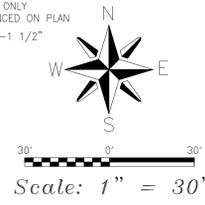


WAUKEE, IA (#3) #2538

20 W HICKMAN ROAD (HWY 6)

EXISTING NOTES ARE FROM THE ORIGINAL CONSTRUCTION AND ARE FOR REFERENCE ONLY. THESE NOTES DO NOT APPLY TO NEW CONSTRUCTION NUMBERS ARE NOT REFERENCED ON PLAN.

- 3 - 15,000 GALLON SINGLE WALL FIBERGLASS TANK 10'-4 7/8" x 29'-1 1/2"
- TANK SETTING DETAILS PAGE C2
- FILL PIPE AND MANHOLE DETAIL PAGE C2
- CIRCUIT BREAKER PANEL PAGE E9
- REFRIGERATION WIRING PAGE M6, M7 & M8
- GILBARCO WIRING PAGE G1
- ISLAND SIZE - 6 DOGBONE @ 8' W/DUAL GUARD PIPE.
- 6 - 6 HOSE GILBARCO MPD (ENCORE) DISPENSERS W/CRIND
- ISLAND DETAILS PAGE C3
- ISLAND CONDUIT DETAIL PAGE E8
- DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- SIGN BASE DETAILS [REFER TO MONUMENT SIGN DETAIL PAGE C3]
- SIGN DETAILS [REFER TO MONUMENT SIGN DETAIL PAGE C3]
- DRIVEWAY JOINTS TO BE PACKED & CALKED
- CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
- CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
- CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
- APPROACHES TO BE 7" NONREINFORCED OR AS PER STATE/CITY SPEC.
- SLOPE RAMP FOR BUILDING SIDEWALK 1:20, H.C. PARKING 1:50 ALL DIRECTIONS. ALL ACCESS AISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- RUN VENT LINES UP SEPARATE CANOPY COLUMNS, VERIFY
- VERIFY ALL UTILITY LOCATIONS & DIMENSIONS
- PARKING SPACES (PAINT LINES) (10 REQUIRED - 14 SHOWN)
- DO NOT PAINT LINES AT PUMPS
- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS (SUBJECT TO CHANGE)
- INTERCOM SYSTEM AT EACH ISLAND C3
- BRICK DUMPSTER/RECYCLE ENCLOSURE [REFER TO ADDENDUM PAGE C8]
- CONCRETE
- SOD AREA
- EXISTING AREA LIGHTS



VICINITY MAP

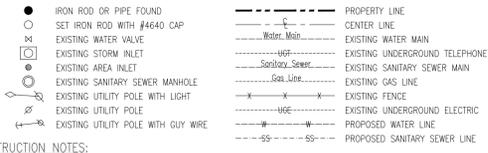
PROJECT SITE



- U.G.S.T. NOTES:
- FILL CATCH BASIN W/OVERSILL PROTECTION (TYP.)
 - TURBINE ENCLOSURE TYP. CONTAINS: SUB-PUMP W/LINE DETECTION.
 - VENT EXTRACTOR W/BALL FLOAT W/OVERSILL PROTECTION.
 - TANK PROBE FOR FUEL MONITORING

- PROPOSED IMPROVEMENTS 03-06-15:
- 21'x40' LEFT HAND BUILDING ADDITION
 - EXISTING BUILDING: 40'x68'
 - NEW EXTERIOR COOLER/FREEZER (REAR)
 - NEW LOADING ZONE LEFT SIDE OF BUILDING
 - RELOCATE EXISTING DUMPSTER ENCLOSURE
 - REPAINT PARKING STRIPES THROUGHOUT
 - "AS-BUILT" NOT AVAILABLE
 - VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION
 - REFER TO EXTERIOR LIGHTING PLAN UR-0453-S1 DONE BY RED LEONARD

SURVEYORS LEGEND



EXISTING CONSTRUCTION NOTES: THESE NOTES ARE FROM THE ORIGINAL CONSTRUCTION AND ARE FOR REFERENCE ONLY. THESE NOTES DO NOT APPLY TO NEW CONSTRUCTION NUMBERS ARE NOT REFERENCED ON PLAN.

- CANOPY LIGHTING TO BE FLAT LENS [REFER TO LSI LIGHTING PLAN - DATED 10-27-03] EXISTING NO NEW WORK
- BUILDING TO BE HIP STYLE - ALL BRICK [REFER TO ADDENDUM PAGES A1 THRU A5 - REVISION DATE 02-02-04] SEE SHEET A-201 AND A-202 OF ADDITION DRAWINGS DATED 3-15-15
- BRICK DUMPSTER ENCLOSURE REQUIRED [REFER TO ADDENDUM PAGE C7 - REVISION DATE 03-07-03] SEE SHEET AL-401 DATED 3-15-15
- MONUMENT SIGN REQUIRED - NOTE SPECIAL SIZE (15" SETBACK REQUIRED) EXISTING NO WORK [REFER TO MONUMENT SIGN DETAIL ADDENDUM PAGE C3 - REVISION DATE 01-27-04]
- IOWA DNR PERMIT NO. IA-7157-6961 [REFER TO STORM WATER POLLUTION PREVENTION PLAN-SHEET 2 of 3 - REVISION DATE 01-27-04] FOR EXISTING CONSTRUCTION NEW CONSTRUCTION IS LESS THAN AN ACRE NO DNR PERMIT REQUIRED.
- FOR FINAL ELEVATIONS, GRADING/UTILITY PLAN REFER TO COOPER CRAWFORD & ASSOCIATES [SHEET 2 of 3 - REVISION DATE 01-27-04]
- CASEY'S IS RESPONSIBLE FOR THE CONSTRUCTION OF THE APPROACH ONTO WARRIOR LANE AND THE PAVING OF THE 35'x75' ACCESS EASEMENT.
- RECESSED SOFFIT LIGHT FIXTURES TO BE INSTALLED ON FRONT OF BUILDING [REFER TO ADDENDUM PAGES A1 & E6]
- LANDSCAPING REQUIRED [REFER TO LANDSCAPE PLAN - SHEET 3 of 3 - REVISION DATE 01-27-04]

