

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT:

KUM & GO L.C.
6400 WESTOWN PARKWAY
WEST DES MOINES, IA 50266
ATTN: NICK HALFHILL
PH: (515) 457-6290

WATER:

805 UNIVERSITY AVE
WAUKEE, IA 50263
CONTACT: JOHN GIBSON
PH: (515)978-7920

GAS:

805 UNIVERSITY AVE
WAUKEE, IA 50263
CONTACT: JOHN GIBSON
PH: (515)978-7920

ENGINEER:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

SANITARY SEWER:

805 UNIVERSITY AVE
WAUKEE, IA 50263
CONTACT: JOHN GIBSON
PH: (515)978-7920

BUILDING DEPARTMENT:

230 W HICKMAN RD
WAUKEE, IA 50263
CONTACT: KEITH RASH
PH: (515)978-7893

LANDSCAPE ARCHITECT:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

ELECTRIC:

MIDAMERICAN ENERGY
866 GRAND AVE
DES MOINES, IA 50309
CONTACT: DAWN MARTINO
PH: (515)252-6597

HEALTH DEPARTMENT:

DALLAS COUNTY PUBLIC
HEALTH & HOME HEALTH
9002 COURT ST
ADEL, IA 50003
PH: (515)993-3750

GEOTECHNICAL ENGINEER:

TERRACON CONSULTANTS, INC
600 SW 7TH STREET, SUITE M
DES MOINES, IOWA 50010
CONTACT: BRETT BRADFIELD
PH: (515) 244-3184

STORM SEWER:

805 UNIVERSITY AVE
WAUKEE, IA 50263
CONTACT: JOHN GIBSON
PH: (515)978-7920

SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: KEITH WEGGEN
PH: (515) 369-4400

TELEPHONE:

CENTURY LINK
2103 E. UNIVERSITY
DES MOINES, IA 50317
CONTACT: DAVE HARRIS
PH: (303)263-7250

BENCH MARKS

DALLAS COUNTY WDM59
ELEVATION=959.26

PROPERTY DESCRIPTION

THE AREA LYING EAST OF THE CONDEMNATION RECORDED IN BOOK 13, PAGE 96 THROUGH 106, DATED JANUARY 20, 2009 AND THE AREA LYING EAST OF THE CONDEMNATION RECORDED IN BOOK 14, PAGE 263 THROUGH 610 AND THE AREA LYING EAST OF CONDEMNATION RECORDED IN BOOK 1, PAGE 295 IN THE SOUTH 35 ACRES OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.

FLOOD ZONE

ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN.
MAP NUMBER: 19049C0355E
EFFECTIVE: DECEMBER 4, 2007

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

SUBMITTAL DATES

SITE PLAN SUBMITTAL #1: 03-31-2015
SITE PLAN SUBMITTAL #2: 05-28-2015
SITE PLAN SUBMITTAL #3: 06-29-2015
SITE PLAN SUBMITTAL #4: 07-17-2015

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = 07-01-2015
ANTICIPATED FINISH DATE = 12-01-2015



WHERE & MEANS MORE

GENERAL LEGEND

PROPOSED

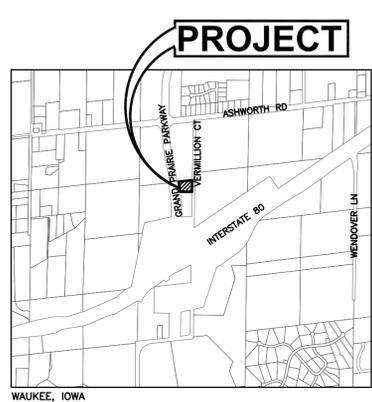
- LOT LINE
- PERMANENT EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- SANITARY SERVICE
- STORM SEWER
- STORM SERVICE
- WATER MAIN WITH SIZE
- WATER SERVICE WITH SIZE
- 2" CONDUIT
- SILT FENCE
- FULL DEPTH SAW CUT

EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- ROOF DRAIN/ DOWNSPOUT
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

VICINITY MAP

NOT TO SCALE



PRELIMINARY PLAT/
SITE PLAN DRAWINGS
STORE #540
WAUKEE, IA

SHEET INDEX

| | | |
|-------|--------------------------------------|-----------|
| 1 | COVER SHEET | C0.0 |
| 2 | TOPOGRAPHIC SURVEY / DEMOLITION PLAN | C1.1 |
| 3 | PRELIMINARY PLAT | C1.2 |
| 4-5 | DIMENSION PLAN | C2.1-C2.2 |
| 6-7 | GRADING PLAN | C3.1-C3.2 |
| 8 | EROSION AND SEDIMENT CONTROL PLAN | C3.3 |
| 9-10 | UTILITY PLAN | C4.1-C4.2 |
| 11-13 | DETAILS | C5.1-C5.4 |
| 14-15 | LANDSCAPE PLAN | L1.1-L1.2 |

SITE DATA

| | | |
|--|-----------------------------|--------------|
| STORE TYPE | MARKETPLACE | |
| CANOPY / DISPENSER ARRANGEMENT | 8 DISPENSERS (DOUBLE) | |
| TYPE OF USE | CONVENIENCE STORE WITH FUEL | |
| HEIGHT | BUILDING | 23'-1 3/4" |
| | TOP OF MASONRY | 17'-4" |
| | CANOPY | 20'-10" |
| GROSS FLOOR AREA | 6,167 S.F. | |
| GROSS CANOPY AREA | 6,027 S.F. | |
| GROSS LOT AREA | 499,845 S.F. 22.29 ACRES | |
| FAR (INCLUDING CANOPY) | 0.12 | |
| BUILDING COVERAGE | 6,167 S.F. (6.2%) | |
| LANDSCAPE COVERAGE | 36,760 SF (36.8%) | |
| PARKING/DRIVE/SIDEWALK COVERAGE | 56,918 SF (57.0%) | |
| BICYCLE PARKING | | 2 SPACES |
| REQUIRED PARKING | STANDARD | STANDARD: 27 |
| | ADA | ADA: 2 |
| | TOTAL | TOTAL: 29 |
| PARKING RATIO = 5 CAR/1,000 S.F. OF G.F.A. | | |
| PROVIDED PARKING | STANDARD | 27 |
| | ADA | 2 |
| | TOTAL | 29 |
| PARKING RATIO = 5.08 CARS/1,000 S.F. | | |

ZONING INFORMATION

| | |
|--|-----------|
| ZONE: K-RR KETTLESTONE RETAIL REGIONAL | |
| MINIMUM LOT AREA (SQUARE FEET) | N/A |
| MINIMUM LOT WIDTH (FEET) | N/A |
| SITE AREA PER UNIT (SQUARE FEET) | 99839 |
| FRONT YARD SETBACK (FEET) | 0 |
| FRONT YARD CANOPY SETBACK (FEET) | 0 |
| SIDE YARD SETBACK (FEET) | 0 |
| REAR YARD SETBACK (FEET) | 0 |
| MAXIMUM HEIGHT (FEET) | 8 STORIES |
| MAXIMUM BUILDING COVERAGE | 35% |
| MAXIMUM IMPERVIOUS COVERAGE | 80% |
| MAXIMUM FLOOR AREA | N/A |

THIS SITE PLAN DRAWING PACKAGE IS FOR SITE PLAN APPROVAL THROUGH THE CITY OF WAUKEE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. REFER TO SEPARATE CONSTRUCTION DOCUMENTS FOR DETAILED CONSTRUCTION INFORMATION.

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08155001-01 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

RYAN A. HARBOTH
20811
DATE: _____

LICENSE RENEWAL DATE IS DECEMBER 31, 2015
PAGES OR SHEETS COVERED BY THIS SEAL:
C0.0, C1.1, C2.1-2.2, C3.1-3.2, C4.1-4.2

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

KEITH WEGGEN
00442
DATE: _____

LICENSE RENEWAL DATE IS JUNE 30, 2016
PAGES OR SHEETS COVERED BY THIS SEAL:
L1.1, L1.2

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR., SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1307.203



6400 Westown Parkway
West Des Moines, Iowa
50266
P: 515-226-0128
F: 515-223-9873

540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
COVER SHEET

KG PROJECT TEAM:
RDR:
SDM:
CPM:

| DATE | REVISION DESCRIPTION |
|------|----------------------|
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| | |

DATE: 07-17-2015

SHEET NUMBER:

C0.0

THIS PROJECT IS REGISTERED UNDER THE LEED GREEN BUILDING CERTIFICATION PROGRAM.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

FILE: N:\015\1307203\015\1307203-01-STEERING... COMMENT: DATE: 7/17/2015 11:28 AM

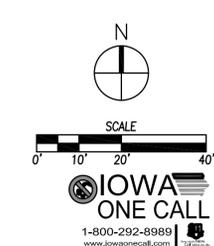


DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY OF WAUKEE
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

FLAG NOTES

- ① REMOVE AND DISPOSE OF TREE AND STUMP
- ② REMOVE AND DISPOSE OF FIELD FENCE
- ③ REMOVE AND DISPOSE OF GRAVEL
- ④ REMOVE AND DISPOSE OF GRAVEL EDGE
- ⑤ CLEAR AND GRUB TREE LINE
- ⑥ RELOCATE OVERHEAD ELECTRIC





CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DR. SUITE G, GRAMES, IOWA 50111
 PH: (515) 388-4400 Fax: (515) 388-4410
 PROJECT NO. 1301203



6400 Westown Parkway
 West Des Moines, Iowa
 50266
 P: 515-226-0128
 F: 515-223-9873

540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
TOPOGRAPHIC SURVEY/DEMOLITION PLAN

| DATE | REVISION DESCRIPTION | REVISIONS |
|------|----------------------|-----------|
| | | |
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| | | |

| | |
|--|--|
| KG PROJECT TEAM: RDR: SDM: CPM: | DATE: 07-17-2015 SHEET NUMBER: C1.1 |
|--|--|



1-800-292-8989
 www.iowaonecall.com

OAKLEAF PLAT 1

PRELIMINARY PLAT

OWNER:

OAKLEAF PROPERTIES, LC
1200 35TH STREET, SUITE 705
WEST DES MOINES, IA 50266

DEVELOPER:

KUM & GO L.C.
6400 WESTOWN PARKWAY
WEST DES MOINES, IA 50266
ATTN: JOHN THATCHER
PH: (515) 226-0128

ZONING INFORMATION

| | |
|------------------------------|-----------------------------------|
| ZONE: | K--RR KETTLESTONE RETAIL REGIONAL |
| MINIMUM LOT AREA: | N/A |
| MINIMUM LOT WIDTH: | N/A |
| SITE AREA PER UNIT: | 99,839 SF |
| FRONT YARD SETBACK: | 0' |
| FRONT YARD CANOPY SETBACK: | 0' |
| SIDE YARD SETBACK: | 0' |
| REAR YARD SETBACK: | 0' |
| MAXIMUM HEIGHT: | 8 STORIES |
| MAXIMUM BUILDING COVERAGE: | 35% |
| MAXIMUM IMPERVIOUS COVERAGE: | 80% |
| MAXIMUM FLOOR AREA: | N/A |

ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR, SUITE G
GRIMES, IOWA 50111

DATE OF SURVEY:

SEPTEMBER 18, 2013

BENCH MARK:

DALLAS COUNTY WDM59 N=574181.4 E=1531792.3
NEAR THE SE COR OF SECTION 1-78-27
ELEVATION=995.26

LEGEND:

| | | |
|--|-------|--------|
| SECTION CORNER AS NOTED | FOUND | SET |
| 1/2" REBAR, YELLOW CAP#16747 (UNLESS OTHERWISE NOTED) | ▲ | △ |
| PLATTED BEARING & DISTANCE | ● | ○ |
| MEASURED BEARING & DISTANCE | P | M |
| RECORDED BEARING & DISTANCE | R | D |
| DEEDED BEARING & DISTANCE | MPE | P.U.E. |
| MINIMUM PROTECTION ELEVATION | | |
| PUBLIC UTILITY EASEMENT | | |
| CENTERLINE | | |
| SECTION LINE | | |
| EASEMENT LINE | | |

