

EXHIBIT A

# WILLIAMS POINTE PLAT 15

(Previously platted as Williams Pointe Plat 9)

PLANNED DEVELOPMENT

CITY OF WAUKEE

ORIGINALLY APPROVED BY WAUKEE CITY COUNCIL ON  
AUGUST 1, 2005

AMENDED BY WAUKEE CITY COUNCIL ON OCTOBER 15, 2007

AMENDED BY WAUKEE CITY COUNCIL ON MAY 6, 2013

AMENDED BY WAUKEE CITY COUNCIL ON \_\_\_\_\_, 2016



September 2005

Amended and Approved by Waukee City Council on May 6, 2013

Amended and Approved by Waukee City Council on \_\_\_\_\_, 2016

**WILLIAMS POINTE PLAT 15** (Previously platted as Williams Pointe Plat 9)

Waukee, Iowa

Planned Development District (PD)

**Item 1 Location, Size, Legal Description**

- A. See Attached: Exhibit A – Vicinity Map
- B. See Attached: Exhibit B – Property Legal Description
- C. The property is bordered by Gilcrest/Jewett Lumber Company to the west across Alice’s Road, Williams Pointe Condominiums/Windhall at Williams Pointe Apartments to the east across SE Brick Drive, future commercial to the north and future commercial to the south across University Avenue.

**Item 2 Topography**

- A. See Attached: Exhibit C – Existing Topography and Features Map

**Item 3 Location and Description of Major Site Features, including Tree Masses, Drainage ways, Wetlands, Soils**

- A. See Attached: Exhibit C – Existing Topography and Features Map
- B. The site generally drains from east to west and carries the drainage from the existing Williams Pointe Condominiums/Windhall at Williams Pointe Apartments to a 42” RCP that crosses under Alice’s Road. According to the Dallas County Soil Survey, the type of soils in the area consist of Clarion loam, Nicollet loam, Canisteo silty-clay loam and Storden Loam.

**Item 4 Location of 100 Year Floodplains**

- A. Not Applicable

**Item 5 Generalized Land Use Plan**

- A. See Attached: Exhibit D – Rezoning Map (Amended May 6, 2013)  
Exhibit E – Preliminary Development Layout (Amended May 6, 2013)
- B. The proposed development plan shows an 8-lot development with a private street system. Peoples Bank was constructed in 2005 and sits on Lot 1 of Williams Pointe Plat 9. The remaining lots are intended for a mixture of retail and office uses. [Lot 2 of Williams](#)

Point Plat 15 would allow for automobile service and repair use which would otherwise not be allowed for in a C-1A zoning district (see Exhibit E and E1). (Amended \_\_\_\_\_, 2016)

- Item 6 Proposed Types and Densities of Development**  
A. See Attached: Exhibit F – Bulk Regulations (Amended May 6, 2013)
- Item 7 General Location and Size of Building or Building Footprints**  
A. See Attached: Exhibit E – Preliminary Development Layout  
Refer to Section 3 for Conceptual Elevation Views
- Item 8 Site Master Plan, Including General Envelopes of Buildings, Parking, Open Space, and Other Site Features**  
A. See Attached: Exhibit E – Preliminary Development Layout  
B. Exhibit E shows the location of Peoples Bank on Lot 1 of Williams Pointe Plat 9 and the approximate location of an office building along Alice’s Road. The remaining lots show an approximate building pad location and parking for the lot. The uses and development requirements will meet the zoning regulations set forth by the PD Bulk Regulations.
- Item 9 Description and Location of all Use Types Included in the Project, including Maximum Floor Areas Devoted to Each Use**  
A. See Attached: Exhibit F – Bulk Regulations
- Item 10 Location and Design of Vehicular, Bicycle, and Pedestrian Circulation Systems, including Relationship to External Transportation System and Location of Driveways or Access Points Adjacent to the Project**  
A. See Attached: Exhibit E – Preliminary Development Layout  
B. This property contains four access points to the development. There is a full access location onto Alice’s Road across from Gilcrest/Jewett Lumber, a full access location on University Avenue and two full access locations onto SE Brick Drive.  
C. The remainder of the development includes a private internal access road system with 25’ road widths and head-in parking off of the drives. Ingress/Egress easements are shown on the preliminary plat to provide adequate access for all the lots.  
D. There will be sidewalks throughout the development to allow pedestrian traffic accessibility to the site. A 10’ P.C.C. trail has been installed along University Avenue that connects into the Waukee City trail system. A 4’ foot P.C.C. sidewalk will also be installed along Alice’s Road and will be routed to the east of the existing detention pond. Internal sidewalks will be generally located on the north and west side of the private drives.