LEGAL DESCRIPTION

HICKORY COMMERCIAL PLAT 1 LOT 1 WAUKEE, DALLAS COUNTY, IOWA PARCEL ID NUMBER 1233226018

ZONING

C1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

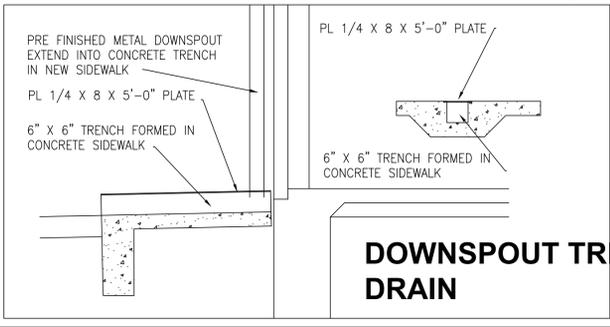
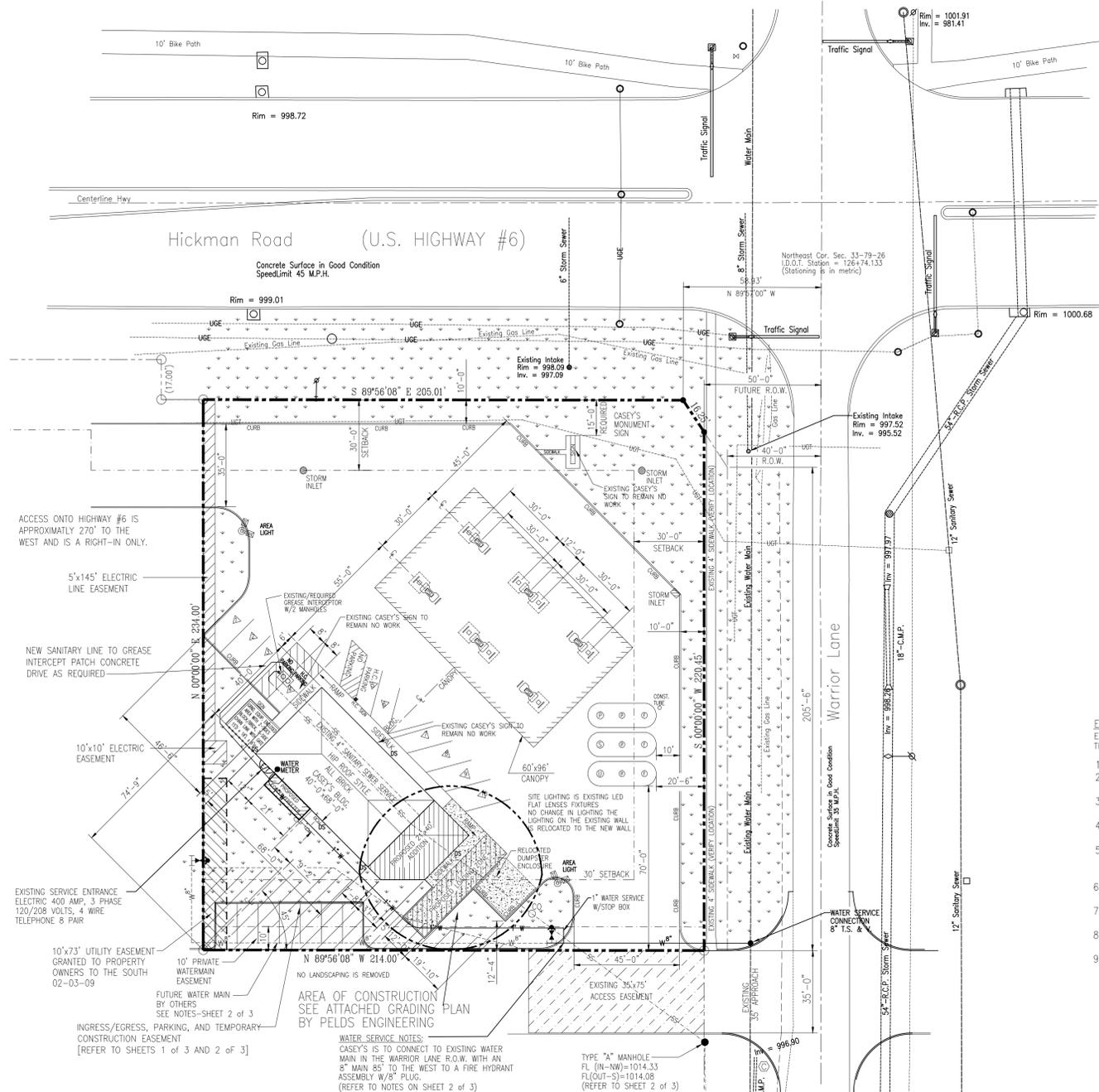
BUILDING USE

CONVENIENCE STORE - OCCUPANCY MERCANTILE BUILDING CONSTRUCTION WOOD FRAME TYPE Vb

SITE AREA CALCULATIONS

Category	Value	Percentage
EXISTING BUILDING	2,720 SF	
BUILDING ADDITION	751 SF	
TOTAL BUILDING AREA	3,471 SF	
PAVED AREA	31,432 SF	62 PERCENT
LANDSCAPED AREA	13,602 SF	27 PERCENT
EASEMENT PARKING PAVED AREA	1,487 SF	20 PERCENT REQUIRED
TOTAL SITE AREA	49,992 SF	

Category	Value
PARKING REQUIRED	17 SPACES
PARKING PROVIDED	10 SPACES
PARKING STALLS	12 STALLS
UNMARKED SPACES	22 STALLS
TOTAL SPACES	22 STALLS



DOWNSPOUT TRENCH DRAIN

Project Team

OWNER
Casey's Marketing Company
Construction Division
One Convenience Boulevard
PO Box 3001
Ankeny, IA 50021
Contact: Lance Burke
Email: lance.burke@caseys.com
Voice: 515.965.6537, Fax: 515.965.6161

PROJECT MANAGER
Kevin Fouch, Casey's
E-mail: kevin.fouch@caseys.com
Phone: 229-0005

ARCHITECT
Environmental Design Group, LTD
6601 Westown Parkway Suite 160
West Des Moines, Iowa 50266
Contact: Richard Ayers
Email: info@edgld.com
Voice: (515) 224-4022

PLAN SET CHANGES
ANY PROPOSED CHANGES TO THE PLAN SET DURING CONSTRUCTION ARE TO RECEIVE WRITTEN APPROVAL FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT RECEIVED WRITTEN PERMISSION FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT.