PLAT DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

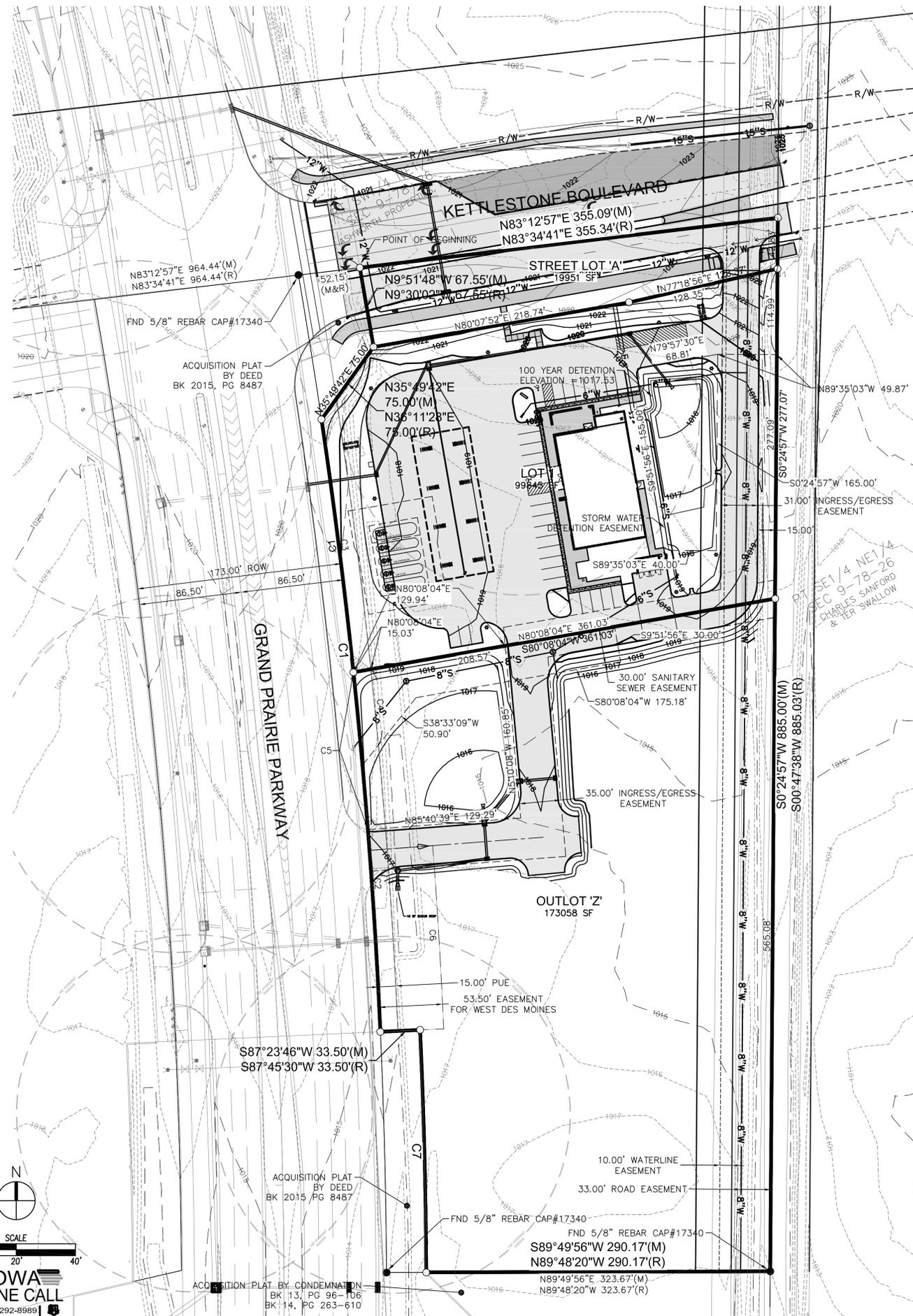
COMMENCING AT THE CENTER OF SAID SECTION 9; THENCE NORTH 00°24'09" EAST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 9, A DISTANCE OF 1165.78 FEET; THENCE NORTH 83°12'57" EAST, 964.44 FEET TO THE POINT OF BEGINNING AND THE NORTHEAST CORNER OF AN ACQUISITION PLAT RECORDED IN BOOK 2015, PAGE 8487; THENCE NORTH 83°12'57" EAST, 355.09 FEET TO THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTH 00°24'57" WEST ALONG SAID EAST LINE, 885.00 FEET TO THE EASTERLY LINE OF AN ACQUISITION PLAT RECORDED IN BOOK 13 PAGE 96; THENCE SOUTH 89°49'56" WEST ALONG SAID EASTERLY LINE, 290.17 FEET TO THE EAST LINE OF AN ACQUISITION PLAT RECORDED IN BOOK 2015 PAGE 8487; THENCE NORTHERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 5120.00 FEET, WHOSE ARC LENGTH IS 203.73 FEET AND WHOSE CHORD BEARS NORTH 1°27'50" WEST, 203.71 FEET TO THE NORTHEAST CORNER OF SAID ACQUISITION PLAT; THENCE SOUTH 87°23'46" WEST ALONG THE NORTH LINE OF SAID ACQUISITION PLAT, 33.50 FEET TO THE EAST LINE OF AN ACQUISITION PLAT RECORDED IN BOOK 13 PAGE 96; THENCE NORTHERLY ALONG SAID EAST LINE AND A CURVE CONCAVE WESTERLY WHOSE RADIUS IS 5086.50 FEET, WHOSE ARC LENGTH IS 517.01 FEET AND WHOSE CHORD BEARS NORTH 05°30'57" WEST, 516.78 FEET TO THE SOUTHERLY LINE OF AN ACQUISITION PLAT RECORDED IN BOOK 2015 PAGE 8487; THENCE NORTH 35°49'42" EAST ALONG SAID SOUTHERLY LINE, 75.00 FEET TO THE SOUTHWEST CORNER OF SAID ACQUISITION PLAT; THENCE NORTH 9°51'48" WEST ALONG THE EASTERLY LINE OF SAID ACQUISITION PLAT, 67.55 FEET TO THE POINT OF BEGINNING AND CONTAINING 6.72 ACRES (292,854 SQUARE FEET) THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

NOTE

- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFIRM WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- ANY ELEVATIONS SHOWN ON THE FINAL PLAT WERE PROVIDED BY PROJECT ENGINEER AND ARE NOT CERTIFIED BY THIS SURVEYOR.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- STREET LOT 'A' IS DEDICATED TO THE CITY OF WAUKEE FOR PUBLIC RIGHT OF WAY BY RECORDING THE PLAT AS STATED IN CHAPTER 354.19 IN THE CODE OF IOWA.

CURVE DATA:

| CURVE | DELTA | RADIUS | LENGTH | BEARING | CHORD | DELTA | RADIUS | LENGTH | BEARING | CHORD |
|-------|----------|----------|---------|------------|---------|-------|----------|----------|---------|--------------------|
| (M)C1 | 5°49'25" | 5086.50' | 517.01' | N5°30'57"W | 516.78' | (R)C1 | 5°49'25" | 5086.50' | 517.02' | N/S N/S |
| C2 | 3°24'40" | 5086.50' | 302.83' | S4°18'34"E | 302.78' | | | | | |
| C3 | 2°24'45" | 5086.50' | 214.18' | S7°13'17"E | 214.16' | | | | | |
| C4 | 0°43'06" | 5101.50' | 63.95' | N5°40'02"W | 63.95' | | | | | |
| C5 | 1°29'43" | 5086.50' | 132.75' | N5°16'03"W | 132.75' | | | | | |
| C6 | 1°43'08" | 5140.00' | 154.20' | N3°27'48"W | 154.20' | (R)C6 | 1°43'08" | 5140.00' | 154.20' | N3°06'04"W 154.19' |
| C7 | 2°16'47" | 5120.00' | 203.73' | N1°27'50"W | 203.71' | (R)C7 | 2°16'47" | 5120.00' | 203.73' | N1°06'07"W 203.71' |



6400 Westown Parkway
West Des Moines, Iowa
50266
P: 515-226-0128
F: 515-223-9873

540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
PRELIMINARY PLAT

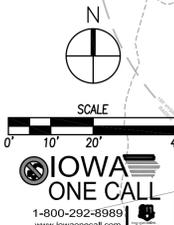
KG PROJECT TEAM:
RDR:
SDM:
CPM:

| REVISION DESCRIPTION | DATE | REVISIONS |
|----------------------|------|-----------|
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| | | |

DATE: 07-17-2015

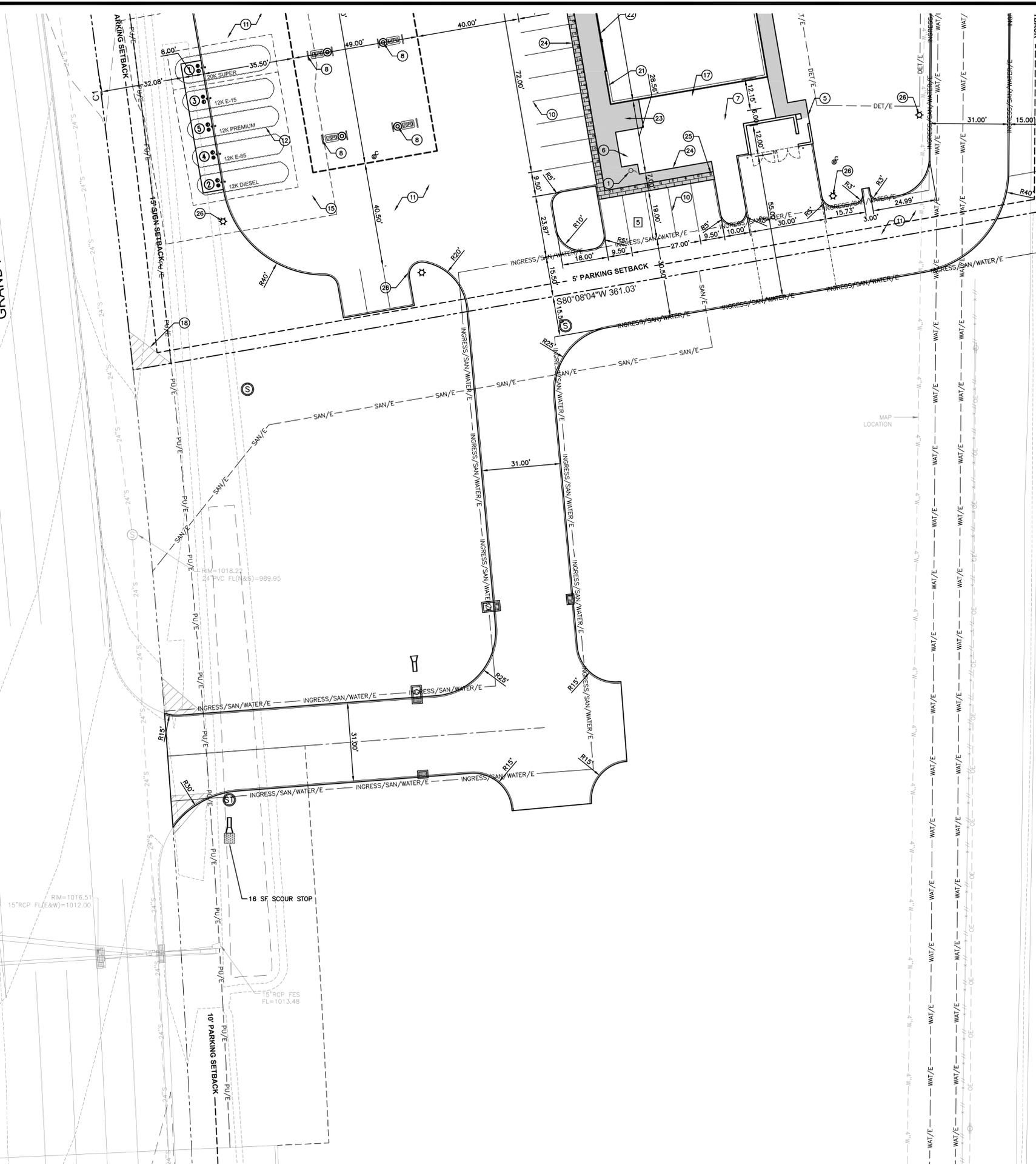
SHEET NUMBER:

