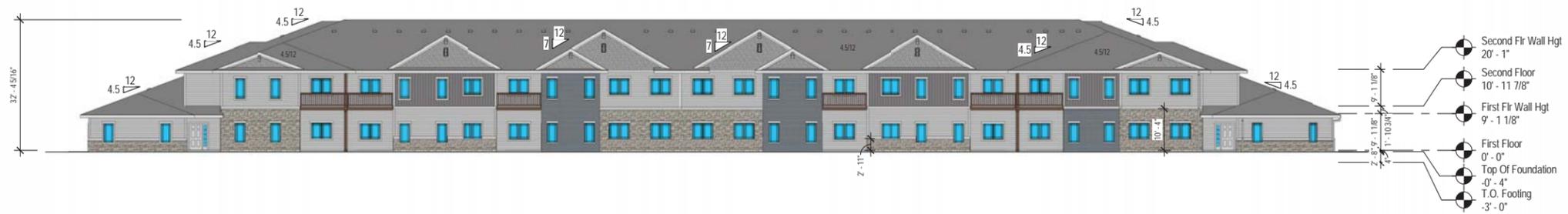
Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Registration Expires: 6/30/2013

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1 FRONT ELEVATION  
 Scale: 1/16" = 1'-0"



2 REAR ELEVATION  
 Scale: 1/16" = 1'-0"

**Waukee Ridge Apartments**  
 24 Unit  
 Waukee, Iowa

PROJECT ID: PDS 2762

ISSUE DATE:  
 DATE: 7-1-14  
 DATE: 10-29-14  
 DATE: 11-17-14  
 DATE: 11-21-14

REVISIONS:  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
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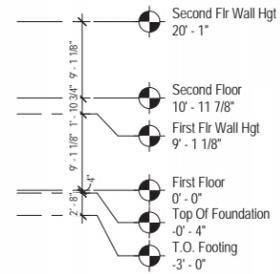
**Elevations**

1/16" = 1'-0"

