

# GRANT PARK

## CITY OF WAUKEE, IOWA

**gēnus**  
[ landscape architects ]

325 EAST 5<sup>TH</sup> STREET  
DES MOINES, IA 50309

T 515 284 1010

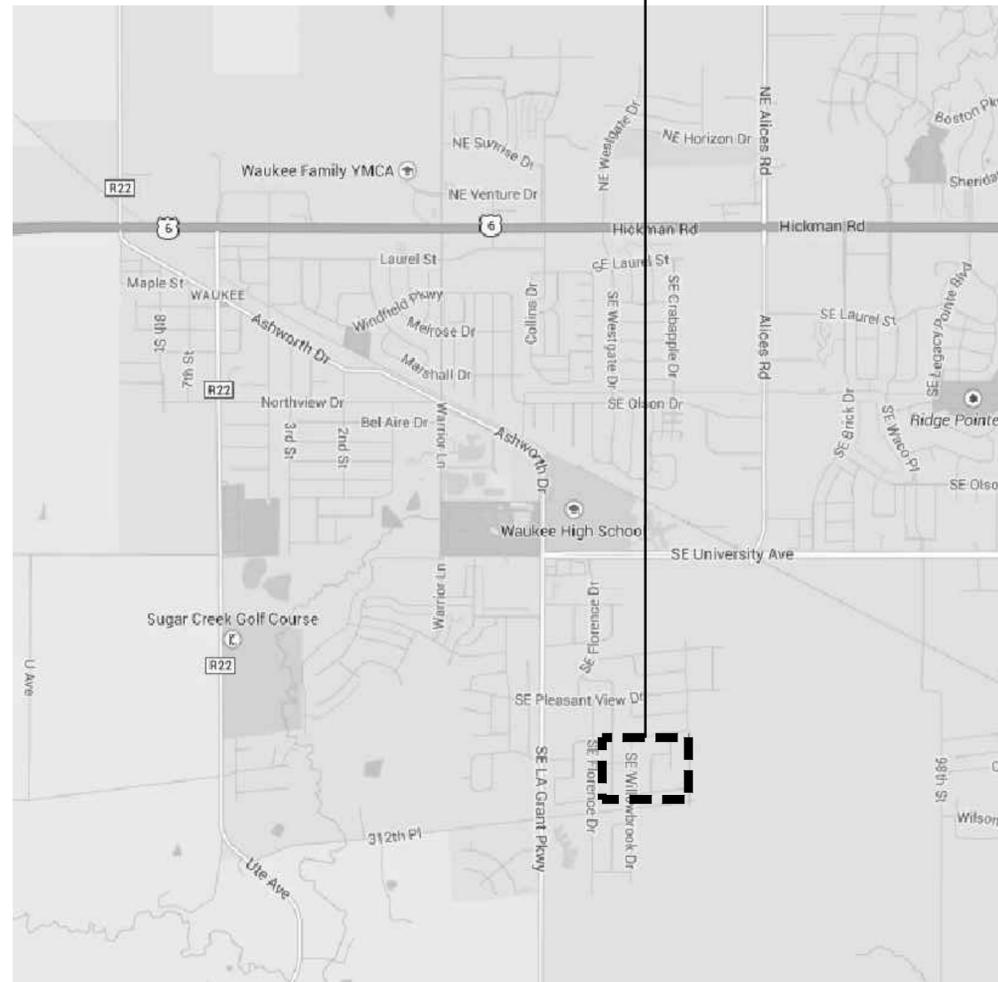
WWW.GENUS-LA.COM

**OWNER**  
City of Waukee, IA  
230 West Hickman Road  
Waukee, IA 50263  
P 515-978-7900 F 515-987-1845

### GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES AND PROTECT ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BEAR THE COST OF ALL PRIVATE LOCATES ON PRIVATE PROPERTY. THE CONTRACTOR SHALL NOTIFY OWNER/CITY OF WAUKEE, LANDSCAPE ARCHITECT, AND "IOWA ONE CALL" ONE (1) WEEK PRIOR TO COMMENCING EXCAVATION, GRADING OR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON DAMAGE TO ANY UTILITY LINE OR APPURTENANCE OR THE INTERRUPTION OF THEIR SERVICE. DAMAGE TO UTILITIES AND STRUCTURES (CURBS, PAVEMENT, ETC.) SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND SUPPLEMENTAL SPECIFICATIONS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION.
- ALL IMPROVEMENTS SHALL BE COMPLIANT WITH THE 2015 CITY OF WAUKEE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES PER DRAWINGS AND SPECIFICATIONS. MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONTINUE UNTIL ACCEPTANCE AND CLOSURE OF TURF ESTABLISHMENT.
- CONTRACTOR SHALL PROVIDE COMPETENT MEN AND TOOLS, STAKES AND OTHER MATERIALS AS REQUIRED TO ESTABLISH TEMPORARY OR PERMANENT REFERENCE MARKS IN CONNECTION WITH THE WORK AND CONTRACTOR SHALL PERFORM SUCH DETAILED MEASUREMENTS AND TRANSFER ELEVATIONS AS REQUIRED TO PROPERLY LAY OUT AND CONSTRUCT WORK. ALL STAKING SHALL BE DONE IN COORDINATION WITH THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DEBRIS SPILLED ON THE PUBLIC RIGHTS-OF-WAY OR ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR IN A TIMELY FASHION. NO STORAGE OF MATERIALS SHALL BE ALLOWED IN PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ACCESS AND PARKING ON-SITE FOR ALL CONSTRUCTION EQUIPMENT AND VEHICLES AS SHOWN ON PLANS.
- NO CONSTRUCTION TRAILERS OR TEMPORARY PROJECT SIGNS SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIAL FROM THE SITE. ON-SITE DISPOSAL OF TREES, BRUSH OR OTHER DEBRIS SHALL NOT BE ALLOWED.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL NECESSARY SAFETY REGULATIONS.
- THE MEANS AND METHODS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING CONSTRUCTION.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINE UNLESS OTHERWISE NOTED.
- REMOVE SURFACING AS REQUIRED FOR CONSTRUCTION AND REPLACE TO ORIGINAL CONDITION. ALL GRASSED AREAS DISTURBED SHALL BE RE-SEEDDED. ALL PAVEMENT SURFACES DISTURBED SHALL BE RE-PAVED.
- ALL STRUCTURES AND APPURTENANCES SHALL BE ADJUSTED TO GRADE AS NECESSARY. SITE SHALL BE GRADED TO AVOID SITUATION OF THESE APPURTENANCES WITHIN DRAINAGE COURSE OR LOW SPOT.
- ALL UTILITY AND PAVING WORK IN R.O.W. SHALL BE COMPLETED IN ONE 48 HOUR PERIOD.
- SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- NO CHANGES SHALL BE AUTHORIZED UNLESS THEY ARE SHOWN ON REVISED PLANS OR IN WRITTEN INSTRUCTIONS OF PROJECT LANDSCAPE ARCHITECT. THE CONTRACTOR WILL NOT BE PAID FOR UNAUTHORIZED CHANGES.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY GENUS LANDSCAPE ARCHITECTS AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE CONTRACT, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
- THE CONTRACTOR SHALL EXERCISE CAUTION AROUND ALL TREES DESIGNATED TO REMAIN, UNDER NO CIRCUMSTANCES, SHALL THE CONTRACTOR PARK OR TRAVEL WITH ANY VEHICLE OR EQUIPMENT UNDER THE DRIP LINE OF ANY TREE TO BE SAVED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO BE PERFORMED FOR THE PROJECT AND IS RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS SET FORTH WITHIN THE PERMITS. ALL WORK SHALL COMPLY WITH CURRENT STATE AND LOCAL CODES. INSPECTION SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- CONTRACTOR SHALL REVIEW CONTRACT REQUIREMENTS AND PROCEDURES OUTLINED IN THE SPECIFICATIONS. THE WORK OUTLINED IN THE DRAWINGS AND SPECIFICATIONS SHALL BE INCORPORATED INTO THE GENERAL CONTRACT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, METHODS, AND MEANS REQUIRED TO EXECUTE THE GENERAL CONTRACT AND PROVIDE A FINISHED PRODUCT.
- ALL GENERAL NOTES APPLY TO ALL SHEETS IN THIS SET.
- SURVEY PROVIDED BY THE CITY OF WAUKEE. ALL GRADES TO BE REVIEWED AND APPROVED WITH LANDSCAPE ARCHITECT PRIOR TO GRADING OPERATIONS.