C1.2



ACQUISITION PLAT BY CONDEMNATION
BK 13, PG 96-106
BK 14, PG 263-610

GRAND PRAIRIE PARKWAY



GENERAL NOTES

1. WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF WAUKEE STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY OF WAUKEE CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ALL PROJECT IMPROVEMENTS SHALL MEET OR EXCEED THE KUM & GO STANDARD SITEWORK SPECIFICATIONS.
20. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
21. MONUMENT SIGNS, BUILDING SIGNAGE, AND CANOPY SIGNAGE ARE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
22. ALL STAKING IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
23. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
24. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT 72 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
25. AN AS-BUILT SITE PLAN ILLUSTRATING THE LOCATION AND DEPTHS OF SITE UTILITIES AND GRADES FOR DRAINAGE SWALES, DETENTION FACILITIES AND FFE'S SHALL BE PROVIDED IN PDF FORM AND HARD COPY UPON COMPLETION OF EACH PHASE OF DEVELOPMENT TO THE CITY WAUKEE'S DEVELOPMENT SERVICES DEPARTMENT.
26. SIGN STATING EMERGENCY PROCEDURES SIGN SHALL APPROVED BY THE FIRE DEPARTMENT AND BE POSTED IN A CONSPICUOUS LOCATION.
27. WARNING SIGNS SHALL BE CONSPICUOUSLY POSTED WITHIN SIGHT OF EACH PUMP IN THE FUEL DISPENSING AREA AND SHALL READ PER THE 2009 EDITION OF THE INTERNATIONAL FIRE CODE (IFC) SECTION 2205.6.
28. EMERGENCY FUEL DISCONNECT SWITCH SHALL BE LOCATED WITHIN 100 FEET, BUT NOT LESS THAN 20 FEET FROM FUEL DISPENSERS AND LABELED WITH A SIGN.

TRAFFIC CONTROL NOTES

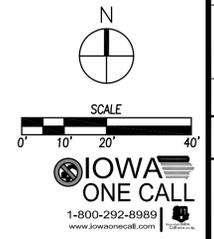
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

- | | |
|----------------------------------|-------------------|
| 1. SIDEWALK ADJACENT TO BUILDING | 6" P.C.C. |
| 2. PARKING | 6" P.C.C. |
| 3. DRIVES | 7" P.C.C. |
| 4. PAVING WITHIN RIGHT OF WAY | 8" P.C.C. MINIMUM |

FLAG NOTES

- ① PROPOSED FLAG POLE
- ② PROPOSED MONUMENT SIGN WITH PRICING
- ③ PROPOSED ACCESSIBLE PARKING SPACE WITH POLE MOUNTED ADA PARKING SIGN
- ④ FRONT ENTRY, SEE ARCHITECTURAL DRAWINGS
- ⑤ PROPOSED 12x30 FOOT TRASH ENCLOSURE, SEE ARCHITECTURAL DRAWINGS
- ⑥ PROPOSED BOLLARD BIKE RACK
- ⑦ PROPOSED DESIGNATED SMOKING AREA
- ⑧ PROPOSED FUEL DISPENSER ISLAND
- ⑨ PROPOSED FUEL CANOPY
- ⑩ PROPOSED 4 INCH YELLOW PARKING STRIPING
- ⑪ PROPOSED 7 INCH P.C.C. PAVEMENT
- ⑫ PROPOSED UNDER GROUND STORAGE TANK LOCATIONS
- ⑬ LIMITS OF PROPOSED PAVEMENT
- ⑭ PROPOSED AIR MACHINE, COORDINATE MOUNT WITH SUPPLIER
- ⑮ TANK OVERDIG LIMITS
- ⑯ PROPOSED 4 INCH YELLOW PARKING STRIPING, 24 INCHES O.C. AT 45 DEGREES
- ⑰ PROPOSED TRANSFORMER LOCATION
- ⑱ VISION TRIANGLE
- ⑲ PROPOSED STOP SIGN PROVIDED FOR ACCESSING PUBLIC RIGHT-OF-WAY
- ⑳ PROPOSED ICE MACHINE
- ㉑ PROPOSED REDBOX VENDING MACHINE
- ㉒ PROPOSED MISCELLANEOUS MERCHANDISE
- ㉓ PROPOSED PROPANE
- ㉔ PROPOSED 4 INCH P.C.C. SIDEWALK
- ㉕ PROPOSED BOLLARDS
- ㉖ PROPOSED LIGHT POLE



CIVIL DESIGN ADVANTAGE
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 PROJECT NO. 1307203



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540 - WAUKEE, IOWA
 GRAND PRAIRIE PARKWAY
 DIMENSION PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

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DATE: 07-17-2015
 SHEET NUMBER: C2.2





GRADING NOTES

1. THE COMPLETION AND APPROVAL OF THE COSECO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2019 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 0.5% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLAT (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
14. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
15. THE GENERAL PERMIT NO. 2 HOLDER SHALL BE RESPONSIBLE FOR PROVIDING A REPORT IDENTIFYING THAT TOPSOIL PRESERVATION REQUIREMENTS HAVE BEEN MET PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLETION. 4" TOPSOIL QUANTITY = 455 CY

TOTAL AREA OF DISTURBANCE

140,370 SF (3.2 ACRES)

FLAG NOTES

- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 1.75% GRADE IN ANY DIRECTION
- ② MATCH EXISTING GRADE
- ③ ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
- ④ 48 SF OF PERMANENT TURF REINFORCEMENT MATTING



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540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
GRADING PLAN

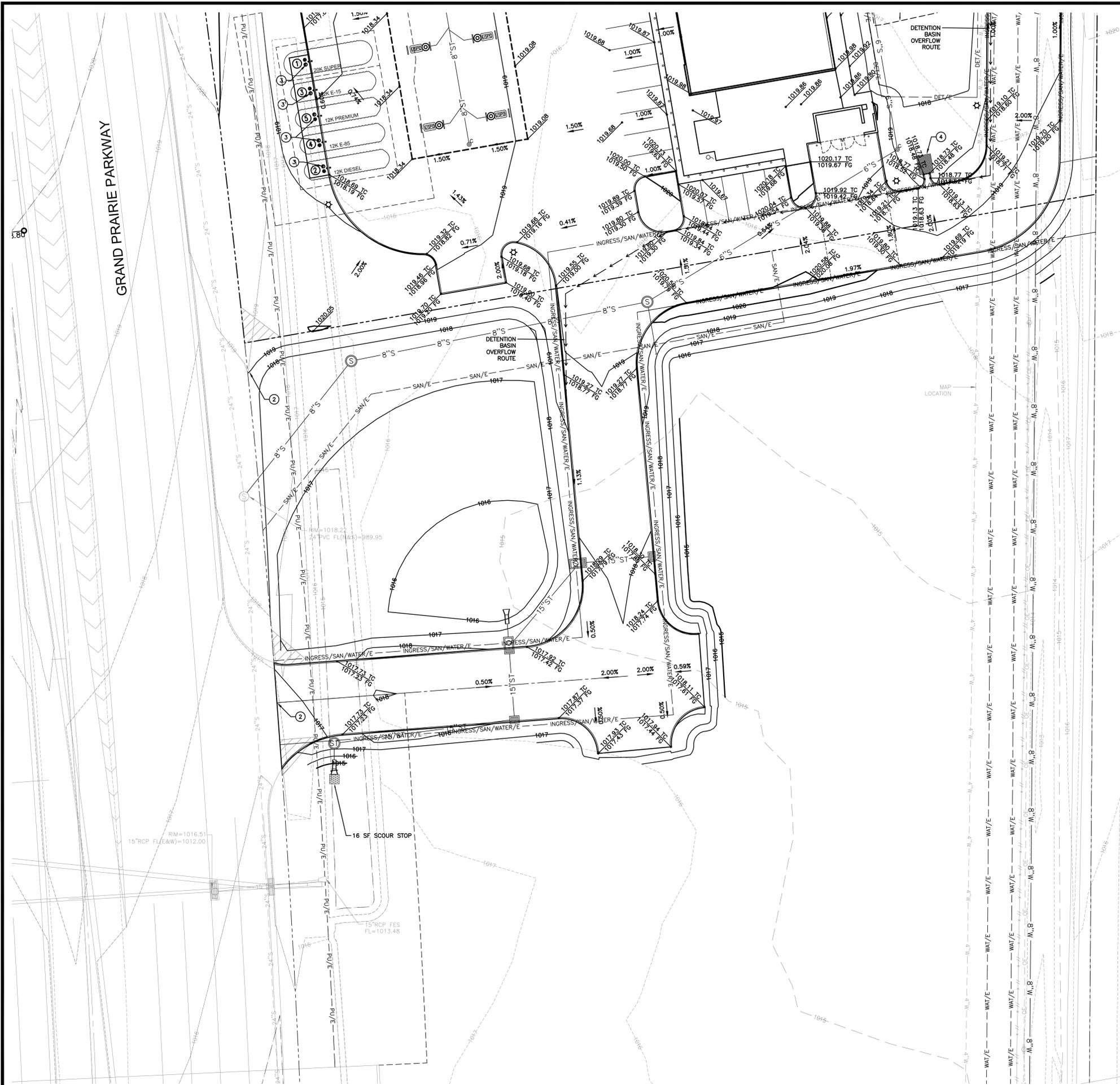
KG PROJECT TEAM:
RDR:
SDM:
CPM:

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DATE: 07-17-2015
SHEET NUMBER:
C3.1

SCALE
0' 10' 20' 40'

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www.iowaonecall.com



GRADING NOTES

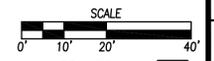
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540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
GRADING PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

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DATE: 07-17-2015

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REVISIONS



EROSION CONTROL NOTES

- THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE SWPPP AND LOCAL, STATE AND FEDERAL REQUIREMENTS. THE OWNER SHALL EMPLOY A SEPARATE FIRM TO PROVIDE SWPPP MONITORING AND UPDATES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE SELECTED FIRM.
- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO SUDAS CHAPTER 7 EROSION AND SEDIMENT CONTROL.
- THE FOLLOWING PROCEDURE MUST BE ADHERED TO BY THE CONTRACTOR WHEN CONVERTING THE TEMPORARY SEDIMENT BASINS TO PERMANENT DRY BOTTOM DETENTION FACILITIES.
 - DO NOT REMOVE A SEDIMENT BASIN UNTIL THE UPSTREAM AREA HAS BEEN STABILIZED WITH VEGETATION. CONSULT WITH THE EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO THE CONVERSION TO ENSURE THAT THE TIMING IS APPROPRIATE. MAINTAIN STORM SEWER INLET PROTECTION TO ENSURE OFF SITE PROPERTIES ARE PROTECTED FROM SEDIMENT LEAVING SITE.
 - DEWATER THE BASIN THROUGH PUMPING AND MAKE SURE THE EFFLUENT IS FILTERED BY A METHOD APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
 - REMOVE ACCUMULATED SEDIMENT (AS NEEDED) TO ESTABLISH THE FINAL GRADE OF THE POND. SEDIMENT MUST BE DISPOSED OF IN AN AREA APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
 - GRADE AND ROUGHEN THE BOTTOM OF THE BASIN TO PREPARE IT FOR SODDING. RESPREAD 4 INCHES OF TOP SOIL OVER AREAS TO BE SODDED.
 - SOD AREAS OF THE BASIN TO ENSURE SOIL IS NOT DISPLACED DURING RAIN EVENT.
 - INSTALL EROSION STONE AROUND SEDIMENT STANDPIPES LOCATED IN THE BASIN AS SHOWN IN THIS PLAN SET.
 - INSPECT AND CLEAN OUT ALL STORM SEWER AND OUTLET STRUCTURES TO ENSURE THEY ARE CLEAN AND NO BUILD UP OF SEDIMENT HAS OCCURRED. IF A BUILD UP OF SEDIMENT IS PRESENT THE CONTRACTOR WILL BE RESPONSIBLE FOR JETTING OUT ALL PIPES.
 - AFTER CONVERSION IS COMPLETE, PREPARE AND SUBMIT CERTIFIED AS-BUILT PLANS OF THE POND TO THE CITY OF WAUKEE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BASIN UNTIL VEGETATION IS ESTABLISHED.