- Item 11**      **Schematic Location and Development Standards for Open Space, including Conceptual Landscape Plan**
- A. See Attached: Exhibit F – Bulk Regulations
- Item 12**      **Building Design Standards, including Height, Materials, Sections, and Other Information Required to Describe the Project**
- A. See Section 3: Architectural Character for the existing Peoples Bank and the proposed office building.
- B. All of the lots within the development shall meet the uses and development requirements set forth by Exhibit F – Bulk Regulations.
- Item 13**      **Location of Existing and Proposed Utilities, Sanitary Sewer, Storm Water Facilities, and Water, Gas and Electrical Distribution Systems**
- A. See Attached: Exhibit C – Existing Topography & Features Map
- Item 14**      **Proposed Site Development Regulations, Including Maximum FAR or Other Density Regulations, Building and Impervious Coverage, Setbacks, Maximum Heights, and Other Design Standards Specific to the Project**
- A. See Attached: Exhibit F – Bulk Regulations
- Item 15**      **Proposed Signage**
- A. At the time of development, each site plan would propose specific signage for their particular lot that would meet requirements set forth in the Waukee Zoning Ordinance which outlines specific requirements for the size, number and types of signs allowed for each type of zoning.
- Item 16**      **Proposed Public and Private Ownership Boundaries, including Proposed Private Lots and Common Ownership Areas**
- A. See Attached: Exhibit D – Rezoning Map
- Item 17**      **Preliminary Plat, If Applicable**
- A. Not Applicable

**Item 18      Final Plat, If Applicable**

A. Not Applicable

**Item 19      Schedule Indicating Proposed Phasing and Scheduling of  
Development**

A. Phase I construction of Peoples Bank site plan was approved by the Waukee City Council on July 18, 2005 and has been constructed. Phase II construction would include the proposed office building along SE Alice's Road and is proposed to be constructed upon City Council approval of a site plan in the summer of 2013.

**Item 20      Deed Restrictions, Covenants, Agreements, Association Bylaws, and  
Other Documents Controlling the Use of the Property, Type of  
Construction or Development or Activities of Future Residents**