The portion of the technical submission described below has been prepared under the direct supervision and responsible charge of the undersigned.

Signature: _____
Discipline: _____
Iowa Registration No. _____
Pages or sheets covered by this seal: _____
Date of Issuance: _____

ENVIRONMENTAL DESIGN GROUP, LTD.
ARCHITECTS • LANDSCAPE ARCHITECTS • PLANNERS
1402 Westown Parkway, Suite 160, West Des Moines, Iowa 50266
515.224.4022 Fax: 515.224.4024 www.edgld.com

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: 20 W HICKMAN RD (HWY 6) WAUKEE, IA #3 "G" STYLE STORE #2538 HIP ROOF	ISSUED: 03-15-15 REVISED: 07-16-15 08-03-15	DATE: 08-03-15	SITE PLAN
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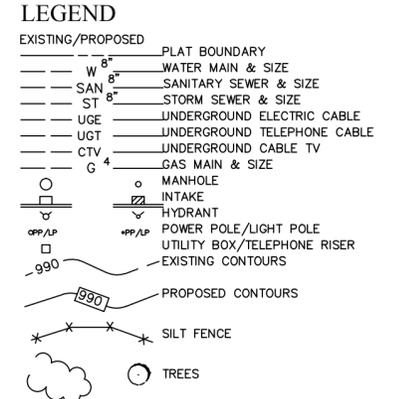
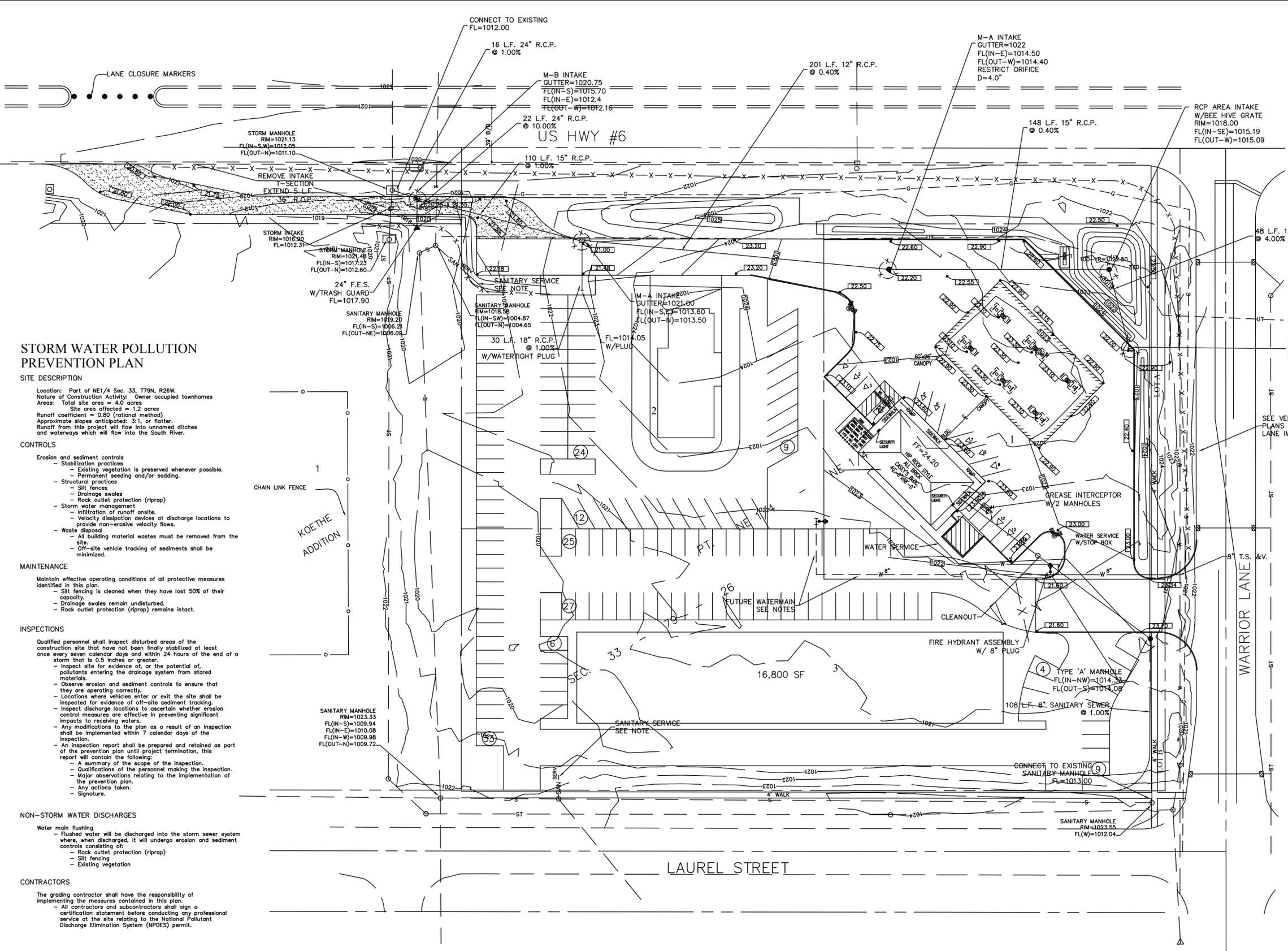
DRAWN BY: JACOB CLARK
CHECKED BY: _____

AL-101

SITE PLAN/PRELIMINARY PLAT
HICKORY COMMERCIAL PLAT 1

CASEY'S

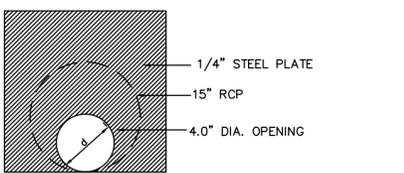
WARRIOR LANE & HICHMAN ROAD



NOTES

- INSTALLATION OF THE FUTURE WATERMAIN AND SANITARY SEWER SERVICES FOR LOTS 2 AND 3 WILL BE DONE DURING THE SITE PLAN PHASE FOR SAID LOTS 2 AND 3.