SWPPP LEGEND

- DRAINAGE ARROW X.XX %
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- TEMPORARY STANDPIPE
- UNDISTURBED AREA
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN



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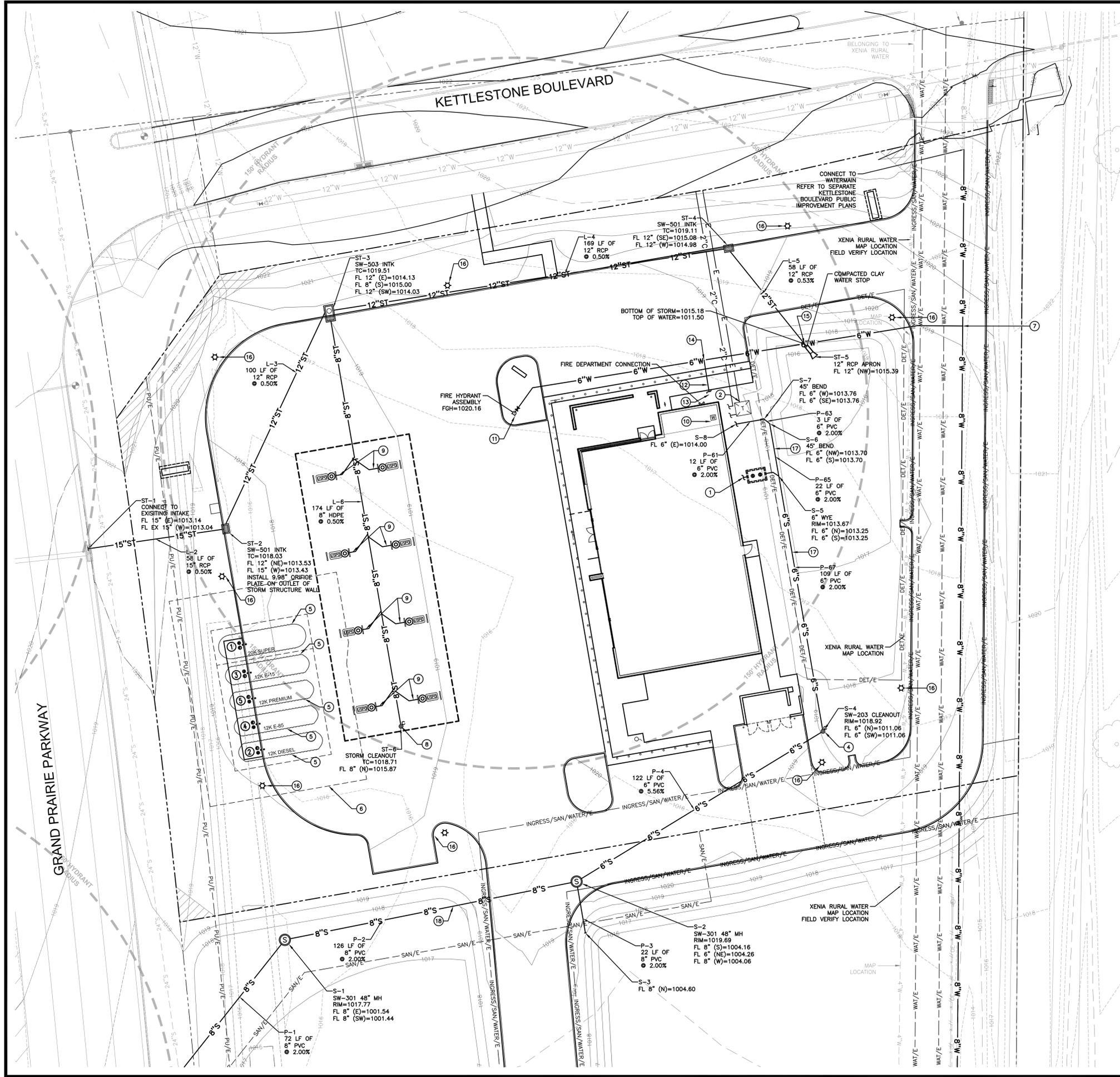
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SCALE
0' 15' 30' 60'

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REVISIONS

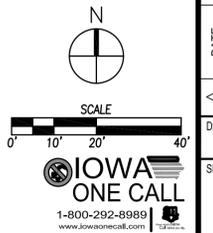


UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 EDITION OF THE SUDAS STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 6.0' COVER OVER ALL WATER MAINS.
- ALL FITTINGS ON ALL HYDRANTS INCLUDING ANY RELOCATED HYDRANTS.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES.
- ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES UNLESS OTHERWISE NOTED. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN, WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATER MAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- PRIVATE UTILITIES TO BE INSTALLED TO THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE LATEST VERSION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL INLET PROTECTION AT ALL PERMANENT STORM SEWER INTAKES.
- THE 8 INCH SANITARY SEWER PIPE SHALL BE PVC TRUSS PIPE AND THE SERVICE IS TO BE SDR 23.5.
- STORM SEWER PIPE WITHIN THE RIGHT OF WAY SHALL BE RCP PIPE.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WAUKEE STANDARDS.
- ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT AND REQUIRES 48 HOUR NOTICE.
- ALL PRIVATE AND PUBLIC STORM SEWER PIPES AND SANITARY SEWERS SHALL BE CLEANED AND TESTED. A HARD COPY OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINK SEAL SHALL BE USED FOR THE CONNECTION.
- IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE IRRIGATION AND METER PITS WITH THE WAUKEE PUBLIC WORKS DEPARTMENT.
- FIRE HYDRANTS ARE TO BE INSTALLED WITH A GRADE MARK ON THE FIRE HYDRANT AT FINISH GRADE WITH A 4 INCH STORZ BRAND CONNECTION.
- EMERGENCY FUEL DISCONNECT SWITCH SHALL BE LOCATED WITHIN 100 FEET, BUT NOT LESS THAN 20 FEET FROM FUEL DISPENSERS.

FLAG NOTES

- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
- INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
- CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR DOWNSPOUT LOCATIONS
- PROPOSED SANITARY CLEANOUT
- PROPOSED UNDER GROUND STORAGE TANK LOCATIONS
- UNDERGROUND STORAGE TANK OVERDIG LIMIT
- INSTALL 6 INCH BY 8 INCH TEE
- STORMDRAIN CLEANOUT
- 6 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 1 PERCENT
- WATER METER LOCATION
- PROPOSED FIRE HYDRANT
- PROPOSED 2 INCH COPPER TYPE K COMMERCIAL WATER SERVICE
- 2 INCH WATER SERVICE CONNECTION
- 6x2 INCH TEE
- UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE BETWEEN UTILITIES, UNLESS OTHERWISE NOTED
- PROPOSED AREA LIGHT
- PROPOSED 6 INCH SANITARY SERVICE AT 2.00 PERCENT MINIMUM SLOPE
- PROPOSED 8 INCH SANITARY SERVICE AT 2.00 PERCENT MINIMUM SLOPE



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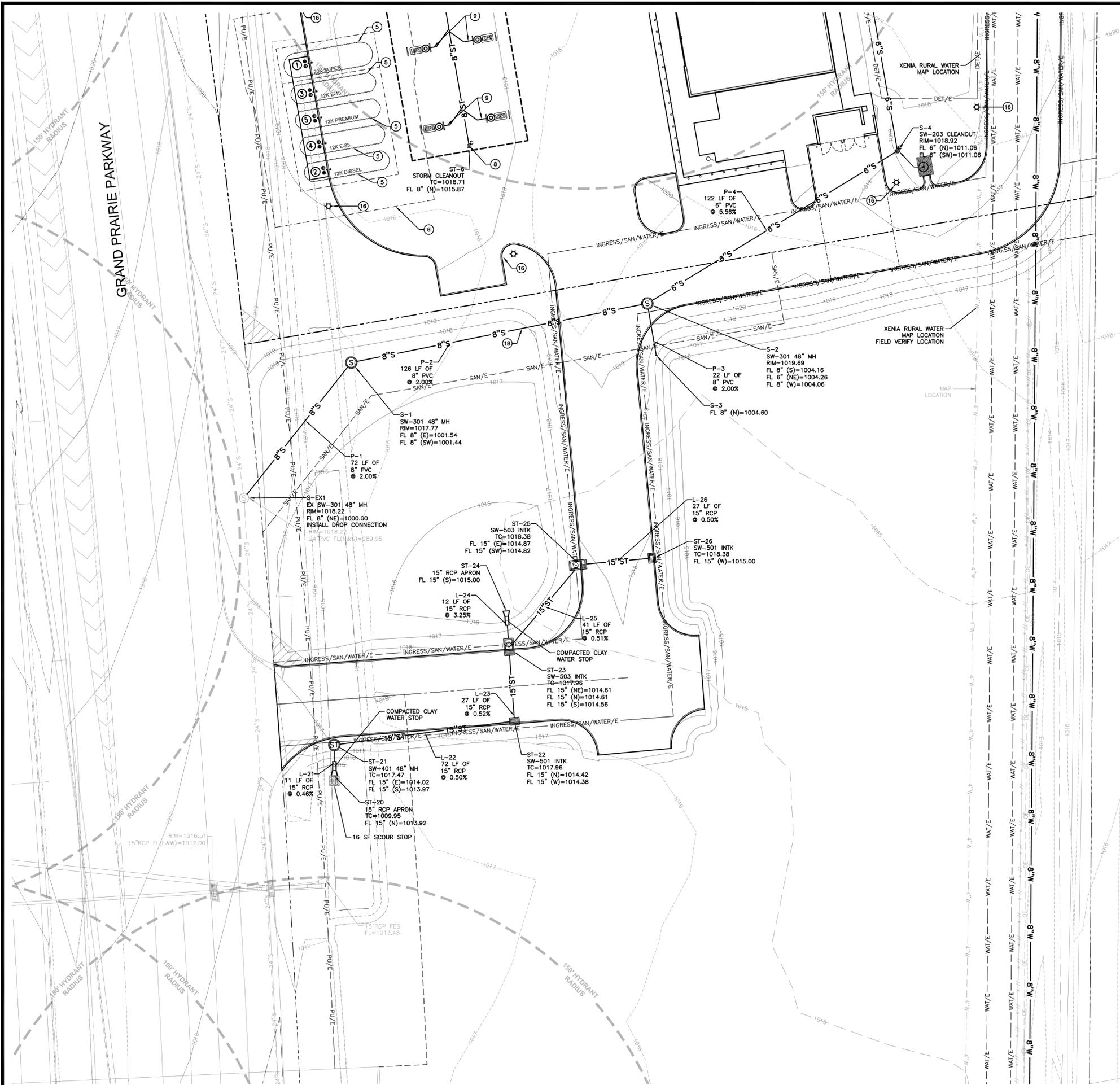
6400 Westown Parkway
 West Des Moines, Iowa
 50266
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 F: 515-223-9873

540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
 UTILITY PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

| REVISION DESCRIPTION | DATE |
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DATE: 07-17-2015
 SHEET NUMBER:
C4.1

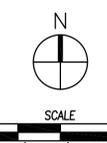


UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 EDITION OF THE SUDAS STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 6.0' COVER OVER ALL WATER MAINS.
- STORM FITTINGS ON ALL HYDRANTS INCLUDING ANY RELOCATED HYDRANTS.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATER MAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- PRIVATE UTILITIES TO BE INSTALLED TO THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE LATEST VERSION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL INLET PROTECTION AT ALL PERMANENT STORM SEWER INLETS.
- THE 8 INCH SANITARY SEWER PIPE SHALL BE PVC TRUSS PIPE AND THE SERVICE IS TO BE SDR 23.5.
- STORM SEWER PIPE WITHIN THE RIGHT OF WAY SHALL BE RCP PIPE.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WAUKEE STANDARDS.
- ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT AND REQUIRES 48 HOUR NOTICE.
- ALL PRIVATE AND PUBLIC STORM SEWER PIPES AND SANITARY SEWERS SHALL BE CLEANED AND TELEVISED. A HARD COPY OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINK SEAL SHALL BE USED FOR THE CONNECTION.
- IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE IRRIGATION AND METER PITS WITH THE WAUKEE PUBLIC WORKS DEPARTMENT.
- FIRE HYDRANTS ARE TO BE INSTALLED WITH A GRADE MARK ON THE FIRE HYDRANT AT FINISH GRADE WITH A 4 INCH STORZ BRAND CONNECTION.
- EMERGENCY FUEL DISCONNECT SWITCH SHALL BE LOCATED WITHIN 100 FEET, BUT NOT LESS THAN 20 FEET FROM FUEL DISPENSERS.