GRANT PARK  
605 SE Driftwood Lane  
Waukee, IA 50263



**1 LOCATION MAP**  
SCALE: NTS



### SHEET INDEX

CV1.0	COVER SHEET
L1.0	DEMOLITION PLAN
L2.0	LAYOUT PLAN
L3.0	GRADING + UTILITY PLAN
L4.0	PLANTING PLAN
L5.0	RESTORATION PLAN
L6.0	SITE DETAILS
L6.1	BASKETBALL COURT DETAILS



I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA

BRETT A. DOUGLAS DATE

LICENSE NO. 00399  
LICENSE RENEWAL DATE: JUNE 30, 2015.

CV1.0, L-1.0 THRU L-6.1 COVERED BY THIS SEAL

TITLE & LOGO

GRANT PARK SITE  
IMPROVEMENT PROJECT

KEY MAP

99% COMPLETE  
NOT FOR CONSTRUCTION

NO. DATE REVISION

PRINCIPAL IN CHARGE PROJECT MANAGER

BD AP

PROJECT TEAM MEMBER(S)

CHECK

SEAL / STAMP

TITLE

COVER SHEET

PROJECT NO.

14005GP

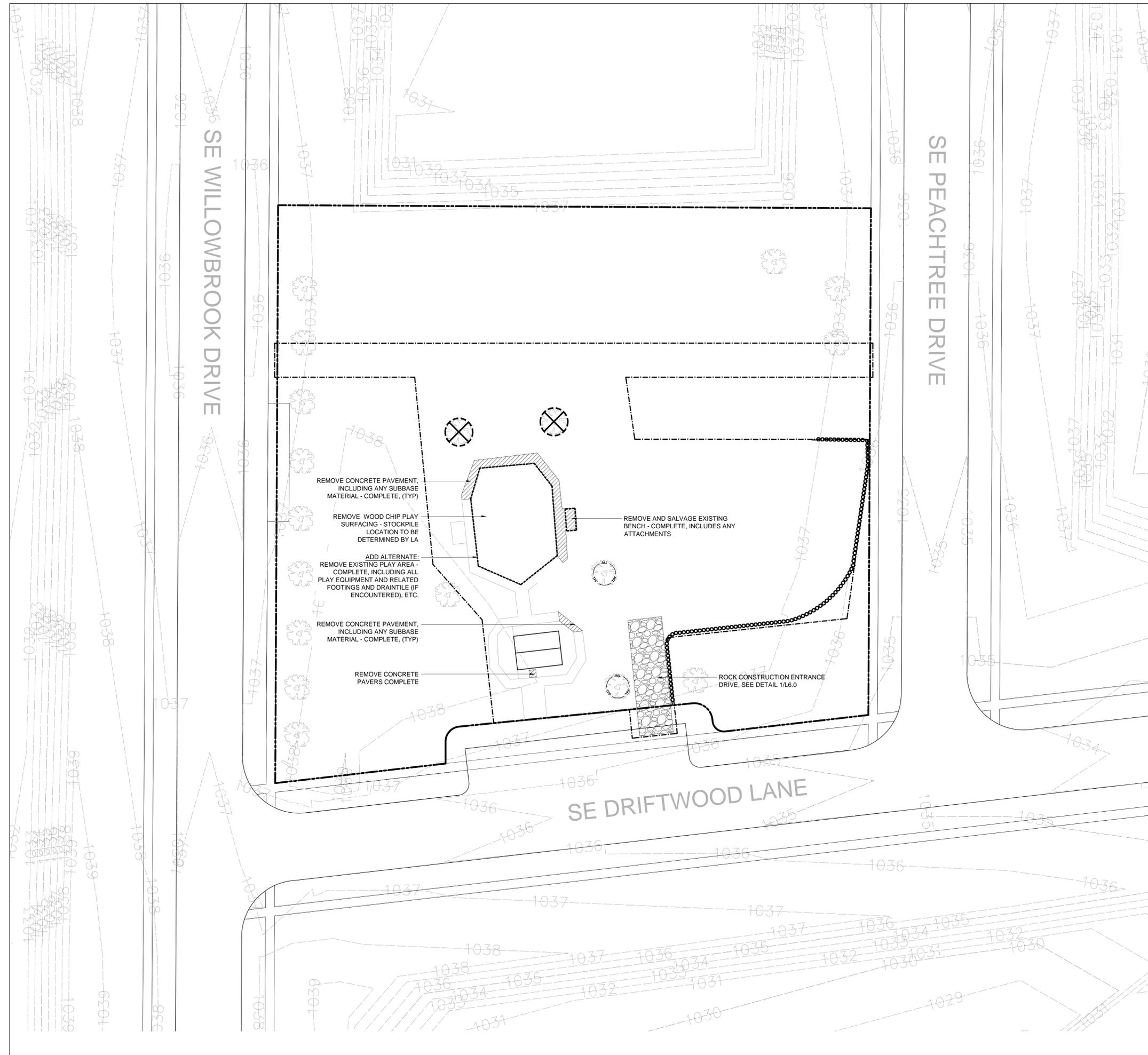
DATE

12-10-14

PROJECT NETWORK PATH

SHEET NUMBER

CV1.0



**LEGEND**

- PROPERTY LINE
- LIMIT OF CONSTRUCTION
- 995 EXISTING CONTOUR
- EXISTING DECIDUOUS TREE
- TREE PROTECTION FENCING, SEE DETAIL 3/L6.0
- EROSION CONTROL SILT FENCE, SEE DETAIL 2/L6.0
- ITEM TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- TREE TO BE REMOVED  
REMOVE AND GRIND STUMP PER NOTES

**CONSTRUCTION NOTES**

- ① SAWCUT PAVEMENT FULL DEPTH, REMOVE AND RECONSTRUCT PAVEMENT. COORDINATE LOCATION WITH LAYOUT PLAN. PROTECT REMAINING CURB LENGTH. LEGALLY DISPOSE OF DEBRIS.
- ② PROTECT EXISTING TREES PER SPECIFICATIONS AND DETAIL 3/L6.0. NO GRADING, MACHINERY, OR MATERIAL STORAGE TO OCCUR WITHIN DRIPLINE OF TREE.
- ③ REMOVE AND GRIND OUT STUMP. LEGALLY DISPOSE OF DEBRIS.