BENCHMARK
DOT BM GPS CUT "X" ON NW CORNER OF SQUARE CONC. MH APPROX. 45' WEST OF PROPERTY LINE.
EL=1021.09



ORIFICE DETAIL
NO SCALE

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION
Location: Part of NE 1/4 Sec. 33, T79N, R26W.
Nature of Construction Activity: Owner occupied townhomes
Areas: Total site area = 4.0 acres
Site area affected = 1.2 acres
Runoff coefficient = 0.50 (rational method)
Approximate slopes anticipated: 3:1, or flatter.
Runoff from this project will flow into unnamed ditches and waterways which will flow into the South River.

CONTROLS

- Erosion and sediment controls**
- Stabilization practices
 - Existing vegetation is preserved whenever possible.
 - Permanent seeding and/or sodding.
 - Structural practices
 - Silt fences
 - Drainage swales
 - Rock outlet protection (riprap)
- Storm water management**
- Infiltration of runoff onsite.
 - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
- Waste disposal**
- All building material wastes must be removed from the site.
 - Off-site vehicle tracking of sediments shall be minimized.

MAINTENANCE

- Maintain effective operating conditions of all protective measures identified in this plan.
- Silt fencing is cleaned when they have lost 50% of their capacity.
- Drainage swales remain undisturbed.
- Rock outlet protection (riprap) remains intact.

INSPECTIONS

- Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater.
- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
 - Observe erosion and sediment controls to ensure that they are operating correctly.
 - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
 - Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
 - Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection.
 - An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
 - A summary of the scope of the inspection
 - Qualifications of the personnel making the inspection.
 - Major observations relating to the implementation of the prevention plan.
 - Any actions taken.
 - Signature.

NON-STORM WATER DISCHARGES

- Water main flushing**
- Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
 - Rock outlet protection (riprap)
 - Silt fencing
 - Existing vegetation

CONTRACTORS

- The grading contractor shall have the responsibility of implementing the measures contained in this plan.
- All contractors and subcontractors shall sign a certification statement before conducting any professional service at the site relating to the National Pollutant Discharge Elimination System (NPDES) permit.

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

2167 GRAND AVENUE, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 10/7/03
REVISIONS: 10/21/03
11/4/03
01/27/04

SCALE: 1"=30'

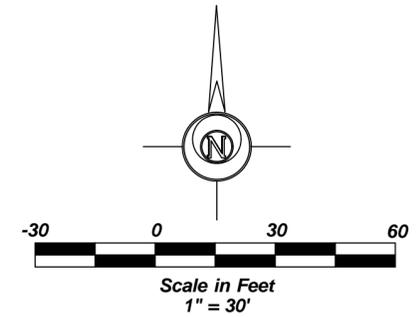
GRADING/UTILITY
Casey's - Warrior & Hickman



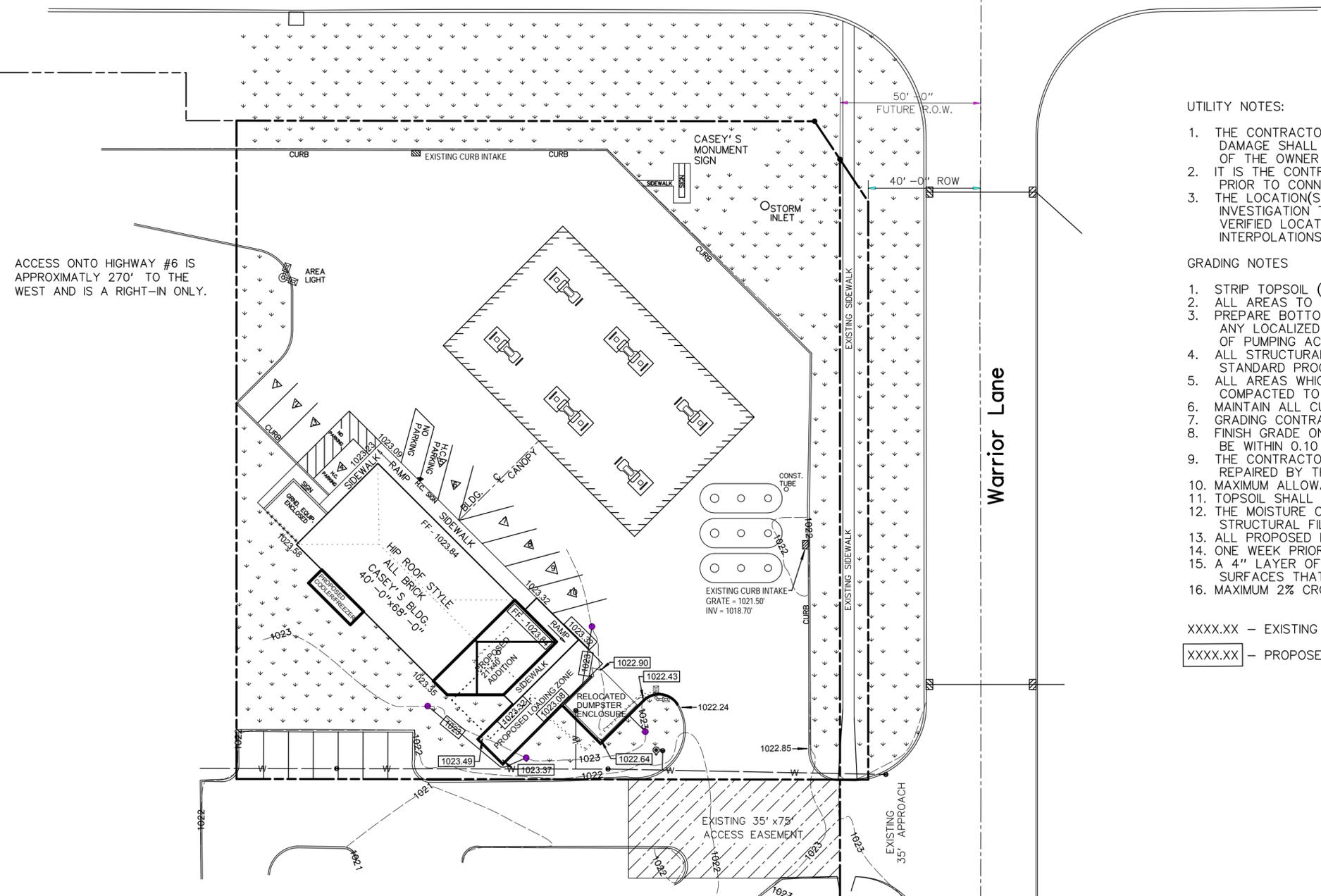
JOB NUMBER
CC 0248

SHEET
2 OF 3





Centerline Hwy
 Hickman Road (U.S. HIGHWAY #6)



ACCESS ONTO HIGHWAY #6 IS APPROXIMATELY 270' TO THE WEST AND IS A RIGHT-IN ONLY.