FLAG NOTES

- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
- INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
- CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR DOWNSPOUT LOCATIONS
- PROPOSED SANITARY CLEANOUT
- PROPOSED UNDER GROUND STORAGE TANK LOCATIONS
- UNDERGROUND STORAGE TANK OVERDIG LIMIT
- INSTALL 6 INCH BY 45 DEGREE BEND
- STORMDRAIN CLEANOUT
- 6 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 1 PERCENT
- WATER METER LOCATION
- PROPOSED FIRE HYDRANT
- PROPOSED 2 INCH COPPER TYPE K COMMERCIAL WATER SERVICE
- 2 INCH WATER SERVICE CONNECTION
- 2x6 INCH TEE
- UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE BETWEEN UTILITIES, UNLESS OTHERWISE NOTED
- PROPOSED AREA LIGHT
- PROPOSED 4 INCH SANITARY SERVICE AT 2.00 PERCENT MINIMUM SLOPE
- PROPOSED 8 INCH SANITARY SERVICE AT 2.00 PERCENT MINIMUM SLOPE



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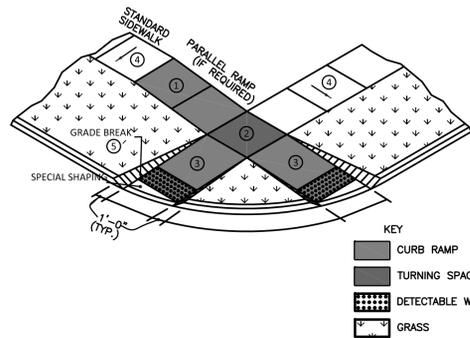
6400 Westown Parkway
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540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
 UTILITY PLAN

KG PROJECT TEAM:
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 SDM:
 CPM:

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DATE: 07-17-2015
 SHEET NUMBER: **C4.2**



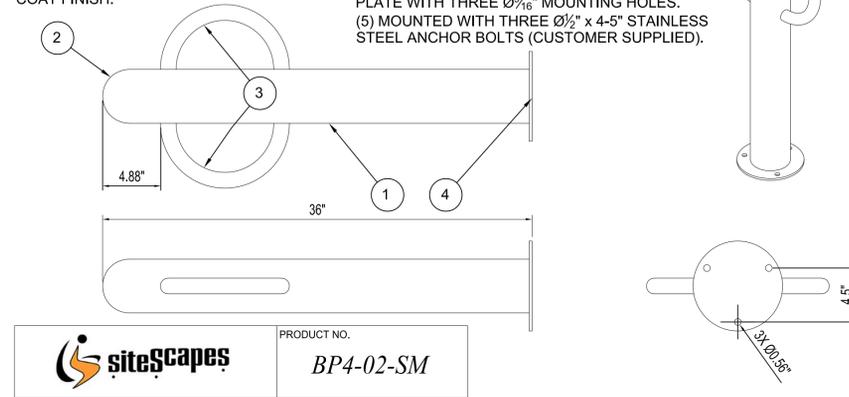
- PARALLEL CURB RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMP SHORTER THAN 15 FEET.
- TURNING SPACE: TARGET SLOPE OF 1.5% WITH MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. MINIMUM 4 FEET BY 4 FEET.
- PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 8.33% WITH MAXIMUM RUNNING SLOPE OF 8.3%.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%.
- MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE OR FLATTER.

- KEY
- CURB RAMP
 - TURNING SPACE
 - DETECTABLE WARNING
 - GRASS

1 CURB RAMP FOR CLASS B OR C SIDEWALK
NOT TO SCALE

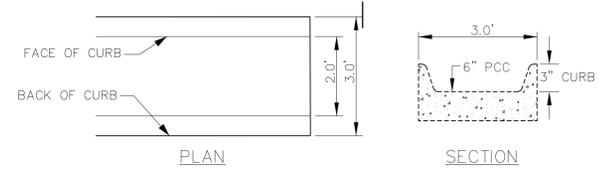
- NOTES:
- BIKE RACK TO BE INSTALLED IN CENTER OF 5'-0" x 6'-6" CONCRETE PAD.
 - BOLLARD SHALL HAVE A BLACK POWDER COAT FINISH.

- MATERIALS LIST
- TUBING - $\varnothing 4\frac{1}{2}" \times \frac{1}{8}"$ WALL STEEL TUBING.
 - CAP - $\varnothing 4\frac{1}{2}" \times \frac{1}{8}"$ WALL STEEL DOME.
 - LOOP - $\varnothing 1.315" \times .133"$ WALL STEEL TUBING.
 - SURFACE PLATE - $\varnothing 7\frac{1}{2}" \times \frac{1}{4}"$ THICK STEEL PLATE WITH THREE $\varnothing \frac{3}{16}"$ MOUNTING HOLES.
 - MOUNTED WITH THREE $\varnothing \frac{1}{2}" \times 4-5"$ STAINLESS STEEL ANCHOR BOLTS (CUSTOMER SUPPLIED).

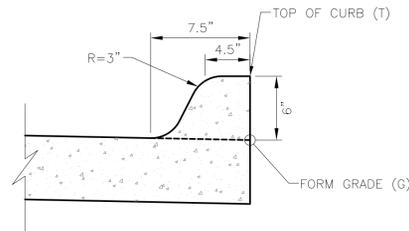


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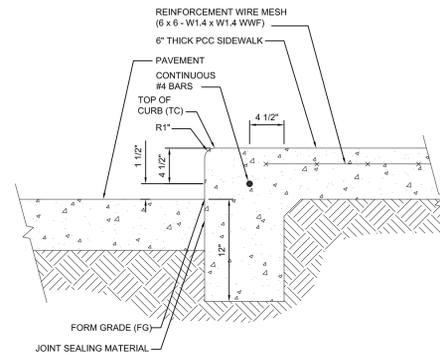
2 BOLLARD BIKE RACK
NOT TO SCALE



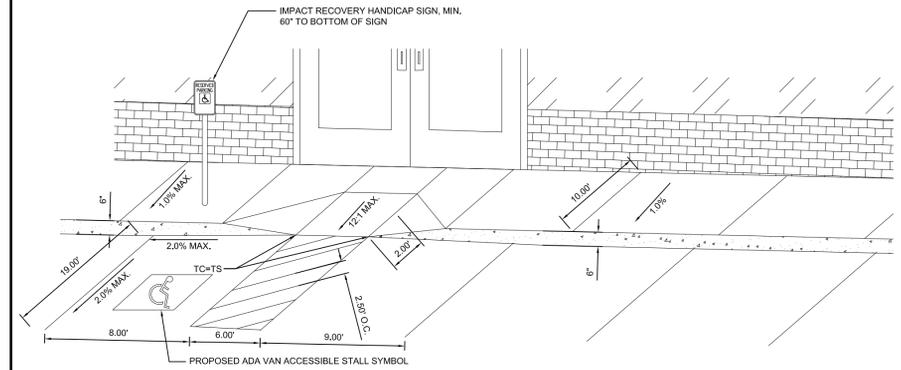
3 CONCRETE FLUME
NOT TO SCALE



4 INTEGRAL 6" STANDARD CURB SPOT ELEVATION REFERENCE
NOT TO SCALE

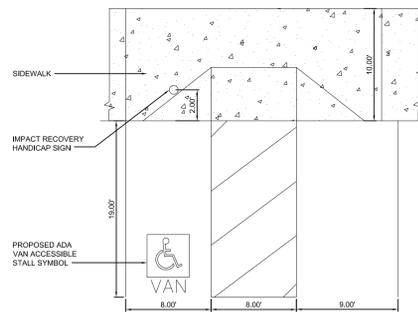


5 6" CURB / SIDEWALK
NOT TO SCALE



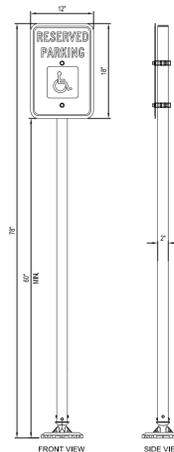
- NOTES:
- ALL ACCESSIBLE STALL PAVEMENT MARKINGS SHALL BE 4" WIDE YELLOW STRIPES.
 - ACCESSIBLE PARKING AREA SURFACE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - A SIGN MUST MARK ACCESSIBLE PARKING. THE SYMBOL ON THE PAVEMENT IS NOT ADEQUATE.

6 BUILDING FRONT RAMP AND PARKING STALLS
NOT TO SCALE

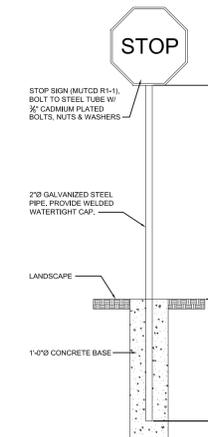


- NOTES:
- ALL ACCESSIBLE STALL PAVEMENT MARKINGS SHALL BE 4" WIDE YELLOW STRIPES.
 - ACCESSIBLE AISLE SHALL BE 6" WIDE FOR VANS.
 - ACCESSIBLE PARKING AREA SURFACE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - A SIGN MUST MARK ACCESSIBLE PARKING. THE SYMBOL ON THE PAVEMENT IS NOT ADEQUATE.

7 ACCESSIBLE FRONT PARKING
NOT TO SCALE

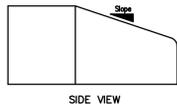
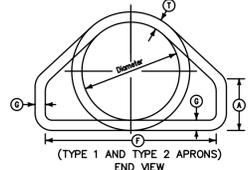
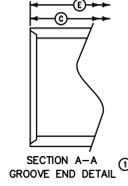
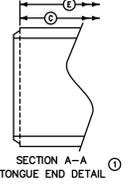
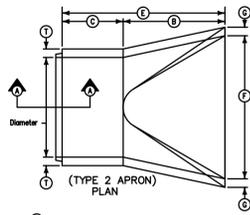
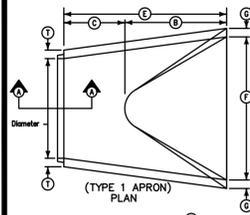


8 IMPACT RECOVERY ACCESSIBLE PARKING SIGN
NOT TO SCALE



9 STOP SIGN
NOT TO SCALE

| DATE | REVISION DESCRIPTION |
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Where 15000 pipe is used, the barrel portion of the apron shall meet or exceed the requirements for 15000 pipe. Where 20000 pipe is used, the barrel portion of the apron shall meet or exceed the requirements for 20000 pipe.

Reinforcement for the barrel portion of the apron shall be as shown on IDOT Standard Road Plan RF-1.