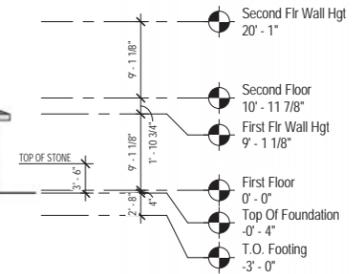
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 20 Unit  
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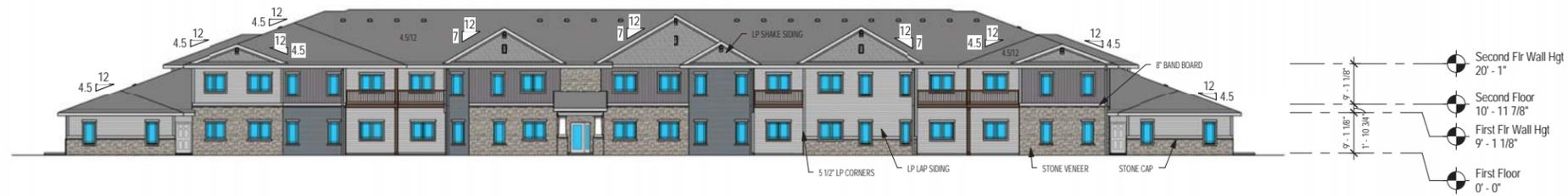
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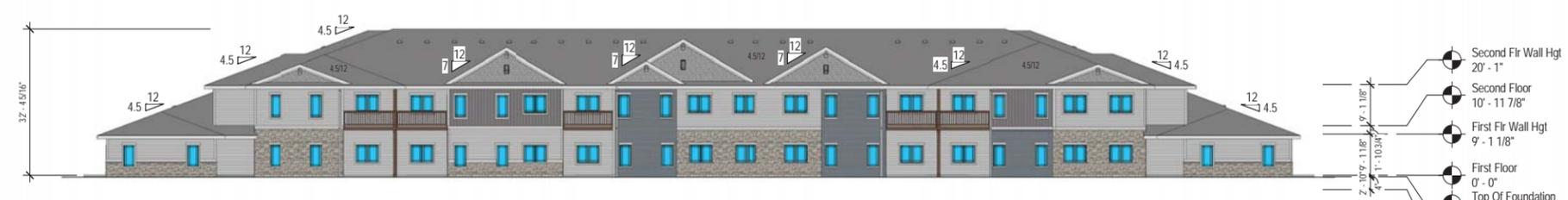
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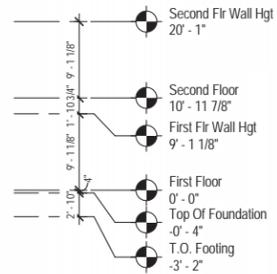
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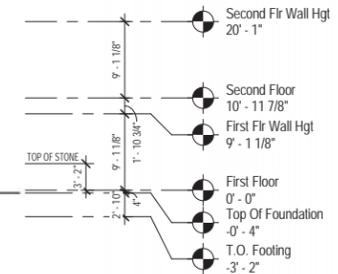
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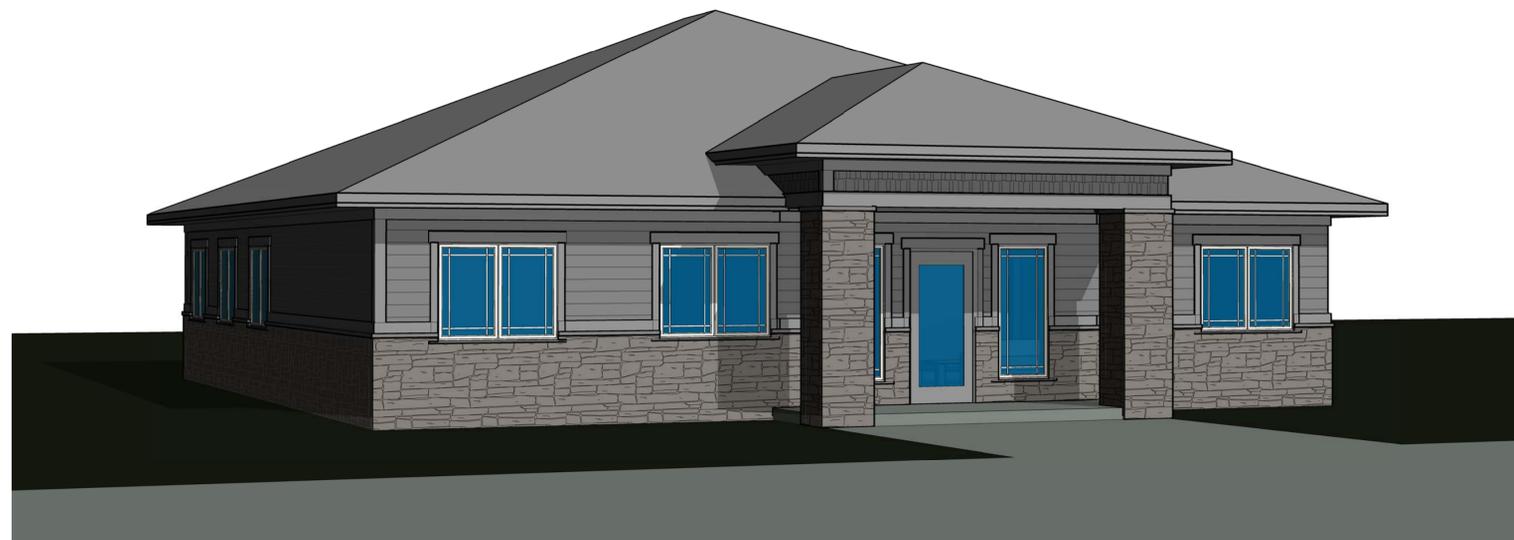
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Printed Name: John B. Overton, AIA

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### GENERAL CONSTRUCTION NOTES