UTILITY NOTES:

1. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
3. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.

GRADING NOTES

1. STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHMARKED.
3. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS.
4. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
5. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
7. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
8. FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADES SHOWN ON THE PLAN.
9. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS.
12. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
13. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF WAUKEE.
14. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY CITY OF WAUKEE.
15. A 4" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ON-SITE TO PVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION.
16. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.

XXXX.XX - EXISTING ELEVATION
 [] XXXX.XX - PROPOSED ELEVATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

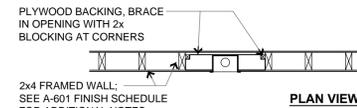
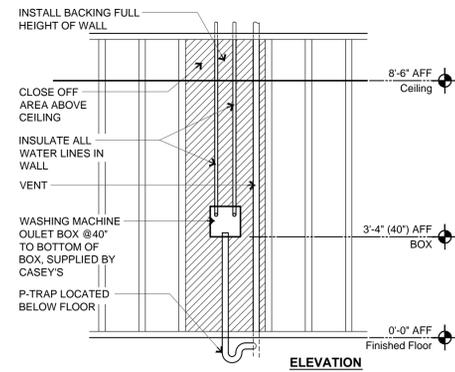
VOLDEMARS L. PELDS, P.E. IA. LIC. NO. 18842 DATE
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2015
 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE):

LEGEND:

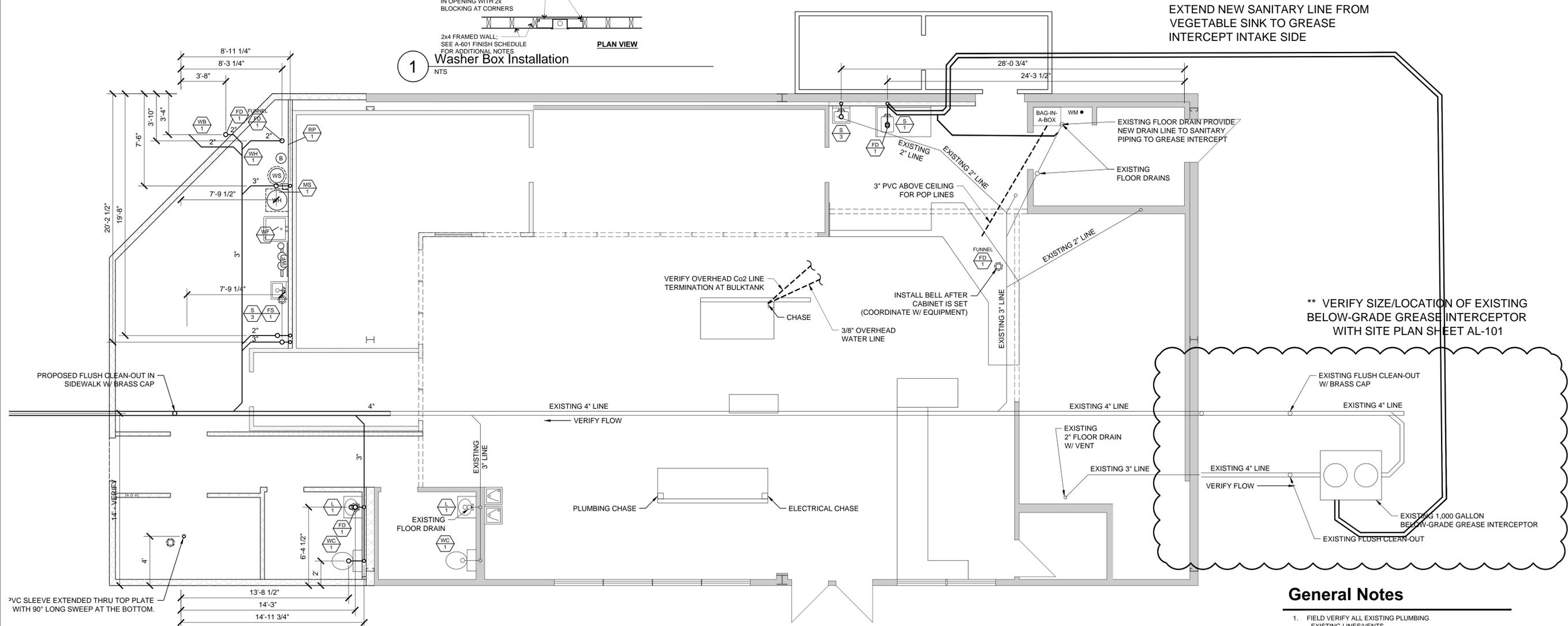
STANDARD SYMBOLS:	+/- MORE OR LESS	[] WATER METER
⊗ POWER POLE	-x-x- FENCE LINE	[] ELEC. TRANSFORMER
⊙ LIGHT POLE	⊗ FIRE HYDRANT	[] TEL. JUNCTION BOX
F.F. FINISHED FLOOR	⊙ SANITARY MANHOLE	-xxx- UTILITY LINE OR PIPE
	⊙ STORM SEWER MANHOLE	W WATER
	⊙ VALVE	G GAS
	125.3 SPOT ELEVATION (@ x)	S SANITARY SEWER
	N.T.S. NOT TO SCALE	ST STORM SEWER
	P.C.C. PORTLAND CEMENT CONC.	UGE/T UNDERGROUND ELEC. / TEL.
	H.M.A. HOT MIX ASPHALT	OHE/T OVERHEAD ELEC. / TEL.
	[] GAS METER	CATV CABLE TELEVISION

TITLE:
CASEY'S GENERAL STORES
20 W HICKMAN ROAD (HWY 6)
WAUKEE, IOWA

BENCHMARK: Cut "X" on NW Corner of Square Conc. MH Approx. 287 ft West of Property Line Elevation = 1021.09		REVISIONS:	
COPYRIGHT DATE: 07-31-2015	DRAWN BY: E. JONDLE	SCALE: 1" = 30'	LATEST REVISION: 07-31-2015
FILE PATH: J:\Casey's\Waukee\CGS - Waukee - Grading 07-31-2015	DRAWING NO.: C15-053		GRADING