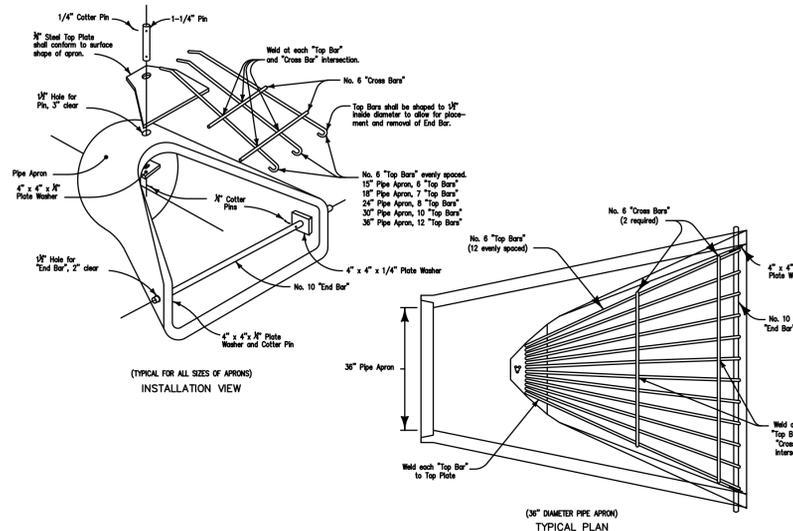
Dimension E shown is minimum and shall be considered the design length. Any difference between the actual length of concrete apron installed and the length indicated hereon shall be appropriately adjusted for in the length of concrete culvert pipe furnished.

When specified in the contract documents, pipe apron guards shall be installed as shown. Pipe apron guards will not be measured separately for payment, but shall be included in the contract unit price for Concrete Aprons.

① Tongue end used on inlet end section. Groove end used on outlet end section. Dimensions for tongue and groove connections shall be as indicated on IDOT Standard Road Plan RF-1.

| DIAM. | SLOPE | TYPE 1 APRONS | | | | | | |
|-------|-------|---------------|-------|-----------|--------|--------|--------|--------|
| | | A | B | C | E | F | G | T |
| 12" | 2.41 | 4" | 2'-0" | 4'-8" | 6'-3" | 2'-0" | 2" | 2" |
| 15" | 2.41 | 6" | 2'-3" | 3'-10" | 6'-1" | 2'-6" | 2 1/2" | 2 1/2" |
| 18" | 2.31 | 9" | 2'-3" | 3'-10" | 6'-1" | 3'-0" | 2 1/2" | 2 1/2" |
| 21" | 2.41 | 9" | 3'-0" | 3'-10" | 6'-1" | 3'-5" | 3" | 3" |
| 24" | 2.51 | 9 1/2" | 3'-3" | 2'-8" | 6'-10" | 4'-0" | 3" | 3" |
| 27" | 2.51 | 10 1/2" | 4'-1" | 2'-0" | 6'-10" | 4'-4" | 3 1/2" | 3 1/2" |
| 30" | 2.51 | 12" | 4'-6" | 1'-7 1/2" | 6'-10" | 5'-0" | 3 1/2" | 3 1/2" |
| 36" | 2.51 | 15" | 5'-3" | 2'-9" | 8'-0" | 6'-0" | 4" | 4" |
| 42" | 2.51 | 21" | 5'-3" | 2'-9" | 8'-0" | 6'-6" | 4 1/2" | 4 1/2" |
| 48" | 2.51 | 24" | 6'-0" | 2'-0" | 8'-0" | 7'-0" | 5" | 5" |
| 54" | 1.81 | 27" | 5'-0" | 3'-0" | 8'-0" | 7'-6" | 5 1/2" | 5 1/2" |
| 60" | 1.81 | 24 1/2" | 5'-0" | 3'-0" | 8'-0" | 8'-0" | 5 1/2" | 5 1/2" |
| 66" | 1.71 | 30" | 6'-0" | 2'-0" | 8'-0" | 8'-0" | 5 1/2" | 5 1/2" |
| 72" | 1.61 | 30" | 6'-6" | 1'-9" | 8'-3" | 9'-0" | 6" | 7" |
| 78" | 1.81 | 36" | 7'-6" | 1'-9" | 9'-3" | 9'-6" | 6 1/2" | 7 1/2" |
| 84" | 1.31 | 24 1/2" | 6'-9" | 2'-6 1/2" | 10'-0" | 10'-0" | 6 1/2" | 8" |

| DIAM. | SLOPE | TYPE 2 APRONS | | | | | | |
|-------|-------|---------------|-----------|-----------|--------|--------|--------|--------|
| | | A | B | C | E | F | G | T |
| 12" | 2.41 | 4" | 2'-0" | 4'-8" | 6'-3" | 2'-0" | 2" | 2" |
| 15" | 2.41 | 6" | 2'-3" | 3'-10" | 6'-1" | 2'-6" | 2 1/2" | 2 1/2" |
| 18" | 2.31 | 9" | 2'-3" | 3'-10" | 6'-1" | 3'-0" | 2 1/2" | 2 1/2" |
| 21" | 2.41 | 9" | 3'-0" | 3'-10" | 6'-1" | 3'-5" | 3" | 3" |
| 24" | 2.51 | 9 1/2" | 3'-3" | 2'-8" | 6'-10" | 4'-0" | 3" | 3" |
| 27" | 2.51 | 10 1/2" | 4'-1" | 2'-0" | 6'-10" | 4'-4" | 3 1/2" | 3 1/2" |
| 30" | 2.51 | 12" | 4'-6" | 1'-7 1/2" | 6'-10" | 5'-0" | 3 1/2" | 3 1/2" |
| 36" | 2.51 | 15" | 5'-3" | 2'-9" | 8'-0" | 6'-0" | 4" | 4" |
| 42" | 2.51 | 21" | 5'-3" | 2'-9" | 8'-0" | 6'-6" | 4 1/2" | 4 1/2" |
| 48" | 2.51 | 24" | 6'-0" | 2'-0" | 8'-0" | 7'-0" | 5" | 5" |
| 54" | 1.81 | 24 1/2" | 5'-5" | 2'-7" | 8'-0" | 7'-6" | 5 1/2" | 5 1/2" |
| 60" | 1.41 | 24 1/2" | 5'-0" | 3'-0" | 8'-0" | 8'-0" | 5 1/2" | 5 1/2" |
| 66" | 1.71 | 30" | 6'-0" | 2'-0" | 8'-0" | 8'-0" | 5 1/2" | 5 1/2" |
| 72" | 1.41 | 24" | 6'-6" | 1'-9" | 8'-3" | 9'-0" | 6" | 7" |
| 78" | 1.81 | 36" | 7'-6" | 1'-9" | 9'-3" | 9'-6" | 6 1/2" | 7 1/2" |
| 84" | 1.51 | 22 1/2" | 7'-6 1/2" | 1'-9" | 10'-0" | 10'-0" | 6 1/2" | 8" |



GENERAL NOTES:

The intent of the pipe apron guard detailed hereon is to provide a treatment for the exposed end of a pipe culvert, such that an out-of-control vehicle could pass over the end of the culvert without undue loss of control or damage to the vehicle.

Steel bars used in construction of the guard shall be ASTM A 615, Grade 40, or merchant quality, smooth or deformed steel conforming to the fabrication requirements of Section 2404 of the current Standard Specifications.

Welding of steel parts shall be as shown and subject to the approval of the Engineer. The completed apron guard shall be hot-dip galvanized in accordance with current ASTM A 123 Specifications.

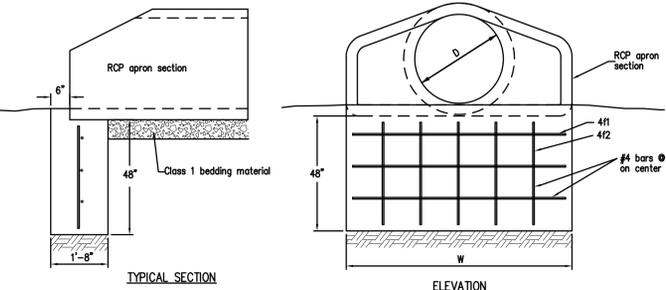
Details indicated are for a Type 1 Apron as shown on Standard Road Plan RF-3. Appropriate modification of apron guard shown may be made for a Type 2 Apron.

Alternate details for design of apron guard may be submitted to the Engineer for approval.

SPECIAL NOTE:

When detail project plans require pipe apron guards of sizes other than those shown hereon, the design for such apron guards shall be similar to those indicated, conforming to minimum bar size and spacing, and other general requirements shown.

10 RCP APRON AND APRON GUARD
NOT TO SCALE

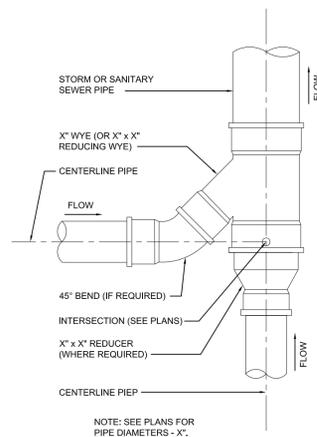


REINFORCING BAR LIST

| D | W | Mark | Size | Length | Count |
|-----|------------|------|------|-----------|-------|
| 12" | 2'-4" | 4f1 | 4 | 2'-0" | 3 |
| | | 4f2 | 4 | 3'-8" | 2 |
| 15" | 2'-10 1/2" | 4f1 | 4 | 2'-8 1/2" | 3 |
| | | 4f2 | 4 | 3'-8" | 2 |
| 18" | 3'-5" | 4f1 | 4 | 3'-1" | 3 |
| | | 4f2 | 4 | 3'-8" | 3 |
| 24" | 4'-6" | 4f1 | 4 | 4'-2" | 3 |
| | | 4f2 | 4 | 3'-8" | 3 |
| 30" | 5'-7" | 4f1 | 4 | 5'-3" | 3 |
| | | 4f2 | 4 | 3'-8" | 4 |
| 36" | 6'-8" | 4f1 | 4 | 6'-4" | 3 |
| | | 4f2 | 4 | 3'-8" | 5 |
| 42" | 7'-3" | 4f1 | 4 | 8'-11" | 3 |
| | | 4f2 | 4 | 3'-8" | 5 |
| 48" | 7'-10" | 4f1 | 4 | 7'-6" | 3 |
| | | 4f2 | 4 | 3'-8" | 6 |
| 54" | 8'-5" | 4f1 | 4 | 8'-1" | 3 |
| | | 4f2 | 4 | 3'-8" | 6 |
| 60" | 8'-11" | 4f1 | 4 | 8'-7" | 3 |
| | | 4f2 | 4 | 3'-8" | 6 |
| 66" | 8'-11" | 4f1 | 4 | 8'-7" | 3 |
| | | 4f2 | 4 | 3'-8" | 6 |
| 72" | 10'-0" | 4f1 | 4 | 9'-8" | 3 |
| | | 4f2 | 4 | 3'-8" | 7 |
| 78" | 10'-7" | 4f1 | 4 | 10'-3" | 3 |
| | | 4f2 | 4 | 3'-8" | 7 |
| 84" | 11'-1" | 4f1 | 4 | 10'-9" | 3 |
| | | 4f2 | 4 | 3'-8" | 8 |

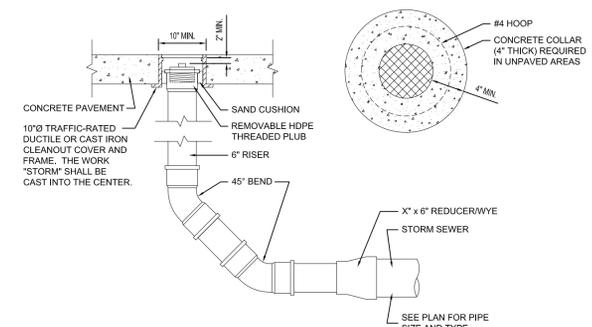
11 RCP APRON SECTION FOOTING
NOT TO SCALE

12 WYE CONNECTION
NOT TO SCALE

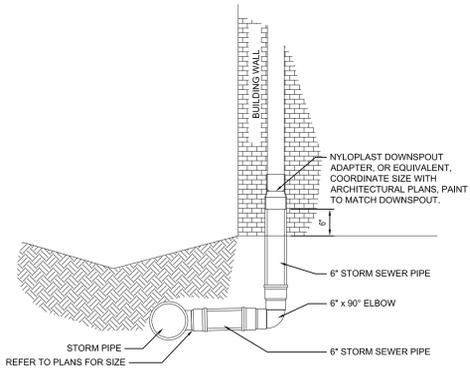


NOTE: SEE PLANS FOR PIPE DIAMETERS - X".