**DEMOLITION NOTES**

1. PROTECT ALL EXISTING FEATURES NOT DESIGNATED FOR REMOVAL.
2. ALL DEMOLISHED AND/OR REMOVED ITEMS SHALL BE HAULED COMPLETELY AWAY FROM THE SITE BY THE CONTRACTOR.
3. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
4. THE CONSTRUCTION DOCUMENTS WERE PREPARED USING THE MOST ACCURATE INFORMATION AVAILABLE. IF THE CONTRACTOR DETERMINES THAT FIELD CONDITIONS DIFFER, HE SHALL CEASE CONSTRUCTION ACTIVITIES AND IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT FOR DECISION.
5. ALL STUMPS OF REMOVED TREES SHALL BE GROUND OFF TO 12 INCHES BENEATH EXISTING/PROPOSED GRADE.
6. REMOVE AND DISPOSE OF ALL PLANT MATERIAL IN PROJECT AREA INCLUDING TURF, SHRUBS, AND GROUND COVER, EXCEPT THOSE DESIGNATED FOR RELOCATION.
7. ALL VOIDS REMAINING AFTER THE REMOVAL OF MANHOLES, INLET STRUCTURES, AND TREE STUMPS SHALL BE FILLED AND RECOMPACTED AS PER SPECIFICATIONS.
8. ALL AREAS WHERE NEW PAVEMENT JOINS EXISTING SHALL BE SAW CUT TO PROVIDE A UNIFORM EDGE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITIES IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO DEMOLITION.
10. TREE AND SHRUB PROTECTIVE FENCING SHALL BE REQUIRED AS SHOWN ON THE CONSTRUCTION DOCUMENTS AND AS DIRECTED BY THE LANDSCAPE ARCHITECT. THE PROTECTIVE FENCING SHALL CONSIST OF HIGH VISIBILITY PLASTIC MESH FENCE, MINIMUM 36-INCHES HIGH SECURED TO STEEL "T" POSTS OR WOOD FRAMING. THE CONTRACTOR SHALL LOCATE THE FENCING ALONG THE TREE'S DRIP LINE OR AS SHOWN ON THE DRAWINGS. IN ANY CASE, THE FENCING SHALL BE A MIN. 6' FROM THE TRUNK. FENCING LOCATION SHALL BE APPROVED IN THE FIELD BY ARCHITECT. THE CONTRACTOR SHALL AVOID LOCATING POSTS NEAR PROBABLE MAJOR ROOT LOCATIONS, AND RELOCATE ANY POSTS WHEN RESISTANCE (I.E. MAJOR ROOTS) IS ENCOUNTERED DURING POST INSTALLATION. THE PROTECTIVE FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES AND REMAIN THROUGHOUT CONSTRUCTION. STORAGE OF ANY MATERIALS OR PARKING OF ANY EQUIPMENT WILL NOT BE ALLOWED WITHIN THE FENCING.

NO.	DATE	REVISION

PRINCIPAL IN CHARGE	PROJECT MANAGER
BD	AP

PROJECT TEAM MEMBER(S)	CHECK	SCALE / STAMP

TITLE  
**DEMOLITION PLAN**

PROJECT NO.  
14005GP  
DATE  
12-10-14  
PROJECT NETWORK PATH

SHEET NUMBER



**LEGEND**

- PROPERTY LINE
- - - - - LIMIT OF CONSTRUCTION
- 995— EXISTING CONTOUR
-  EXISTING DECIDUOUS TREE

**LAYOUT AND MATERIALS NOTES**

1. CONTRACTOR SHALL PROVIDE A JOINTING PLAN PER SPECIFICATIONS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. JOINTS SHOWN ARE FOR REFERENCE ONLY AND MAY BE USED AS A GUIDE TO DEVELOP THE CONTRACTOR'S PLAN.
2. JOINTS SHALL BE INSTALLED TO FORM SQUARES DEPENDENT ON WIDTH OF WALK. AS NOTED ON PLAN, SOME JOINTS SHALL BE INSTALLED TO ALIGN WITH ADJACENT JOINTS.
3. FORMWORK FOR ALL SITE IMPROVEMENTS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF CONCRETE. PROVIDE MINIMUM 24-HOUR NOTICE.
4. WHERE ALL PROPOSED WALKS MEET UP WITH EXISTING IT SHALL BE A SMOOTH TRANSITION AND FLUSH.
5. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS TO REMAIN.
6. USE DIMENSIONAL INFORMATION GIVEN; DO NOT SCALE DRAWINGS. WRITTEN DATA SHALL TAKE PRECEDENCE OVER ANY OTHER DATA.
5. ALL INTERSECTIONS OF TRAILS SHALL HAVE 3' RADIUS UNLESS OTHERWISE NOTED.
6. DIMENSIONS INDICATED WITH A '±' SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND DIMENSIONS SHOWN ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
9. CONTRACTOR SHALL REFER ANY QUESTIONS ON SITE MATERIALS, FINISHES, LABOR AND/OR PRODUCTS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIALS OR STARTING WORK.

TITLE & LOGO

GRANT PARK SITE  
IMPROVEMENT PROJECT

KEY MAP

99% COMPLETE  
NOT FOR CONSTRUCTION

NO. DATE REVISION

PRINCIPAL IN CHARGE PROJECT MANAGER

BD AP

PROJECT TEAM MEMBER(S)

DESK

SEAL / STAMP

TITLE

LAYOUT PLAN

PROJECT NO.