1 Washer Box Installation
NTS



EXTEND NEW SANITARY LINE FROM VEGETABLE SINK TO GREASE INTERCEPT INTAKE SIDE

** VERIFY SIZE/LOCATION OF EXISTING BELOW-GRADE GREASE INTERCEPTOR WITH SITE PLAN SHEET AL-101

General Notes

- FIELD VERIFY ALL EXISTING PLUMBING
 - EXISTING LINES/VENTS
 - EXISTING FLOW DIRECTION
 - LOCATION/SIZE OF EXISTING GREASE INTERCEPTOR
- REFER TO THE FOLLOWING SHEETS FOR RELATED INFORMATION
- AL-101 SITE PLAN
 - A-101 FLOOR PLAN
 - S-101 FOOTING & FOUNDATION PLANS
 - P-501 PLUMBING DETAILS & SCHEDULE

General Construction Notes

- WATER SERVICE MAIN EXISTING
- WATER LINES SHALL FIXTURES TO HAVE VALVES AND CHROME ESCUTCHEONS
- FAUCET TO FLOOR BASIN REQUIRES ANTI-SIPHON. FAUCET TO BE @28" HEIGHT WITH 8" SPLIT NEXT TO WALL
- INSULATE ALL WATER LINES ABOVE CEILING
- OUTSIDE FAUCET LOCATED IN WALL OF THE UTILITY ROOM. FREEZE-LESS, 18" LENGTH, KEYED, ANTI-SIPHON, WITH VALVE INSTALLED ON MAIN LINE IN UTILITY ROOM BELOW CEILING AND IN ACCESS PANEL OF FALSE WALL @20" HEIGHT
- FILTER SYSTEM FOR CARBONATOR, COFFEE & ICE MACHINE [SEPERATE FILTER FOR ICE MACHINE WHEN REQUIRED]
- WATER CLOSET REQUIRES SPLIT SEAT WITH LID
- ALL MEASUREMENTS INSIDE SHEETING/BRICK LEDGE
- WATER LINE TO ICE MACHINE WITH 1/2" X 3/8" ANGLE STOP VALVE @4" HEIGHT ON WALL. USE ONLY FLARE OR SWEAT FITTINGS
- ALL DRAINS AND FIXTURES TO BE VENTED (CONNECT TO EXISTING VENT WHERE POSSIBLE)
- ALL WATER LINES TO BE LOCATED IN THE INTERIOR WALLS. LINEAR WALL LINES REQUIRE INSULATION PROTECTION.
- FLOOR DRAINS TO BE PVC BODY WITH ADJUSTABLE TOP
- WATER LINE MATERIAL TO MEET LOCAL CODE
- SUPPLY LINE TO RESTROOM AREA WITH VALVES
- BACK FLOW PREVENTER IS SUPPLIED WITH CARBONATOR (IL ASSE 1032-1980-OR EQUAL) NO COPPER PIPING BETWEEN CARBONATOR AND WATER STOP
- WATER SOFTENER REQUIRES 3/4" INLET RH SIDE/OUTLET LH SIDE WITH VALVES ON EACH. HEIGHT @46-1/4" WITH 3" SPLIT BETWEEN. COMPLETE WATER SYSTEM TO BE ON SOFTENER EXCEPT OUTSIDE FAUCET. VERIFY CITY GRAIN HARDNESS. OVER 20 REQUIRES SOFTENER. OVER 30 REQUIRES LARGER SOFTENER (SUPPLIED BY OWNER IF APPLICABLE)
- INSTALL BALL VALVE ABOVE CEILING FOR SUPPLY LINES TO RESTROOM
- ALL SINK P-TRAPS TO BE CHROMED
- PIPES UNDER EACH HANDICAP SINK IN RESTROOMS TO HAVE MOLDED HANDICAP COVER
- PIPES UNDER EACH HANDICAP SINK IN RESTROOMS TO HAVE MOLDED HANDICAP COVER
- (HOT AND COLD) 1/2" WATER LINES (INSULATED IN WALL) FOR WASHING MACHINE. CONNECT INTO WASHING MACHINE OULET BOX (SUPPLIED BY OWNER IF APPLICABLE). WATER LINES TO EXTEND INTO OULET BOX FOR VALVE REPLACEMENT. LINES ABOVE CEILING TO HAVE VALVES
- 3" P-TRAP WITH VENT AND 4" HUB(BELL) PROJECTION WITH 2" VENT (ICE MACHINE)
- 2" P-TRAP BELOW FLOOR FOR WASHING MACHINE. USE WASHING MACHINE OULET BOX SUPPLIED BY CASEY'S. DRAIN @40" TO BOTTOM OF BOX (SUPPLIED BY OWNER) 2.5" PROJECTION.
- RESTROOM LAVATORY WALL MOUNT BRACKET @17" C.C AND 32" OFF FLOOR. MAX HEIGHT TO RIM 34" MIN 29" CLEARANCE FROM FLOOR
- PLUMBING CONTRACTOR TO USE ONLY BLDG. MANUFACTURERS CAULKING ON ROOF PENETRATIONS.
- VEGETABLE SINK WITH INDIRECT FLOOR DRAIN. (LINES EXITS WALL @17" OFF FLOOR). INSTALL ACCORDING TO STATE AND LOCAL CODES.
- CLEANOUTS SHALL NOT BE INSTALLED IN SALES AREA
- UNION AND BALL VALVES REQUIRED ON BOTH INLET/OUTLET LINES OF WATER HEATER
- RE-CIRCULATION PUMP PART# 103251 BELL & GOSSET WOD NRF 22 110V INSTALLED BY PLUMBER ABOVE WATER HEATER IN UTILITY ROOM
- WATER SOFTENER REQUIRES 3/4" INLET RH SIDE/OUTLET LH SIDE WITH VALVES ON EACH. HEIGHT @46-1/4" WITH 3" SPLIT BETWEEN. COMPLETE WATER SYSTEM TO BE ON SOFTENER, EXCEPT OUTSIDE FAUCETS. VERIFY CITY WATER GRAIN HARDNESS: OVER 10 REQUIRES SOFTENER.
- ALL WATER LINES TO COFFEE BAR & REFRESHMENT CENTER TO BE RAN OVERHEAD
- FILTERED WATER TO BE SUPPLIED TO ALL FOOD PREPARATION SINKS AND POTABLE WATER FIXTURES, INCLUDING TEA BREWER, FCB, POP MACHINE, ICE FOLLET, ICE MACHINE, COFFEE BAR, VEGETABLE SINK
- COFFEE SUPPLY LINES: ROUTE DOWN WALL IN 4" PVC BURIED UNDER SLAB, RUN LINES THRU PVC TO COFFEE BAR. COFFEE MACHINE SHOULD BE SUPPLIED WITH COLD FILTERED WATER. SEE DETAIL 4/P-501. WATER LINES TO BE PEX WITH BRASS FITTINGS.