**EXHIBIT 'A' – VICINITY  
MAP**



**EXHIBIT 'B'**  
**LEGAL DESCRIPTION**

**LOTS 1 THROUGH 3 AND OUTLOT A OF WILLIAMS POINTE PLAT 9, AN OFFICIAL PLAT, CITY OF WAUKEE, DALLAS COUNTY, IOWA; AND**

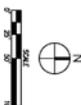
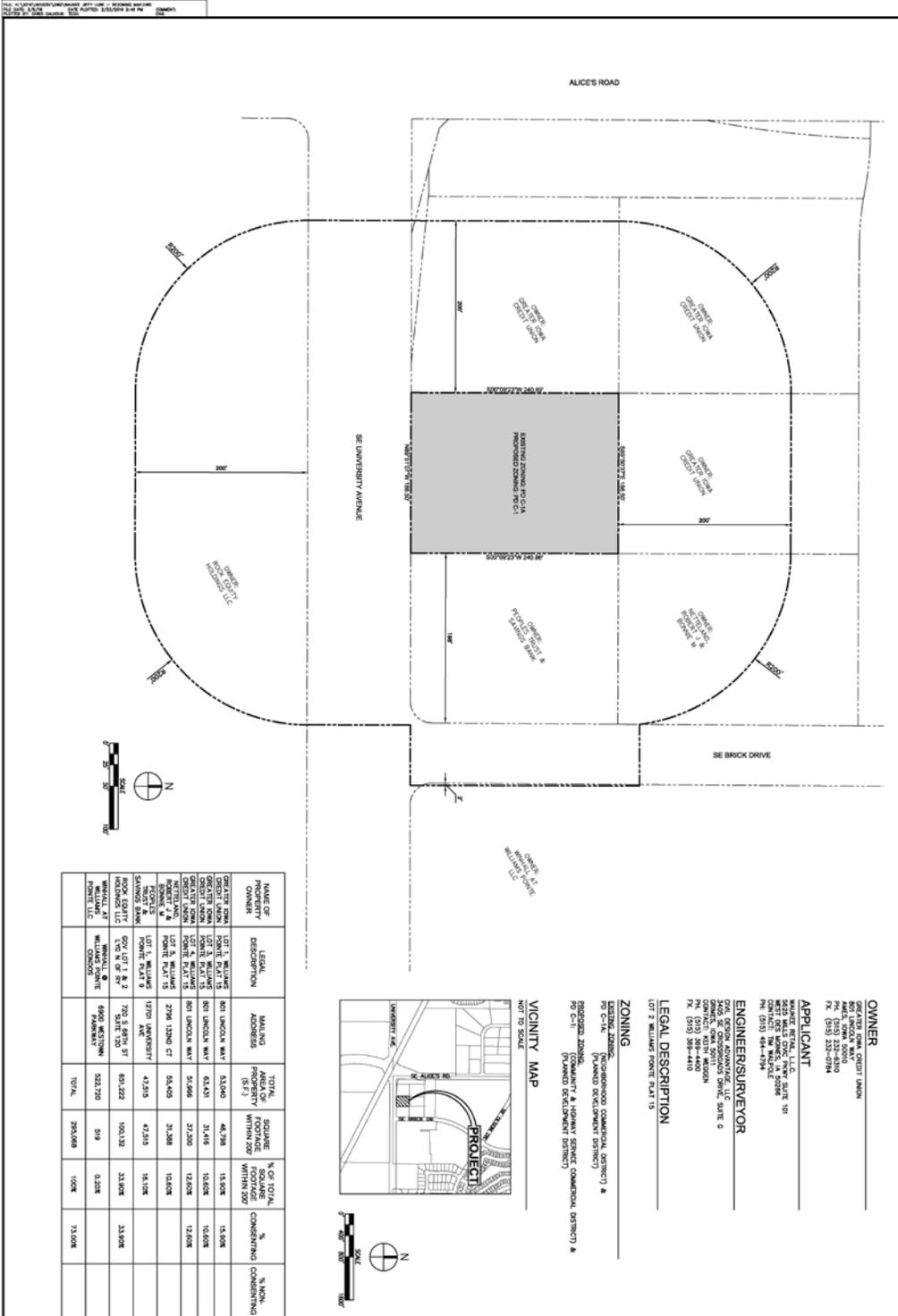
**A PART OF LOT 2, WILLIAMS POINTE PLAT 7, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00°18'53" EAST ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 120.63 FEET; THENCE SOUTH 89°41'07" EAST, 450.00 FEET; THENCE SOUTH 00°18'53" WEST, 121.10 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 89°37'31" EAST ALONG SAID SOUTH LINE, 450.00 FEET TO THE POINT OF BEGINNING;**