14005GP

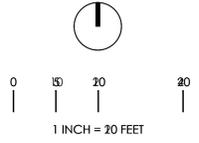
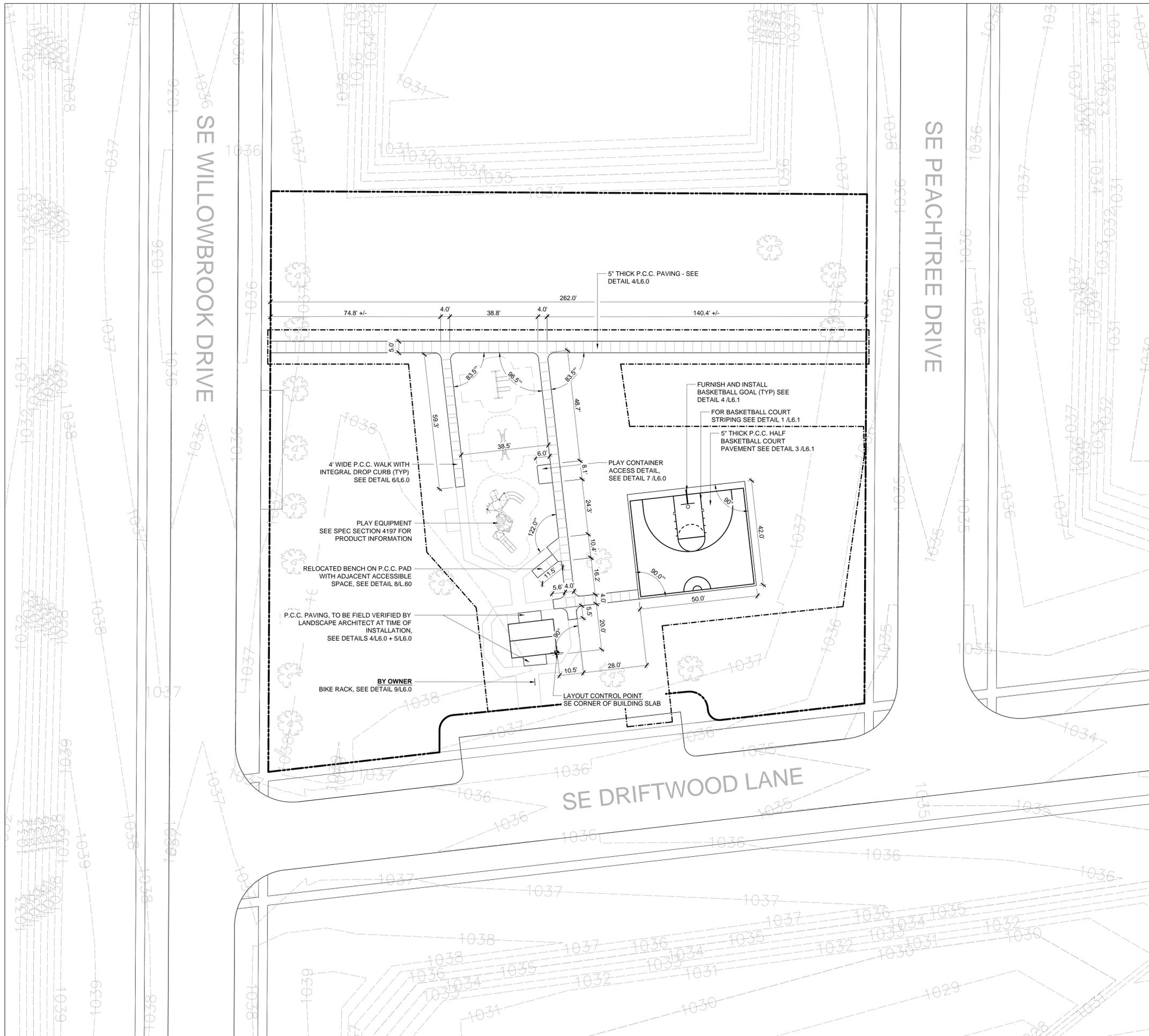
DATE