MECHANICAL, ELECTRICAL, PLUMBING
COMPREHENSIVE MECHANICAL SERVICES
940 REDHAWK WAY SE ALTOONA, IA. 50009
Contact: **Robb Vannoy, P.E.**
Email: onserv@aol.com
Voice: 515.577.1490

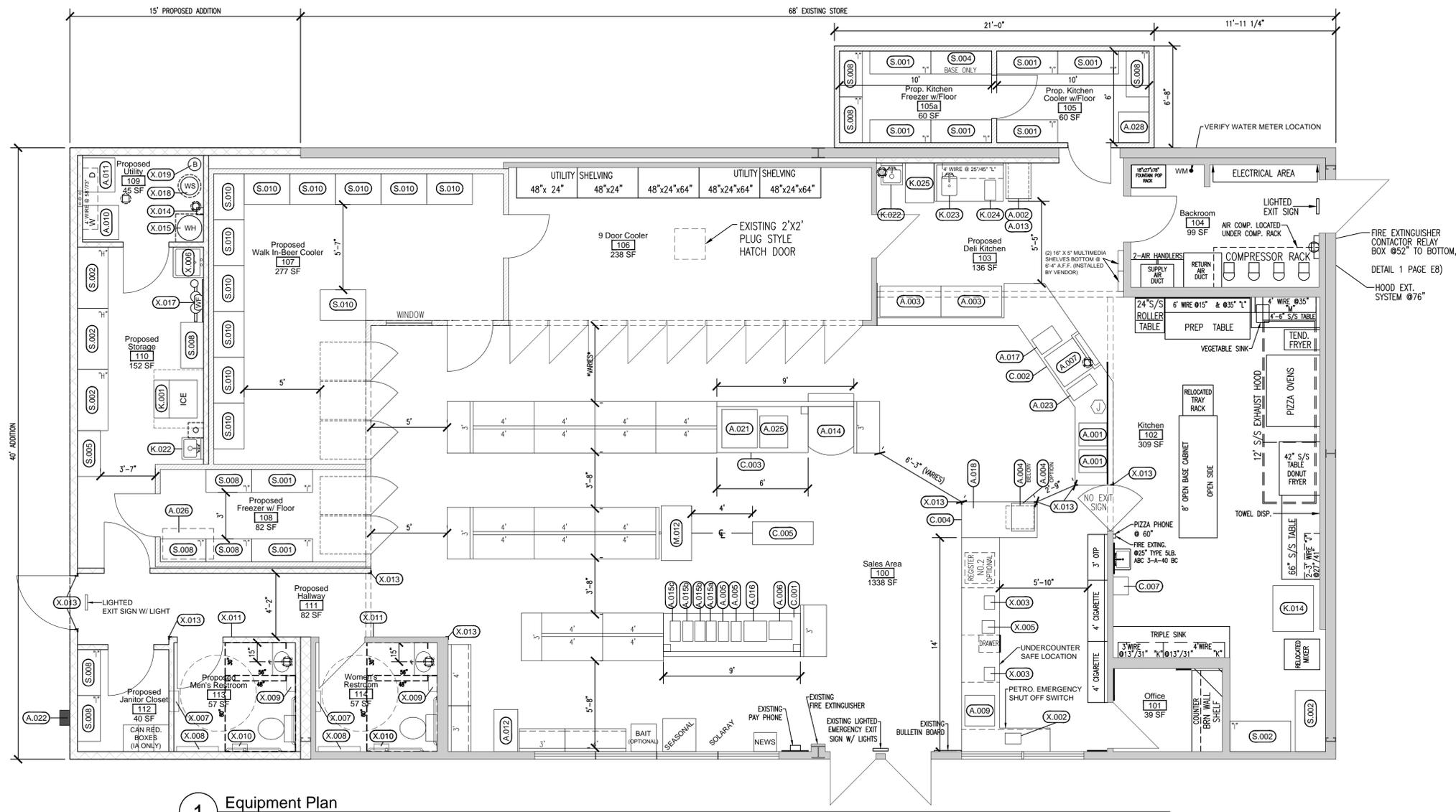
CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