**CONTAINING 12.93 ACRES MORE OR LESS.**



# EXHIBIT D: REZONING MAP



NAME OF PROJECT OWNER	LEGAL DESCRIPTION	MAPPING ADDRESS	TOTAL AREA OF PROJECT (S.F.)	EQUIVALENT SQUARE FEET WITHIN ZONING DISTRICT	% OF TOTAL SQUARE FEET WITHIN ZONING DISTRICT	% NON-CONFORMING
GREATER IOWA POWER PLANT 15	LOT 15, WILLIAMS POWER PLANT 15	801 LINCOLN WAY	53,040	46,798	15.00%	15.00%
GREATER IOWA POWER PLANT 15	LOT 14, WILLIAMS POWER PLANT 15	801 LINCOLN WAY	63,431	31,416	10.00%	10.00%
GREATER IOWA POWER PLANT 15	LOT 13, WILLIAMS POWER PLANT 15	801 LINCOLN WAY	51,966	27,200	12.00%	12.00%
GREATER IOWA POWER PLANT 15	LOT 12, WILLIAMS POWER PLANT 15	2794 125th Ct	58,405	31,388	10.00%	10.00%
REYNOLDS SAVINGS BANK	LOT 11, WILLIAMS POWER PLANT 15	12701 UNIVERSITY AVE	47,310	47,310	18.10%	18.10%
REYNOLDS SAVINGS BANK	LOT 10, WILLIAMS POWER PLANT 15	7201 SE 127th St	624,222	100,132	33.00%	33.00%
WALLACE AT WILSONVILLE	LOT 2, WILSONVILLE PARKWAY	6900 WILSONVILLE PARKWAY	522,720	919	0.02%	0.02%
WALLACE AT WILSONVILLE	LOT 1, WILSONVILLE PARKWAY	6900 WILSONVILLE PARKWAY	293,008	100%	100%	73.00%

**OWNER**  
 GREATER IOWA POWER PLANT 15  
 801 LINCOLN WAY  
 WASHINGTON, IOWA 50250  
 PH: (515) 232-6330  
 FX: (515) 232-2434

**APPLICANT**  
 WAUKEE JIFFY LUBE, L.P.  
 3405 S.E. CROSSROADS DRIVE, SUITE 101  
 GRIMES, IOWA 50111  
 PH: (515) 369-4400  
 FX: (515) 369-4410

**ENGINEER/SUPERVISOR**  
 CIVIL DESIGN ADVANTAGE, L.P.  
 3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PH: (515) 369-4410  
 FX: (515) 369-4410