12-10-14

PROJECT NETWORK PATH

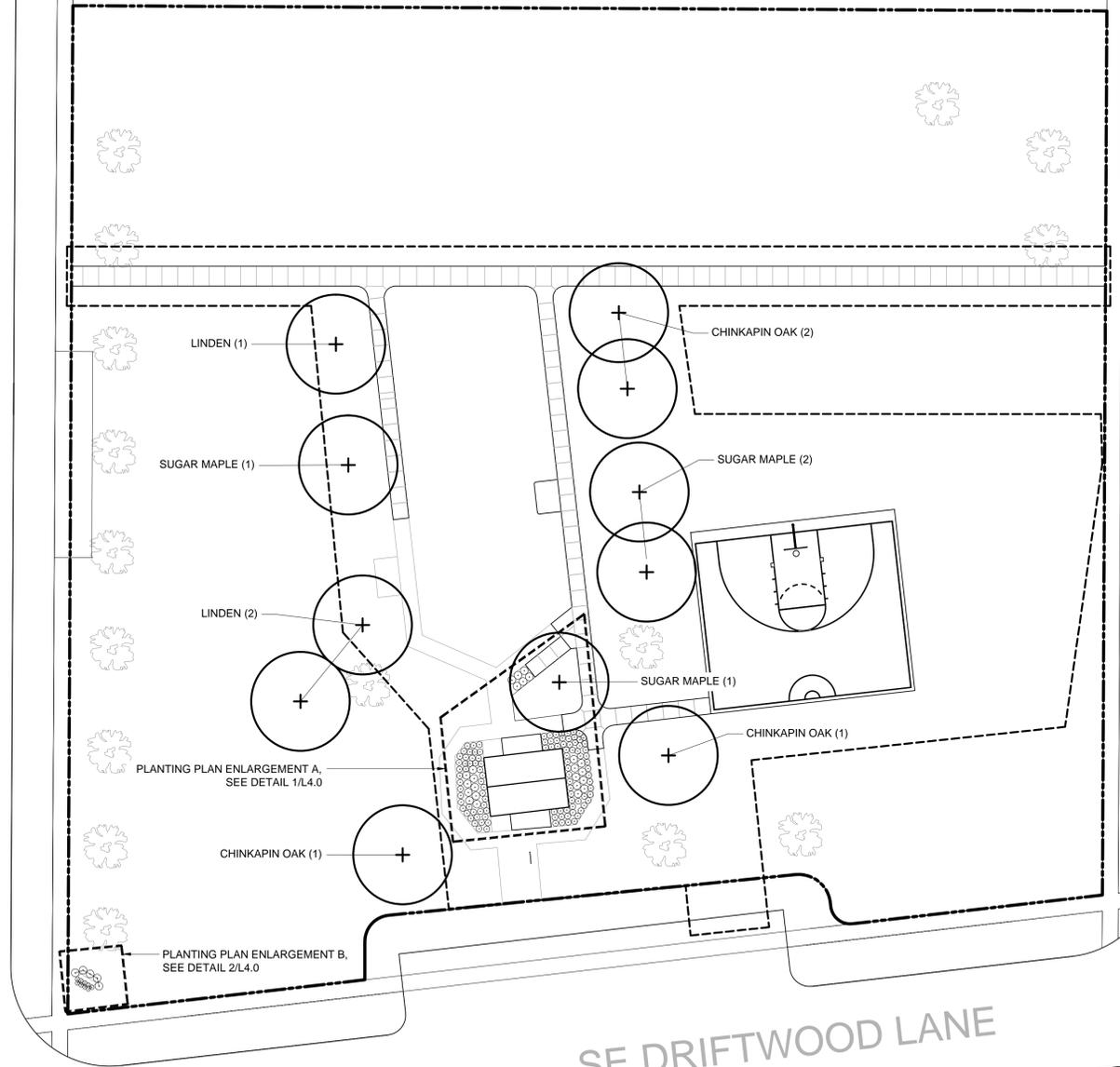
SHEET NUMBER

L2.0





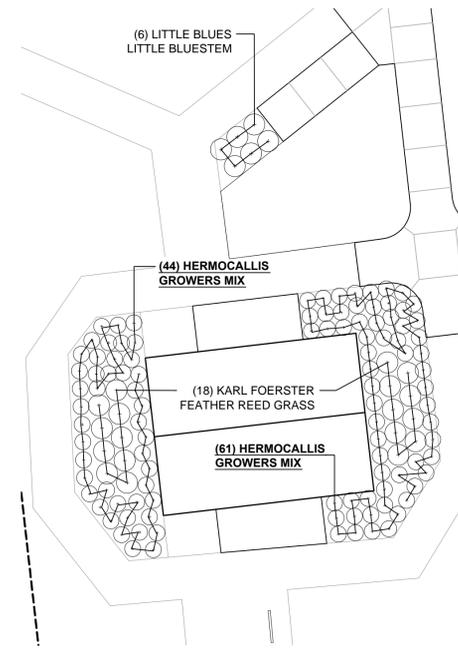
SE WILLOWBROOK DRIVE



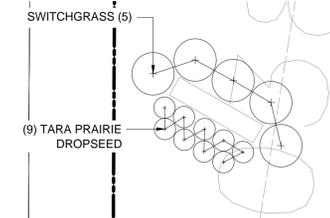
SE DRIFTWOOD LANE

**LEGEND**

- PROPERTY LINE
- - - - - LIMIT OF CONSTRUCTION
- 995— EXISTING CONTOUR
- EXISTING DECIDUOUS TREE



**1 PLANTING PLAN ENLARGEMENT 'A'**  
SCALE: 1/8" = 1'-0"



**2 PLANTING PLAN ENLARGEMENT 'B'**  
SCALE: 1/4" = 1'-0"

**PLANTING NOTES**

1. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
3. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
4. SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
5. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
6. ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S.
7. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT MATERIAL TYPE, SIZE, AND/OR QUANTITY.
9. STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING. DO NOT PLANT TREES OR SHRUBS IN SWALE AREAS.
10. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
11. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS; PRIOR TO BACKFILLING WITH PLANTING MIX.
12. ALL LAWN AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
13. PROVIDE SHREDDED HARDWOOD OR CYPRESS BARK MULCH, NATURAL COLOR, IN ALL PLANT SAUCERS AND PLANTING BEDS TO A 3-INCH MINIMUM DEPTH. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING.
14. ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED; SEE SPECIFICATIONS.
15. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOTS SHALL BE IMMEDIATELY REPAIRED BY A TRAINED AND APPROVED ARBORIST AT THE CONTRACTOR'S EXPENSE. VEGETATION TRIMMING REQUIRED TO FACILITATE CONSTRUCTION OPERATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND THEN PERFORMED BY TRAINED TREE MAINTENANCE PERSONNEL. NO VEGETATION SHALL BE REMOVED OR ALTERED WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
16. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.

**PLANT SCHEDULE**

OVERSTORY TREES			
QTY.	BOTANICAL NAME	COMMON NAME	X' CAL.
4	Acer saccharum	Sugar Maple	2 1/2" CAL.
4	Quercus muhlenbergii	Chinkapin Oak	2 1/2" CAL.
3	Tilia cordata	Littleleaf Linden	2 1/2" CAL.
PERENNIALS & GRASSES			
QTY.	BOTANICAL NAME	COMMON NAME	1 GAL.
18	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL.
4	Scirpochyllum scoparium 'The Blues'	The Blues Little Bluestem	1 GAL.
9	Sporobolus heterolepis 'Tara'	Tara Dwarf Prairie Dropseed	1 GAL.
5	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 GAL.
105	Hermocallis Growers Mix	Daylily Growers Mix (SEE BELOW)	1 GAL.

PROVIDE MIX OF DAYLILIES CONFORMING TO THE FOLLOWING:  
 SIZE: DWARF VARIETIES  
 BLOOM: PERIANTH BLOOMING VARIETIES  
 BLOOM COLOR: 5 COLORS MINIMUM, WITH EACH COLOR COMPRISING 20% OF TOTAL PLANTS

**gēnus**

[ landscape architects ]

325 EAST 5<sup>TH</sup> STREET  
DES MOINES, IA 50309

T 515 284 1010

WWW.GENUS-LA.COM

**OWNER**  
City of Waukee, IA  
230 West Hickman Road  
Waukee, IA 50263  
P 515-978-7900 F 515-987-1845

TITLE & LOGO

GRANT PARK SITE  
IMPROVEMENT PROJECT

KEY MAP

99% COMPLETE  
NOT FOR CONSTRUCTION

NO. DATE REVISION

PRINCIPAL IN CHARGE PROJECT MANAGER

BD AP

PROJECT TEAM MEMBER(S)

DESK

SEAL / STAMP

TITLE

PLANTING PLAN

PROJECT NO.

14005GP

DATE

12-10-14

PROJECT NETWORK PATH

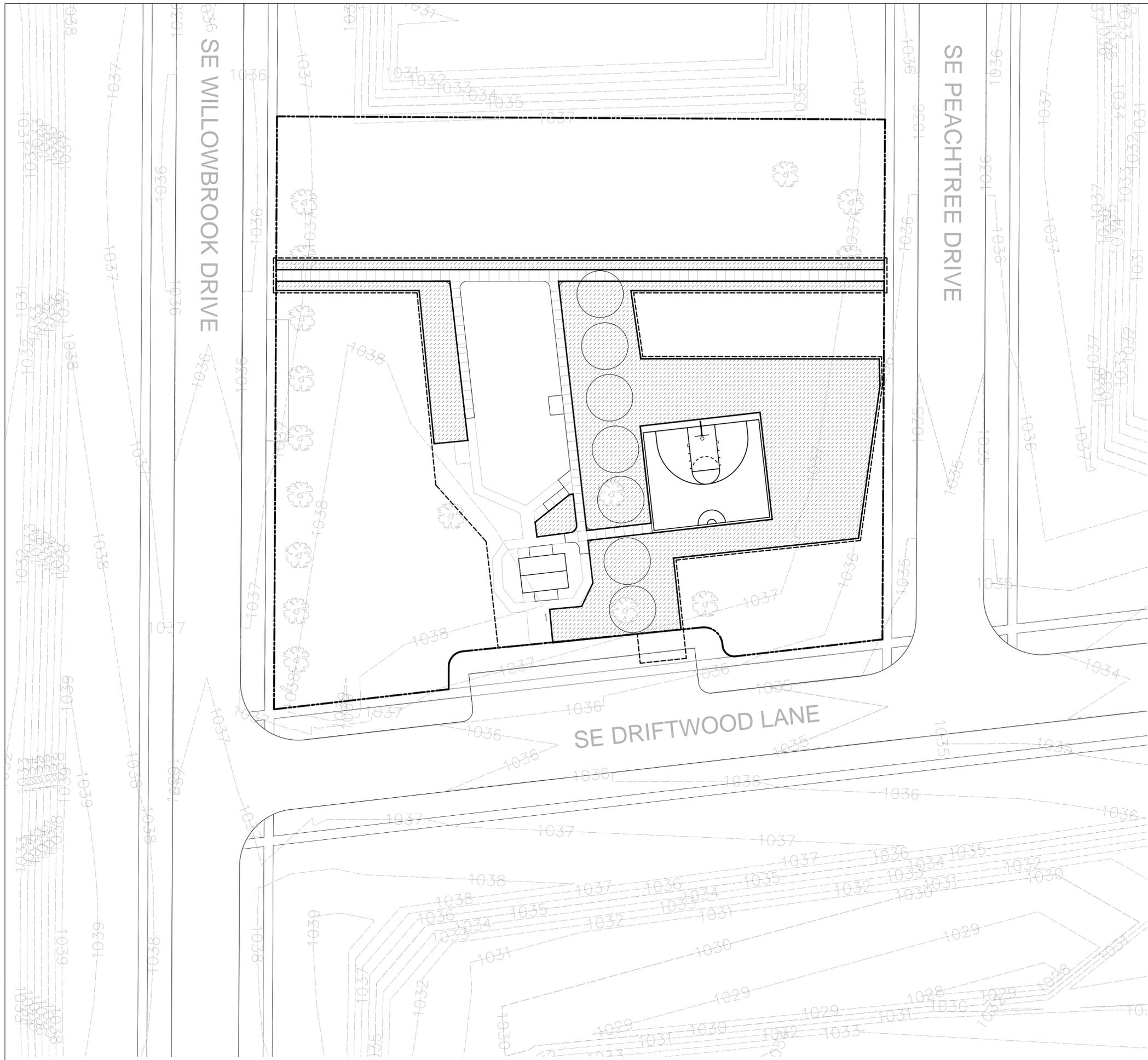
SHEET NUMBER

L4.0



0 10 20 40  
1 INCH = 20 FEET





**LEGEND**

- PROPERTY LINE
- LIMIT OF CONSTRUCTION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE
- TREE PROTECTION FENCING
- PROPOSED CONTOUR
- AREA TO BE SEEDED WITH TURF SEED MIX