PROJECT: 20 W HICKMAN RD (HWY 6) WAUKEE ,IA #3
"G" STYLE STORE #2538
HIP ROOF

DATE: 03-15-15
DRAWING INFORMATION: SANITARY PLUMBING PLAN

DRAWING INFORMATION: CONSTRUCTION DIVISION
DESIGNED BY: JACOB CLARK

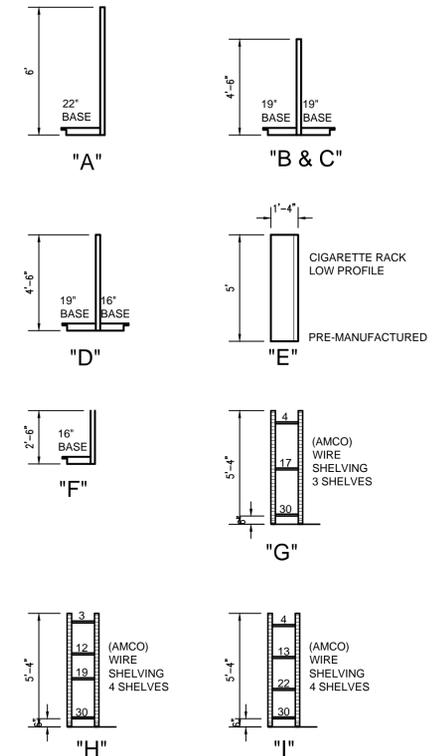
P-101



1 Equipment Plan
1/4" = 1' - 0"

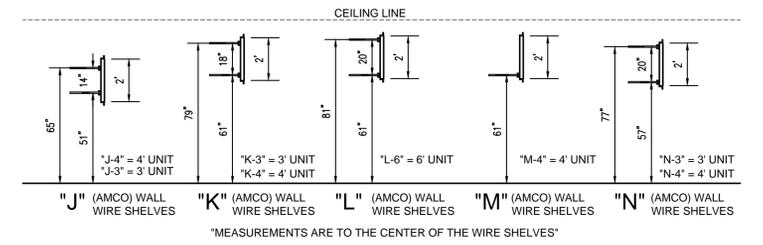
General Notes

- 1-1/2" Ø STAINLESS STEEL GRAB BARS WITH CONCEALED ANCHORS TO WALL BLOCKING. MOUNT CENTERLINE AT 34-1/2" A.F.F. SIDE WALL GRAB BAR SHALL BE 42" LONG LOCATED 12" MAX. FROM REAR WALL AND EXTENDING 54 MIN. FROM THE REAR WALL. REAR WALL GRAB BAR SHALL BE 36" LONG AND EXTEND FROM THE CENTERLINE OF TOILET 12" MIN. ON ONE SIDE AND 24" MIN. ON THE OTHER SIDE. VERTICAL GRAB BAR SHALL BE 18" TALL.
- WERE APPLICABLE, REPLACE WOOD CABINETS IN KITCHEN WITH STAINLESS STEEL TABLES AND WIRE SHELVING. VINYL SHEET ROCK TO BE REPLACED WITH FRP/OSS. CEILING TO GET NEW VINYL TILES
- EXISTING CIGARETTE AND OTP RACKS TO BE REINSTALLED AFTER REMODEL OF SALES AREA.



Equipment Schedule

A - APPLIANCE			S - STORAGE			X - OTHER		
NOTE	DESCRIPTION	DETAILS	NOTE	DESCRIPTION	DETAILS	NOTE	DESCRIPTION	DETAILS
A.001	SELF-SERVE SANDWICH/PIZZA WARMER		S.001	48" x 18" x 64"	G MIN. 6" TO BOTTOM	X.002	MICROPHONE	
A.002	STEAMER		S.002	48" x 24" x 64"	G MIN. 6" TO BOTTOM	X.003	CREDIT CARD MACHINE	
A.003	DELI SANDWICHES - 8'-0" PREP TABLE	WITH SNEEZE GUARD	S.005	36" x 18" COAT RACK		X.005	LOTTO	
A.004	MICROWAVE		S.004	48" x 8" x 8" PLATFORM		X.006	MOP BASIN	DO NOT INSTALL UNTIL AFTER FLOOR TILE HAS BEEN INSTALLED.
A.005	2 SH DOCKING STATION	GLASS	S.008	36" x 18" x 64"	I MIN. 6" TO BOTTOM	X.007	RECESSED PAPER TOWEL DISPENSER AND TRASH RECEPTACLE.	
A.006	CAPPUCCINO	3 & 5 HEAD (3 HEAD ON RIGHT, 5 HEAD ON LEFT)	S.010	36" x 24" x 64"	I MIN. 6" TO BOTTOM	X.008	BABY CHANGING STATION	
A.007	SELF-SERVE FOUNTAIN DRINK	10 DISPENSER HEADS				X.009	ELECTRIC HAND DRYER	
A.009	CASH REGISTER #1		C - CASEWORK			X.010	DOUBLE TOILET PAPER HOLDER	
A.009a	CASH REGISTER #2					X.011	H.C. RESTROOM SIGN	@60" TO CENTER & 3" OFF LATCH SIDE OF DOOR
A.010	ELECTRIC WASHER UNIT		C.001	COFFEE BAR	9'-0" x 2'-6"	X.013	STAINLESS STEEL OUTSIDE CORNER	
A.011	ELECTRIC DRYER UNIT		C.002	DELI	SEE SHEET A-101	X.015	52 GALLON WATER HEATER ON STAND	
A.012	ATM		C.003	REFRESHMENT	3'-0" x 6'-0"	X.017	WATER FILTER SYSTEM	
A.013	TOASTER	MOUNT @ 52" A.F.F.	C.004	CONDIMENT	5'-3" x 2'-0"	X.018	WATER SOFTENER	
A.014	OPEN TOP COOLER		C.005	ISLAND	4'-0" x 1'-6"	X.019	BRINE TANK	
A.015a	FLAVOR SHOTS		C.006	SALES COUNTER	14' x 2'-6"			
A.015b	CONDIMENTS		C.007	PIZZA DELIVERY COUNTER	14'W x 12'D x 41'H			
A.015c	FRESH CREAMER		M-MERCHANDISING			K - KITCHEN		
A.016	COFFEE MACHINE	DUAL BREW				NOTE	DESCRIPTION	DETAILS
A.017	ICE COFFEE		M.012	SELF SERVE DONUT CASE	SHELF @ 5', 11', 17', 23'	K.001	ICE MACHINE	ON LEGS
A.018	CONDIMENT AREA					K.014	BREAD OVEN AND PROOFER	6" CLEARANCE REQUIRED
A.021	FROZEN CARBONATED BEVERAGE FREEZER	# C302 - MCCORMACK				K.015	DOUGH ROLLER	BOLT TO CART
A.022	AIR COMPRESSOR BOX	LOCATE AT 4' HEIGHT				K.022	STAINLESS STEEL HAND SINK	WALL HUNG W/SPLASH GUARDS
A.023	ICE TEA BREWER - WITH TDO-4 DISPENSER	MODEL TB3Q				K.023	VEGETABLE SINK	MOLDED IN 8' STAINLESS STEEL TABLE
A.025	SOFT SERVE ICE CREAM MACHINE					K.024	VEG-O-MATIC	SLICER
A.026	AIR COMPRESSOR LOCATED ABOVE FREEZER ON SHELF					K.025	BREAD HOLDING CABINET	37 3/4"H x 22 3/8"W x 31 1/2"D ON CASTERS



2 SHELVING COMPONENTS
1/4" = 1' - 0"

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ARCHITECTS + LANDSCAPE ARCHITECTS + PLANNERS
1401 Hickman Parkway, Suite 400, Waukegan, IL 60087
815.224.0022 Fax 815.224.0021

Casey's Construction Division
One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100

PROJECT: 20 W HICKMAN RD (HWY 6) WAUKEE, IA #3
DRAWING: 03-15-15
REVISION: _____
EQUIPMENT PLAN
AQ-101

JACOB CLARK