1. GENERAL
  - A. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED IBC 2012 LOCAL BUILDING CODES MAY HAVE DIFFERENT SPECIFICATIONS AND REQUIREMENTS THAN WHAT IS LISTED IN THE IBC 2012. THESE LOCAL REQUIREMENTS WILL SUPERSEDE THE IBC 2012. SEE THE LOCAL BUILDING DEPARTMENT FOR CHANGES.
  - B. CONTRACTOR TO CONFIRM THE SIZES, SPACING AND SPECIES OF LUMBER OF ALL STRUCTURAL AND FRAMING MEMBERS. ANY STRUCTURAL AND FRAMING MEMBERS NOT INDICATED ARE TO BE SIZED BY OWNER/CONTRACTOR.
  - C. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PREVENTIVE MEASURE OF THE BUILD UP OF MOISTURE OR MOLD.
  - D. ALL PRODUCTS ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
  - E. REFER TO CIVIL, MECHANICAL, ELECTRICAL AND PLUMBING NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. DESIGN CRITERIA
  - A. BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOD LOADS, SNOW LOADS, WIND LOADS, AND SEISMIC LOADS AS PRESCRIBED BY THIS CODE, CHAPTER 16.
  - B. VALUES BASED FROM THE CITY OF ANKENY, IOWA.

### ARCHITECTURAL

Plum Building Systems  
3600 Alice's Road  
Waukee, Iowa  
Office: 515-978-6260

### STRUCTURAL

Raker Rhodes Engineering, LLC  
520 42nd Street  
Des Moines, IA 50312

### Civil Engineer

CIVIL DESIGN ADVANTAGE LLC  
3405 SE Crossroads Drive, Suite G, Grimes, IA 50111  
PH(515)369-440 FX(515)369-4410

### HVAC- Plumbing- Electrical Design- Energy Review

Brewer Engineering Consultants, PLC  
Brian Brewer  
2701 SE Convenience Blvd, Ste 11 - Ankeny, Iowa 50021  
Ph 515-963-8795 - FAX 515-963-8798  
www.brewer-engr.com

### Mechanical

Heartland H & C  
Mike Nelson

PH(515)208-5893

### Electrical

Kline Electric  
Shane Kline

PH(515)556-6803

### Plumbing

Travis

PH(515)979-1404

### Sprinkler Systems

Non Required

Classic Builders  
Autumn Ridge - Club House  
Waukee, Iowa

PROJECT ID: PDS 2126

### ISSUE DATE:

DATE: 11-12-14

DATE: 11-20-14

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

### REVISIONS:

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

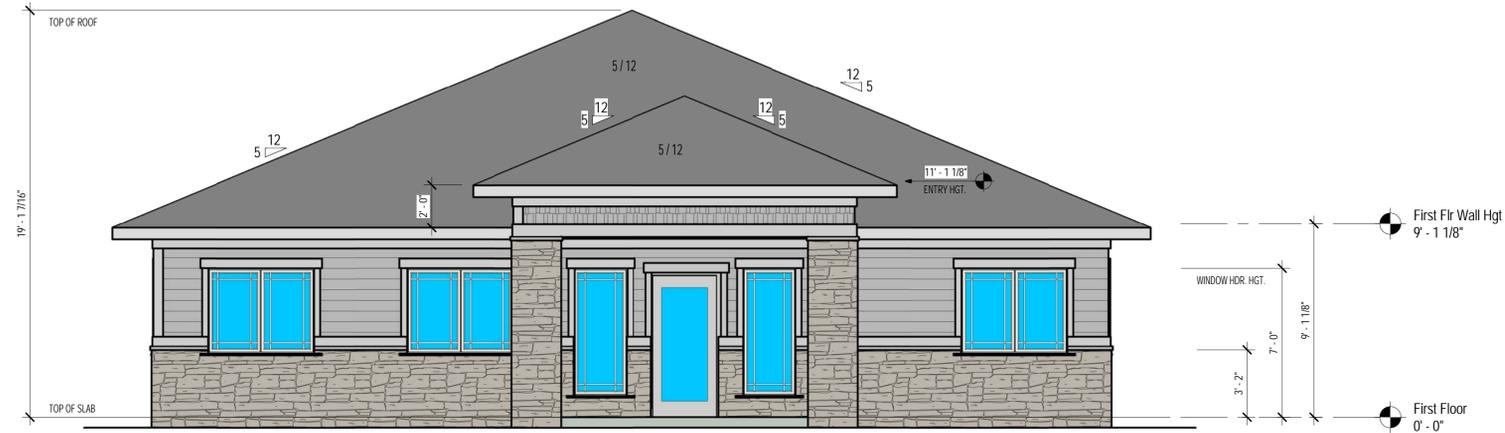
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Cover Page  
As indicated