**RESTORATION NOTES**

- ① APPROXIMATE LIMITS OF SEEDING. CONTRACTOR TO SEED ALL DISTURBED AREAS.
- ② REFER TO SPECIFICATION FOR SEED COVER MATERIAL
- ③ ALL AREAS OF THE SITE INDICATED TO BE DISTURBED SHALL BE PREPARED IN THE FOLLOWING MANNER:
  1. PREPARE SUBGRADE ACCORDING TO PLAN AND SPECIFICATIONS.
  2. SCARIFY / TILL SUBGRADE TO A 6 INCH MINIMUM DEPTH PRIOR TO PLACEMENT OF TOPSOIL.
  3. PLACE TOPSOIL TO A 6 INCH DEPTH IN ALL AREAS SCHEDULED TO RECEIVE TOPSOIL ACCORDING TO SPECIFICATIONS.
  4. APPLY HERBICIDE TO ANY UNWANTED VEGETATION / WEEDS THAT MAY HAVE EMERGED.
  5. INSTALL TURF AND PLANT MATERIALS NO LESS THAN 14 DAYS AFTER HERBICIDE APPLICATION.

TITLE & LOGO

GRANT PARK SITE  
IMPROVEMENT PROJECT

KEY MAP

99% COMPLETE  
NOT FOR CONSTRUCTION

NO.	DATE	REVISION

PRINCIPAL IN CHARGE	PROJECT MANAGER
BD	AP

PROJECT TEAM MEMBER(S)

DESK

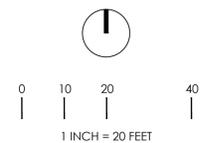
SEAL / STAMP

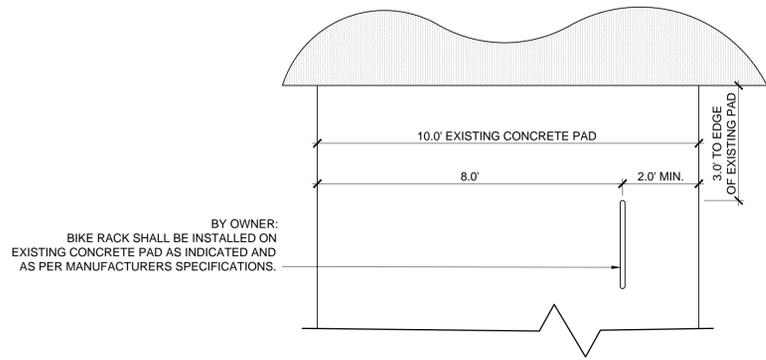
TITLE  
**RESTORATION PLAN**

PROJECT NO.  
14005GP  
DATE  
12-10-14  
PROJECT NETWORK PATH

SHEET NUMBER

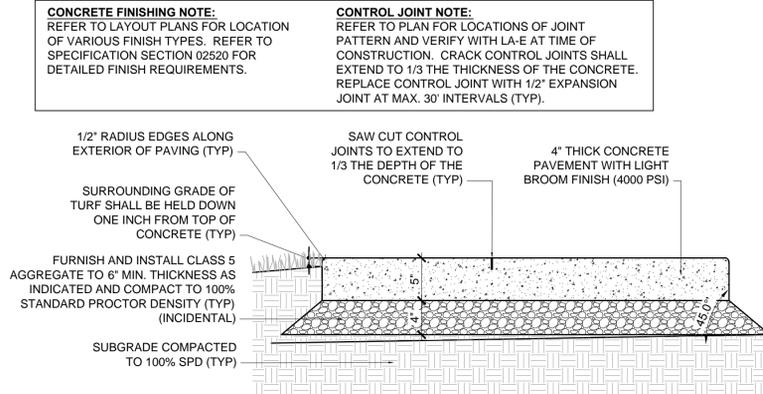
L5.0





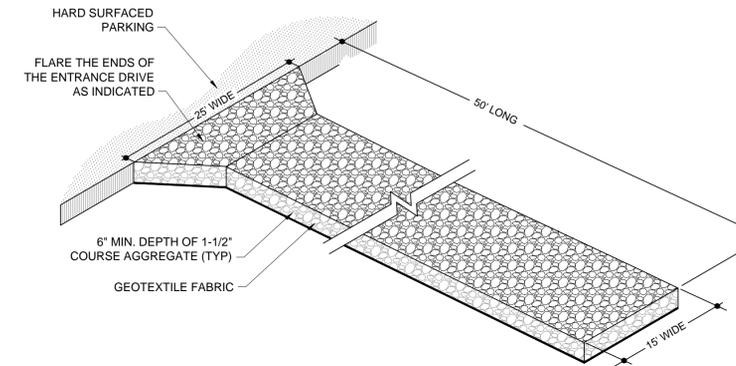
9 BIKE RACK ON EXISTING P.C.C. PAD DETAIL (BY OWNER)