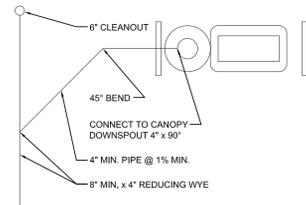
13 STORM SEWER CLEANOUT
NOT TO SCALE



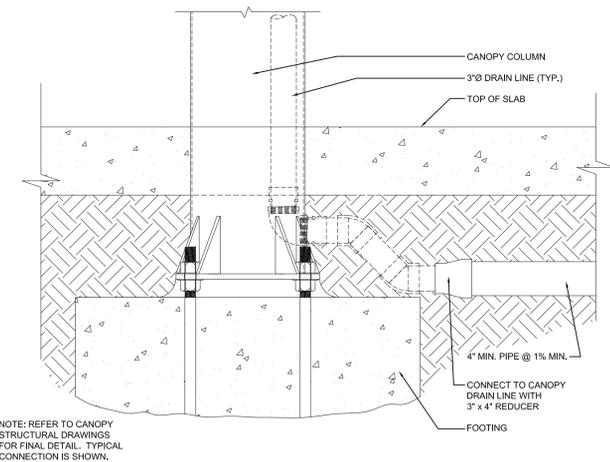
14 BUILDING DOWNSPOUT CONNECTION
NOT TO SCALE



15 CANOPY DOWNSPOUT CONNECTION
NOT TO SCALE



16 CANOPY DRAIN SECTION
NOT TO SCALE



NOTE: REFER TO CANOPY STRUCTURAL DRAWINGS FOR FINAL DETAIL. TYPICAL CONNECTION IS SHOWN.



6400 Westown Parkway
West Des Moines, Iowa
50266
P: 515-226-0128
F: 515-223-9873

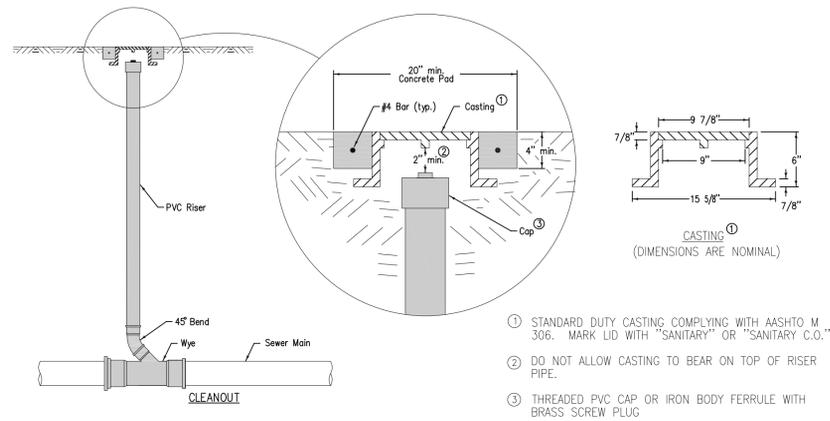
540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
DETAILS

KG PROJECT TEAM:
RDR:
SDM:
CPM:

| REVISION DESCRIPTION | DATE |
|----------------------|------|
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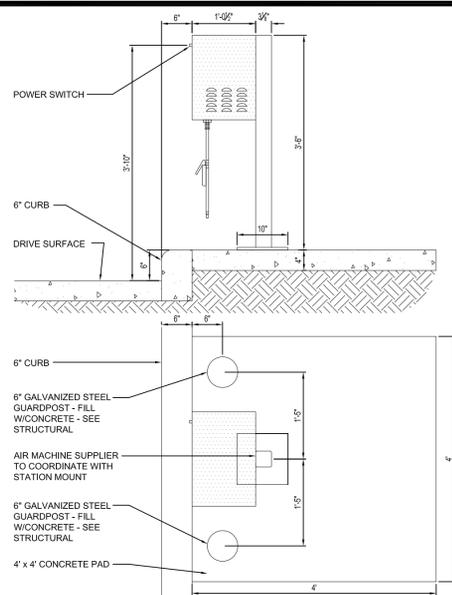
DATE: 07-17-2015
SHEET NUMBER: C5.2



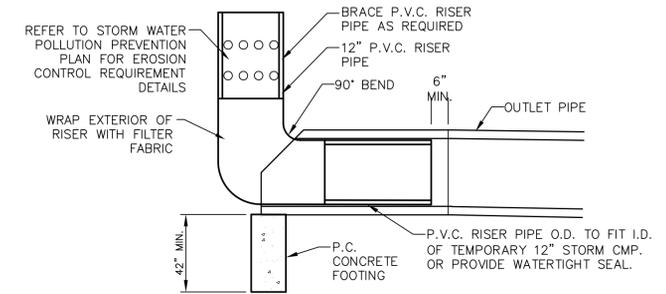


- ① STANDARD DUTY CASTING COMPLYING WITH AASHTO M 306. MARK LID WITH "SANITARY" OR "SANITARY C.O."
- ② DO NOT ALLOW CASTING TO BEAR ON TOP OF RISER PIPE.
- ③ THREADED PVC CAP OR IRON BODY FERRULE WITH BRASS SCREW PLUG

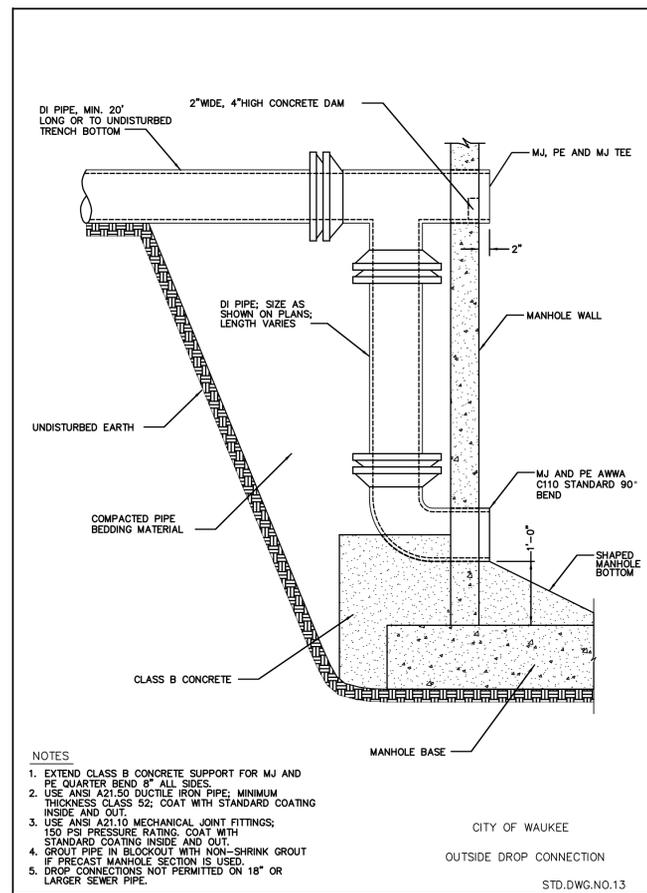
17 SW-203 SANITARY SEWER CLEANOUT
NOT TO SCALE



18 PEDESTAL MOUNT AIR MACHINE
NOT TO SCALE

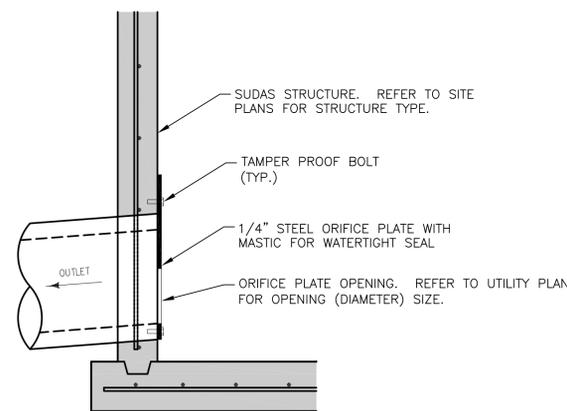


19 TEMPORARY STAND PIPE
NOT TO SCALE



- NOTES
1. EXTEND CLASS B CONCRETE SUPPORT FOR MJ AND PE QUARTER BEND 8" ALL SIDES.
 2. USE ANSI A21.50 DUCTILE IRON PIPE; MINIMUM THICKNESS CLASS 52; COAT WITH STANDARD COATING INSIDE AND OUT.
 3. USE ANSI A21.10 MECHANICAL JOINT FITTINGS; 150 PSI PRESSURE RATING. COAT WITH STANDARD COATING INSIDE AND OUT.
 4. GROUT PIPE IN BLOCKOUT WITH NON-SHRINK GROUT IF PRECAST MANHOLE SECTION IS USED.
 5. DROP CONNECTIONS NOT PERMITTED ON 18" OR LARGER SEWER PIPE.

20 SANITARY DROP CONNECTION
NOT TO SCALE



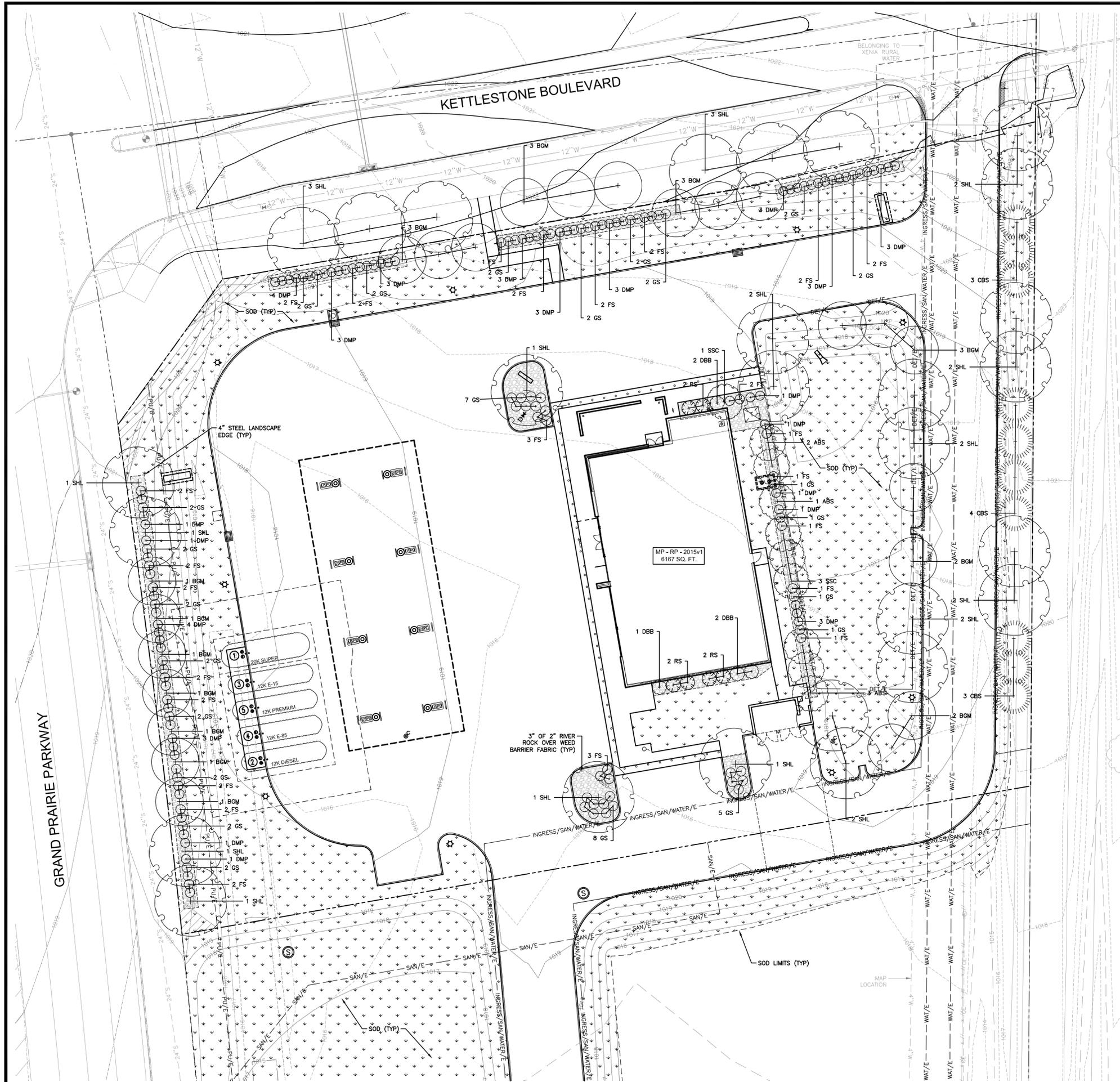
21 ORIFICE PLATE DETAIL
NOT TO SCALE

| REVISION DESCRIPTION | DATE |
|----------------------|------|
| | |
| | |
| | |
| | |

DATE: 07-17-2015

SHEET NUMBER:

C5.3



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANS Z60.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQUIRED).
7. 2" WASHED RIVER ROCK AND WEED BARRIER FABRIC SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. ALL EDGING SHALL BE 3" SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

OPEN SPACE REQUIREMENTS

| | |
|----------------------|----------------------|
| SITE AREA: | 2.29 AC. (99,839 SF) |
| PERVIOUS AREA: | 37,245 SF |
| IMPERVIOUS AREA: | 62,594 SF |
| OPEN SPACE REQUIRED: | 19,968 SF (20%) |
| PROVIDED: | 42,590 SF (43%) |

LANDSCAPING REQUIRED:

| | |
|--|-----------|
| 1.5 OVERSTORY TREES/1,000 SF OF REQUIRED OPEN SPACE: | 30 TREES |
| 5 UNDERSTORY TREES/1,000 SF OF REQUIRED OPEN SPACE: | 10 TREES |
| 2 SHRUBS/1,000 SF OF REQUIRED OPEN SPACE: | 40 SHRUBS |

LANDSCAPING PROVIDED:

| | |
|-------------------|-----------|
| OVERSTORY TREES: | 20 TREES |
| EVERGREEN TREES: | 10 TREES |
| UNDERSTORY TREES: | 10 TREES |
| SHRUBS: | 40 SHRUBS |

*STREET TREES ARE REQUIRED TO BE 12 FEET TALL, OVERSTORY TREES ARE REQUIRED TO BE 8 FEET TALL, EVERGREEN TREES ARE REQUIRED TO BE 6 FEET TALL, AND UNDERSTORY TREES ARE REQUIRED TO BE 6 FEET TALL.
 *A MINIMUM OF 50% OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.
 *A MINIMUM OF 25% OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.
 SOD AREA PROPOSED: 21,645 SF

OPEN SPACE PLANT SCHEDULE

| Broadleaf Deciduous | | | |
|---------------------|--------------------------------|--|---------------|
| Code Name | Common Name | Scientific Name | Planting Size |
| ABS | Autumn Brilliance Serviceberry | Amelanchier x grandiflora 'Autumn Brilliance' | B&B, 1 |
| BGM | Black 'Greencolumn' Maple | Acer nigrum 'Greencolumn' | B&B, 2 |
| SHL | Skyline Honey Locust | Gleditsia triacanthos var. inermis 'Skycole' (Skyline) | B&B, 1 |
| SSC | Spring Snow Crabapple | Malus 'Spring Snow' | B&B, 2 |
| Conifer Evergreen | | | |
| Code Name | Common Name | Scientific Name | Planting Size |
| CBS | Colorado Blue Spruce | Picea pungens 'Glauca' | B&B, 6 |
| Shrub | | | |
| Code Name | Common Name | Scientific Name | Planting Size |
| DMP | Dwarf Mugo Pine | Pinus mugo 'Compacta' | CONT, 3 GAL |
| FS | Froebel Spirea | Spiraea x bumalda 'Froebel' | CONT, 3 GAL |
| GS | Goldflame Spirea | Spiraea x bumalda 'Goldflame' | CONT, 3 GAL |

FOUNDATION LANDSCAPE REQUIREMENTS

PROVIDED SHRUBS: 12 SHRUBS

FOUNDATION PLANT SCHEDULE

| Shrub | Code Name | Common Name | Scientific Name | Planting Size | Quantity |
|---------------------|-----------|--------------------------------|--------------------------------|---------------|----------|
| Dwarf Burning Bush | DBB | Euonymus alatus 'compactus' | Euonymus alatus 'compactus' | CONT, 3 GAL | 6 |
| Regent Serviceberry | RS | Amelanchier alnifolia 'Regent' | Amelanchier alnifolia 'Regent' | CONT, 3 GAL | 6 |

PARKING/ STREET LANDSCAPE REQUIREMENTS

FRONTAGE (EXCLUSIVE OF DRIVEWAYS):
 GRAND PRAIRIE PARKWAY: 265'
 KETTLESTONE BLVD: 367'

LANDSCAPING REQUIRED:

(2 OVERSTORY TREES/ 50 LF OF PARKING FRONTAGE)
 GRAND PRAIRIE PARKWAY: 11 TREES
 KETTLESTONE BLVD: 15 TREES

(8 SHRUBS/ 50 LF OF PARKING FRONTAGE)
 GRAND PRAIRIE PARKWAY: 43 SHRUBS
 KETTLESTONE BLVD: 59 SHRUBS

LANDSCAPING PROVIDED:

GRAND PRAIRIE PARKWAY: 4 TREES
 43 SHRUBS

KETTLESTONE BLVD: 6 TREES
 59 SHRUBS

STREETSCAPE LANDSCAPING REQUIRED:

(1 OVERSTORY TREE/ 40 LF OF FRONTAGE)
 GRAND PRAIRIE PARKWAY: 7 TREES
 KETTLESTONE BLVD: 9 TREES

LANDSCAPING PROVIDED:

GRAND PRAIRIE PARKWAY: 7 TREES
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 *STREET TREES ARE REQUIRED TO BE 12 FEET TALL, OVERSTORY TREES ARE REQUIRED TO BE 8 FEET TALL, EVERGREEN TREES ARE REQUIRED TO BE 6 FEET TALL, AND UNDERSTORY TREES ARE REQUIRED TO BE 6 FEET TALL.
PARKING/STREET PLANT SCHEDULE

| Broadleaf Deciduous | | | |
|---------------------|---------------------------|--|---------------|
| Code Name | Common Name | Scientific Name | Planting Size |
| BGM | Black 'Greencolumn' Maple | Acer nigrum 'Greencolumn' | B&B, 2.5" CA |
| SHL | Skyline Honey Locust | Gleditsia triacanthos var. inermis 'Skycole' (Skyline) | B&B, 2" CA |
| Shrub | | | |
| Code Name | Common Name | Scientific Name | Planting Size |
| DMP | Dwarf Mugo Pine | Pinus mugo 'Compacta' | CONT, 3 GAL |
| FS | Froebel Spirea | Spiraea x bumalda 'Froebel' | CONT, 3 GAL |
| GS | Goldflame Spirea | Spiraea x bumalda 'Goldflame' | CONT, 3 GAL |

DATE: 07-17-2015

SHEET NUMBER: L1.1

SCALE: 0' 10' 20' 40'

IOWA ONE CALL 1-800-292-8989 www.iowaonecall.com

CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DR., SUITE G, GRAMES, IOWA 50111
 PH: (515) 388-4400 Fax: (515) 388-4410 PROJECT NO. 1301203

Kum & Go
 6400 Westown Parkway West Des Moines, Iowa 50266
 P: 515-226-0128 F: 515-223-9873

540 - WAUKEE, IOWA
GRAND PRAIRIE PARKWAY
LANDSCAPE PLAN

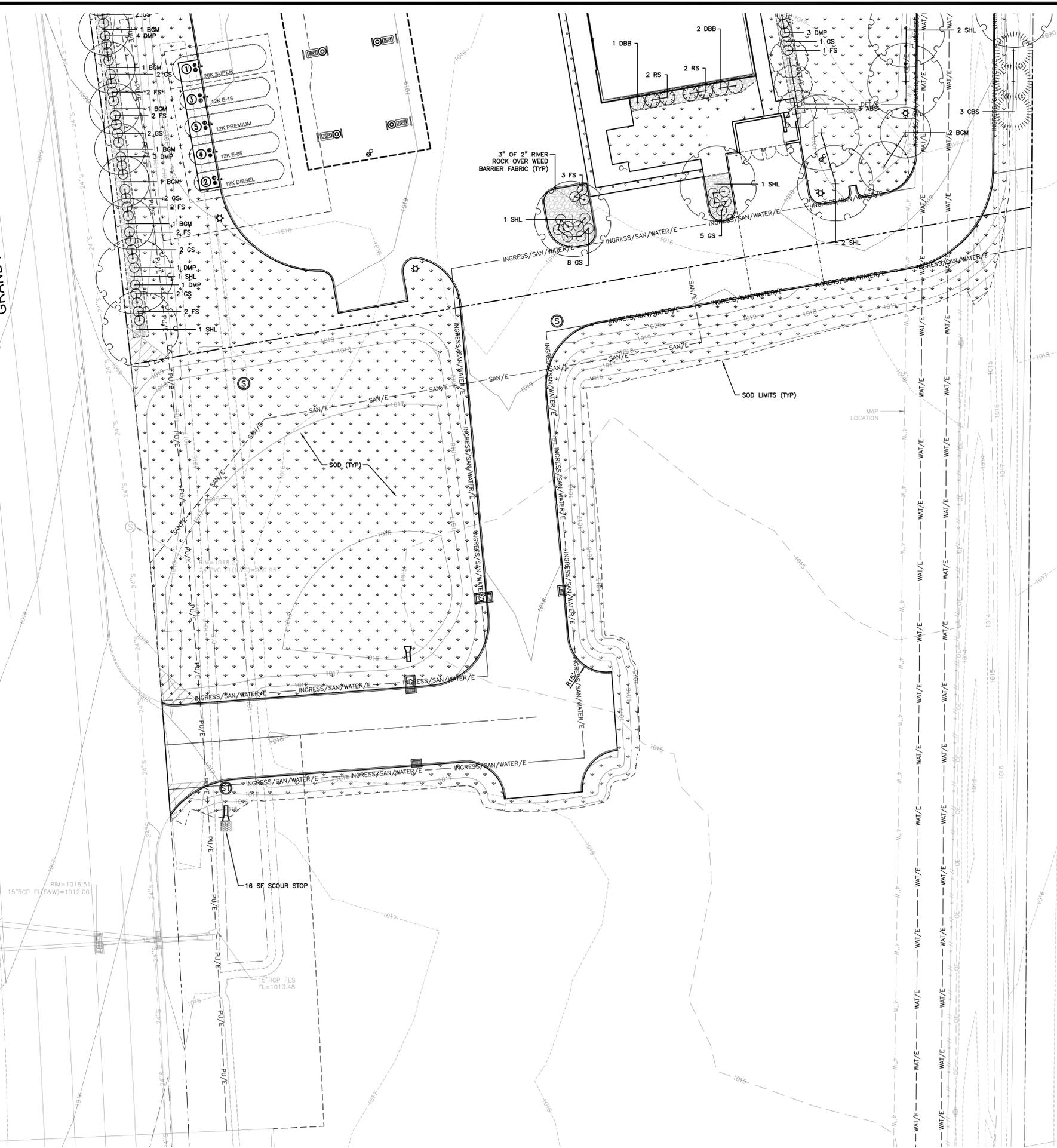
KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

REVISIONS

DATE: 07-17-2015

SHEET NUMBER: L1.1

GRAND PRAIRIE PARKWAY



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| | |
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| GS | Goldflame Spirea | Spiraea x bumalda 'Goldflame' | CONT, 1 |

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FOUNDATION PLANT SCHEDULE

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REVISIONS

| DATE | REVISION DESCRIPTION |
|------|----------------------|
| | |
| | |
| | |

DATE: 07-17-2015
 SHEET NUMBER: L1.2

SCALE: 0' 10' 20' 40'

IOWA ONE CALL
 1-800-292-8989
 www.iowaonecall.com

CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DR. SUITE G. GRAMES, IOWA 50111
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 LANDSCAPE PLAN

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