A.0

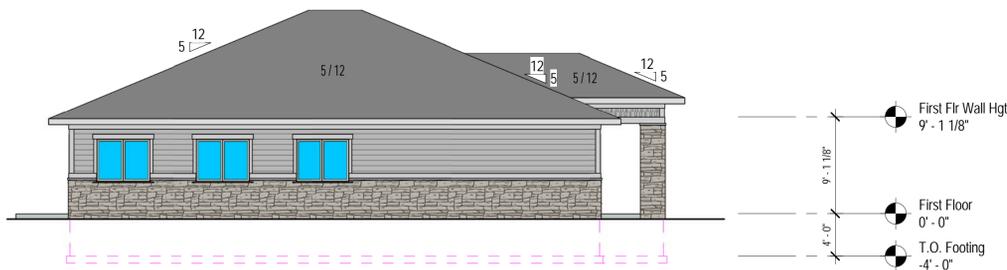
PLUM DESIGN SERVICE, INC. ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. WE ARE NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS, AND FLOOR PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR AND/OR OWNER SHALL NOTIFY PLUM DESIGN SERVICE, INC. IMMEDIATELY IF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION ARE IDENTIFIED PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE WITH THIS PLAN WITH APPLICABLE BUILDING CODES REQUIREMENTS ARE MADE.



1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"



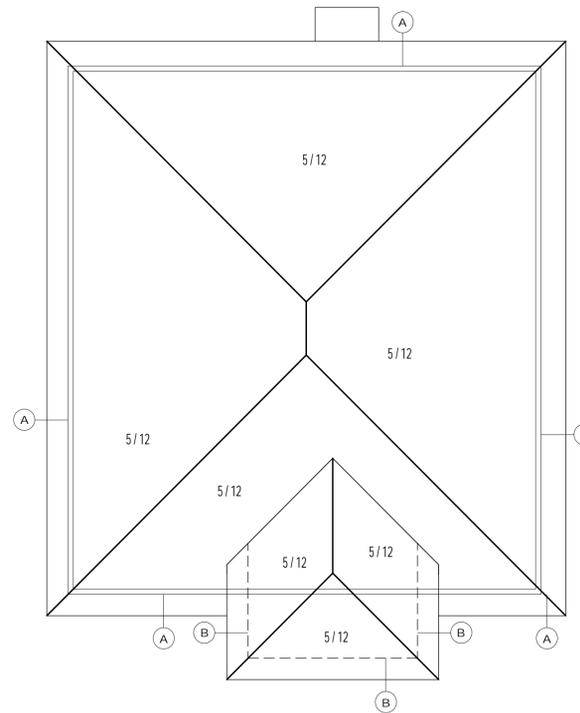
2 REAR ELEVATION  
Scale: 3/16" = 1'-0"



3 LEFT ELEVATION  
Scale: 1/8" = 1'-0"



4 RIGHT ELEVATION  
Scale: 1/8" = 1'-0"



5 ROOF PLAN  
Scale: 1/8" = 1'-0"

ROOF PLAN LEGEND				
SYMBOL	PLATE HGT.	PITCH	OVERHANG	HEEL HGT.
A	9'-1 1/8"	5/12	2'-0"	7"
B	10'-1"	5/12	2'-0"	1'-7 1/8"

ALL RAKE OVERHANGS ARE 12" UNLESS NOTED.

ESTIMATED ROOF SF	
3022 SF	

SQUARE FOOTAGE OF ROOF IS TAKEN FROM THE EXPOSED SURFACE OF THE ROOF.  
1. THE AREA EXCLUDES SHEETED SURFACES BEYOND VALLEY.  
2. NO WASTE FACTOR HAS BEEN INCLUDED.

ROOF NOTES	
1.	PROVIDE ICE SNOW BARRIER UNDER ALL VALLEYS, EAVES, & ALONG ENTIRE PERIMETER OF THE ROOF.
2.	PROVIDE EVEN SPACED ROOF VENTS ALONG RIDGE. COORDINATE AMOUNTS OF VENTED SOFFIT TO ENSURE PROPER AIR MOVEMENT.
3.	EACH ROOF VENT TO = 70 NET. SQ. IN.

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Elevations  
As indicated