SCALE: NTS



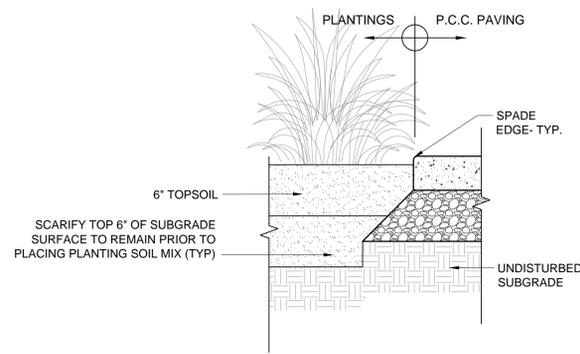
5 P.C.C. PAVING DETAIL

SCALE: NTS



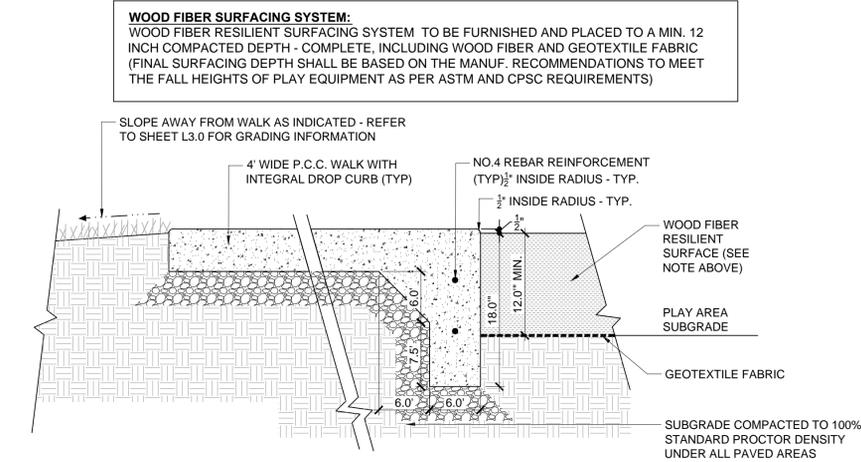
1 ROCK CONSTRUCTION ENTRANCE DRIVE

SCALE: NTS



10 P.C.C. PAVING AND PLANTING SOIL

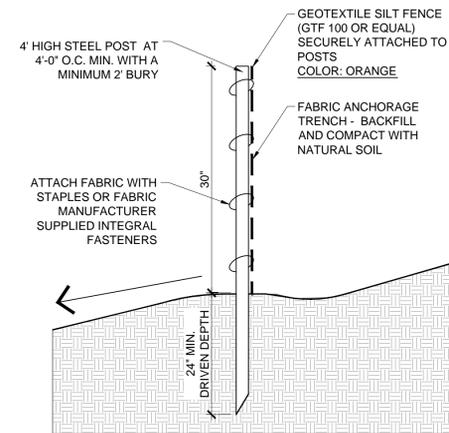
SCALE: NTS



6 4\"/>

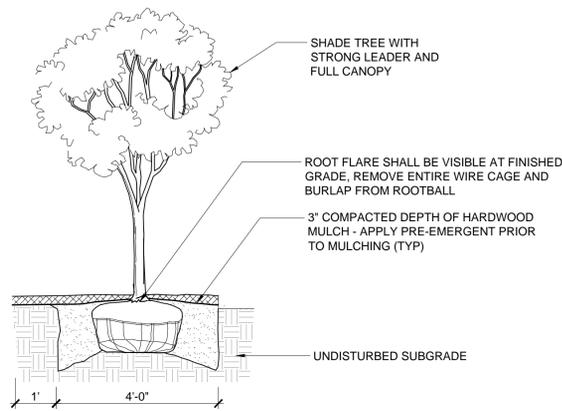
SCALE: NTS

**NOTE:**  
SILT FENCE SHALL BE PLACED PARALLEL TO THE CONTOUR OF THE TERRAIN, WITH THE ENDS WRAPPED UPHILL TO PREVENT FLOW AROUND THEM.  
NO EARTHWORK SHALL BE PERFORMED DOWNGRADE FROM THE FENCE.  
ACCUMULATED SILT AROUND THE FENCE SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD THE HEIGHT OF THE SILT FENCE OR AS DIRECTED IN THE FIELD BY THE OWNER/LA-E WITHIN 24 HOURS OF NOTIFICATION.