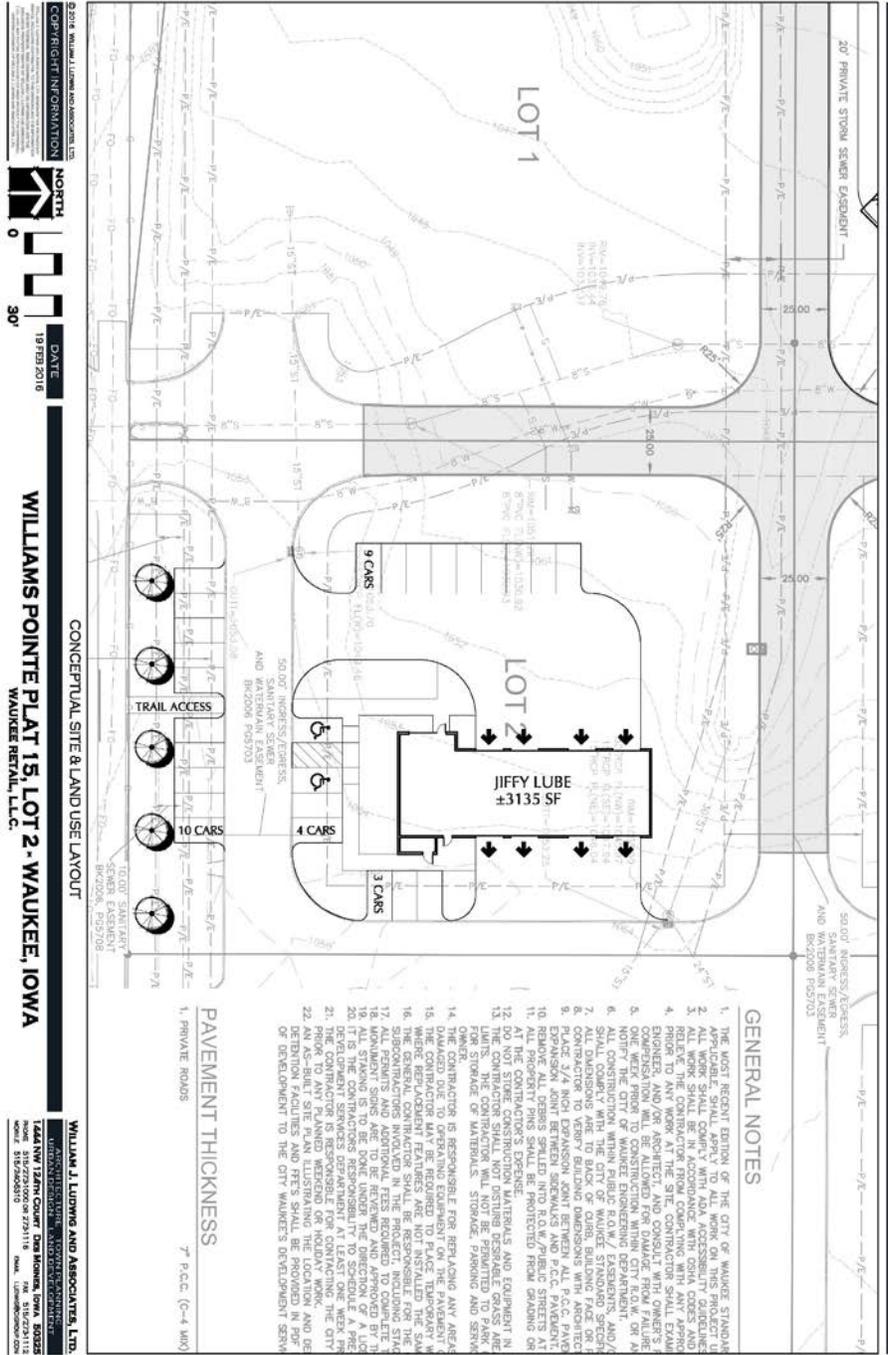
**LEGAL DESCRIPTION**  
 LOT 2 WILSONVILLE PARKWAY

**ZONING**  
 REZONING DISTRICT A  
 PLANNED DEVELOPMENT DISTRICT A  
 PLANNED DEVELOPMENT DISTRICT A  
 PLANNED DEVELOPMENT DISTRICT A  
 PLANNED DEVELOPMENT DISTRICT A

**VICINITY MAP**  
 NOT TO SCALE



**EXHIBIT E1: CONCEPTUAL LAYOUT OF LOT 2 WILLAIMS POINTE PLAT 15**



**GENERAL NOTES**

1. THE MOST RECENT EDITION OF THE CITY OF WAUKEE STANDARD APPLICABLE SHALL APPLY TO ALL WORK ON THIS PROJECT.
2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY WORK AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY WORK AT THE SITE.
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22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY WORK AT THE SITE.

**PAVEMENT THICKNESS**

1. PRIVATE ROADS 7" P.C.C. (3-4 INCH)

2018 WILLAIMS POINTE PLAT 15, LOT 2 - WAUKEE, IOWA  
 CONCEPTUAL SITE & LAND USE LAYOUT  
 WILLAIMS POINTE PLAT 15, LOT 2 - WAUKEE, IOWA  
 WAUKEE RETAIL, L.L.C.  
 WILLIAM J. LUDWIG AND ASSOCIATES, LTD.  
 1244 NEW 127th Ave NE, WAUKEE, IA 50255  
 PHONE: 515/273-0200 FAX: 515/273-1112  
 EMAIL: WJL@WILLIAMJLUDWIG.COM

**Williams Pointe Plat 9  
Planned Development  
Exhibit 'F'  
Amended by Waukeee City Council on May 6, 2013**

**BULK REGULATIONS**

'C-1A' Neighborhood Commercial District Zoning Regulations and 'C-4' Office Park Commercial District shall apply except as listed below:

- A. Front Yard: 30 feet perimeter boundary and 30 feet setback from the internal property lines.
- B. Side Yard: No minimum shall apply except when bordering an 'R' District in which case the side yard shall be 15 feet.
- C. Rear Yard: 30 feet perimeter boundary and 30 feet from the internal property lines.
- D. Each lot will have a minimum 20% open space requirement.
- E. Commercial Parking: Parking will meet current City of Waukeee Ordinance requirements for minimum parking based upon use.