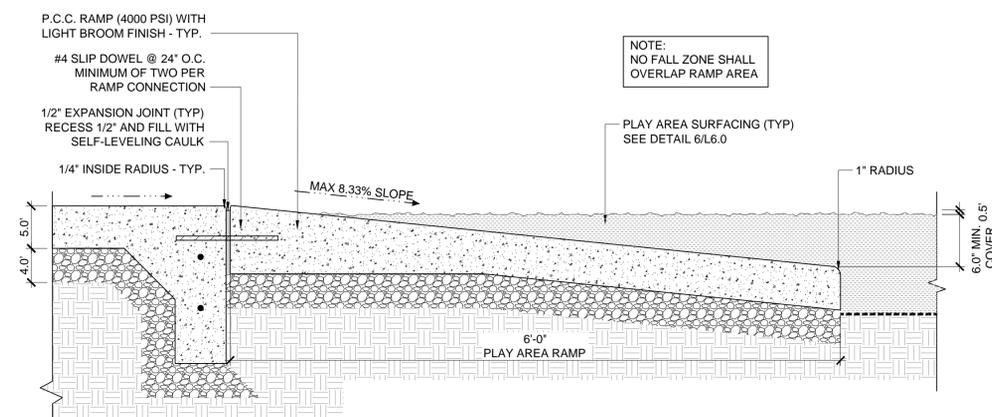
2 EROSION CONTROL SILT FENCE DETAIL

SCALE: NTS



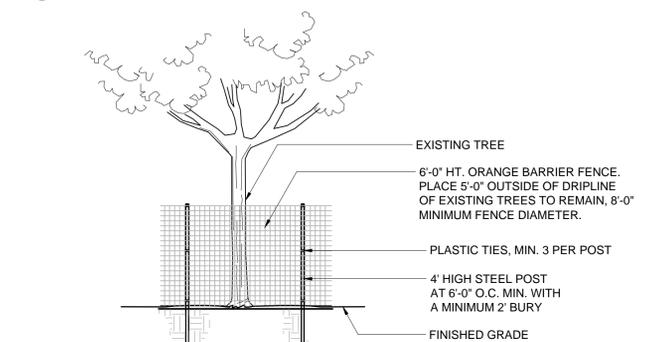
11 DECIDUOUS TREE PLANTING

SCALE: NTS



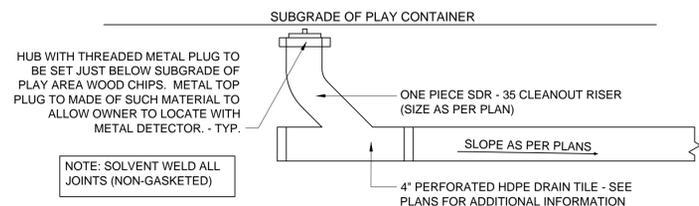
7 PLAY CONTAINER ACCESS DETAIL

SCALE: NTS



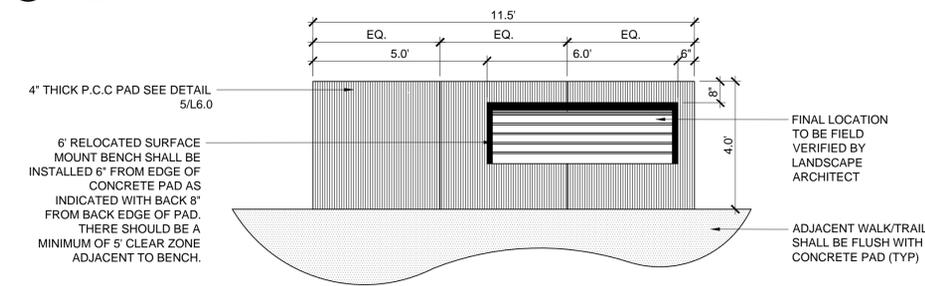
3 TREE PROTECTION FENCING

SCALE: NTS



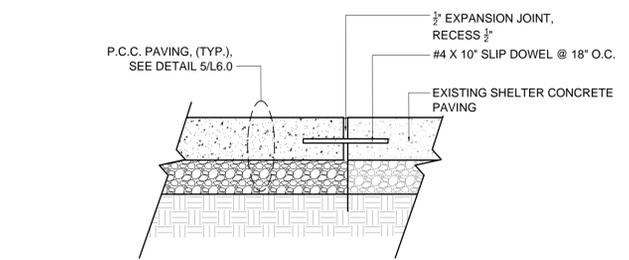
12 4\"/>

SCALE: NTS



8 BENCH ON P.C.C. PAD DETAIL

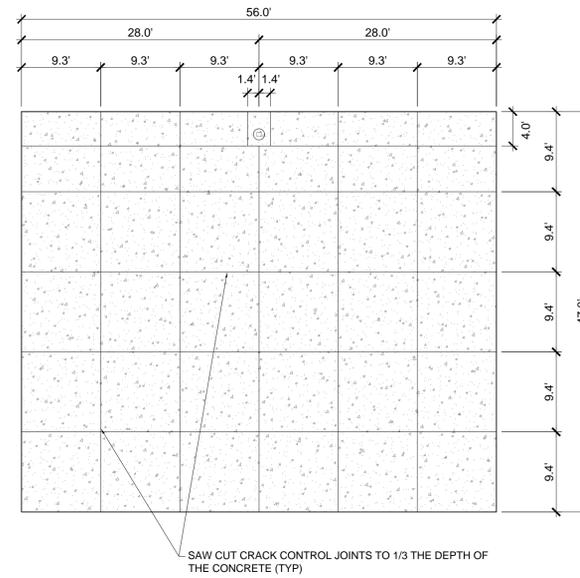
SCALE: NTS



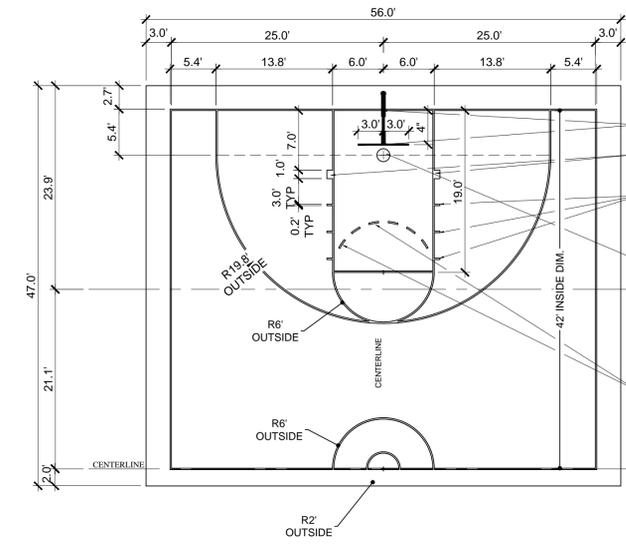
4 P.C.C. DOWEL CONNECTION TO EXISTING PAVING DETAIL

SCALE: NTS

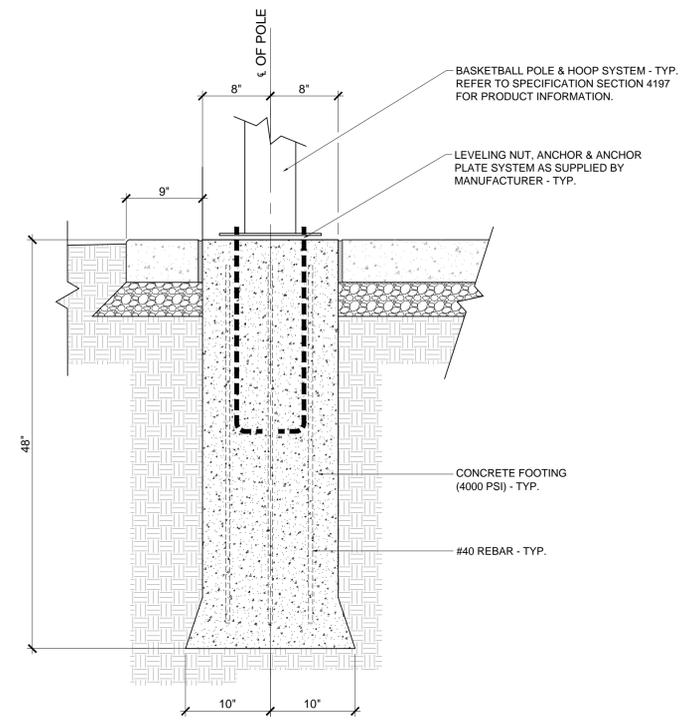
**BASKETBALL COURT STRIPING NOTE:**  
DIMENSIONS FOR BASKETBALL COURT LAYOUT ARE FROM THE OUTSIDE TO OUTSIDE OF THE LINES, UNLESS INDICATED OTHERWISE, WITH THE EXCEPTION OF THE DIMENSIONS TO THE COURT CENTERLINES WHICH ARE MEASURED OUTSIDE TO CENTER. FULL COURT LAYOUT LINES SHALL BE 2" WIDE (TWO COATS) OF NON-REFLECTIVE PAINT CONFORMING TO STANDARD SPECIFICATIONS FOR SPORTS COURT (TYP)



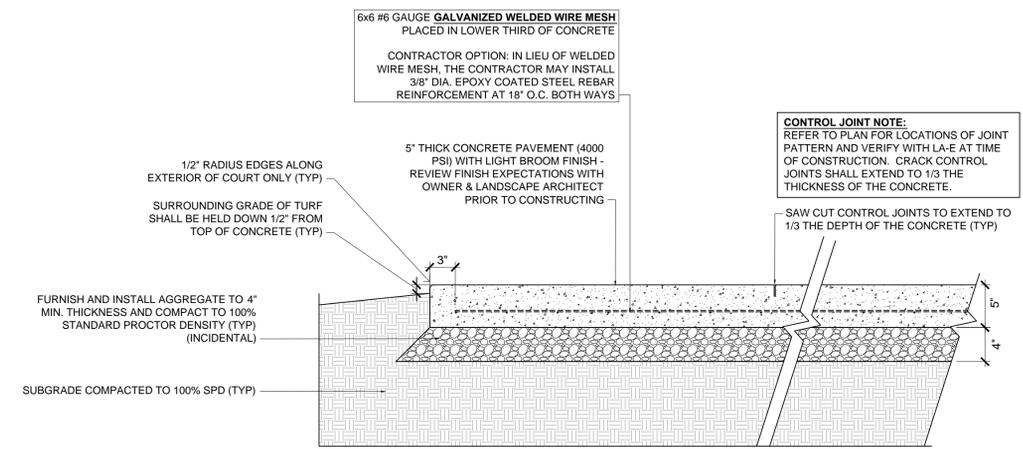
**2 HALF BASKETBALL COURT JOINT DETAIL**  
SCALE: 1" = 10'-0"



**1 HALF BASKETBALL COURT STRIPING DETAIL**  
SCALE: 1" = 10'-0"



**4 BASKETBALL GOAL FOOTING DETAIL (PER MANUFACTURER'S DEATIL)**  
SCALE: NTS



**3 P.C.C. COURT PAVING DETAIL**  
SCALE: NTS

KEY MAP

GRANT PARK SITE  
IMPROVEMENT PROJECT

99% COMPLETE  
NOT FOR CONSTRUCTION

NO. DATE REVISION

PRINCIPAL IN CHARGE PROJECT MANAGER  
**BD AP**

PROJECT TEAM MEMBER(S)

CHECK

SEAL / STAMP

TITLE  
**BASKETBALL COURT  
DETAILS**

PROJECT NO.  
**14005GP**  
DATE  
**12-10-14**  
PROJECT NETWORK PATH

SHEET NUMBER