

LEGACY POINTE AT WAUKEE PLAT 7 PRELIMINARY PLAT / SITE PLAN

SHEET INDEX:

- 1 OF 5 COVER SHEET
- 2 OF 5 GRADING PLAN
- 3 OF 5 UTILITY-TRAFFIC CONTROL PLAN
- 4 OF 5 LANDSCAPE PLAN
- 5 OF 5 SWPPP

PROPERTY DESCRIPTION:

LOTS 3, 4, AND 5, LEGACY POINTE AT WAUKEE PLAT 1, AN OFFICIAL PLAT, ALL INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.

SAID TRACT OF LAND CONTAINS 2.93 ACRES MORE OR LESS.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.

ADDRESS:

1595 SE GOLDEN HARVEST DR.
WAUKEE, IA 50263

OWNER:

URBAN FAMILY INVESTMENT LLC
4800 MILLS CIVIC PKWY.
SUITE 205
WEST DES MOINES, IA 50266

PREPARED FOR:

URBAN FAMILY INVESTMENT LLC
4800 MILLS CIVIC PKWY.
SUITE 205
WEST DES MOINES, IA 50266
ATTN: TIM URBAN
PHONE: 515-208-0591

ENGINEER/SURVEYOR:

BISHOP ENGINEERING
ATTN: CHARLES BISHOP
3501 104TH ST.
URBANDALE, IA 50322
PH: (515) 276-0467

COMPREHENSIVE LAND USE

EXISTING & PROPOSED:
LOW DENSITY RESIDENTIAL

EXISTING ZONING

PLANNED DEVELOPMENT DISTRICT PD-C1-A

PROPOSED ZONING

PLANNED DEVELOPMENT DISTRICT PD-C1-A

BULK REGULATIONS:

- DENSITY: TWELVE (12) DWELLING UNITS/ACRE MAXIMUM
- MINIMUM FLOOR AREA: ELEVEN HUNDRED (1,100) S.F. PER UNIT
- MINIMUM LOT WIDTH: TWENTY FOUR (24) FEET
- FRONT YARD SETBACK: TWENTY (20) FEET MINIMUM FROM PUBLIC STREET OR FROM EDGE OF CURB OF A PRIVATE
- REAR YARD SETBACK: TWENTY (20) FEET MINIMUM EXCEPT FOR THOSE UNITS THAT BACK UP TO THE EXISTING DETENTION POND (LOT B OF LEGACY POINTE AT WAUKEE PLAT 1). THE MINIMUM REAR YARD SETBACK SHALL BE TEN (10) FEET.
- SIDE YARD SETBACK: TEN (10) FEET MINIMUM BETWEEN PRINCIPAL BUILDINGS.
- MAXIMUM NO. OF STORIES: TWO (2) STORIES
- NUMBER OF CONNECTED UNITS: MAXIMUM OF TWO (2) UNITS
- OFF-STREET PARKING: TWO (2) PARKING STALLS PER UNIT OF WHICH ONE (1) MINIMUM WILL BE IN AN ATTACHED GARAGE. ONE ADDITIONAL STALL FOR EVERY FOUR (4) UNITS FOR VISITOR PARKING.
- MINIMUM OPEN SPACE: THE TOTAL LAND AREA DEVOTED TO OPEN SPACE AND LANDSCAPING SHALL NOT BE LESS THAN TWENTY (20%) PERCENT OF THE GROSS LAND AREA CALCULATED AS A WHOLE. INDIVIDUAL LOTS MAY HAVE LESS THAN 20%.

DISTURBED AREA = 0.9 ACRES (39,200 S.F.)

BENCHMARKS:

OPERATING NUT ON HYDRANT
ELEV. 1017.51

OPERATING NUT ON HYDRANT
ELEV. 1018.96

OPEN SPACE/IMPERVIOUS REQUIREMENTS:

TOTAL SITE AREA = 127,474 S.F.
REQUIRED OPEN SPACE = 25,495 S.F. (20.0%)
EXISTING OPEN SPACE = 115,679 S.F. (90.75%)
EXISTING IMPERVIOUS = 11,795 S.F. (9.25%)

PROPOSED OPEN SPACE = 100,224 S.F. (78.62%)
PROPOSED IMPERVIOUS = 27,250 S.F. (21.38%)

NET INCREASE IMPERVIOUS AREA = 15,455 S.F. (0.35 ACRES)

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WAUKEE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK AND PRIOR TO ANY WEEKEND OR HOLIDAY WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WAUKEE.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, COSECO PERMIT AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

UTILITY NOTES:

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL CONTACT BISHOP ENGINEERING (AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE AND LOCATIONS SHOULD BE NOTED ON AS-BUILT DRAWINGS.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD. ALL FLARED END SECTIONS SHALL HAVE A 3 FOOT WIDE CLAY WATER STOP.
7. THE CONTRACTOR SHALL CONTACT THE HOMEOWNERS ASSOCIATION REGARDING THE LOCATION OF THE IRRIGATION SYSTEM TO PREVENT DAMAGE.
8. LANE CLOSURE SIGNS SHALL BE PER MUTCD STANDARDS.

CITY OF WAUKEE NOTES:

1. THE CONTRACTOR SHALL COORDINATE WITH EXISTING PROPERTY OWNER ON REMOVAL AND REPLACEMENT OF SIDEWALKS AND PARKING LOT.
2. THE CONTRACTOR SHALL CONTACT THE HOMEOWNERS ASSOCIATION REGARDING THE LOCATION OF THE IRRIGATION SYSTEM TO PREVENT DAMAGE.
3. THE CONTRACTOR SHALL REPLACE ANY ESTABLISHED LAWN OR AREA WITHIN THE RIGHT-OF-WAY WITH SOD AND WATERED UNTIL ESTABLISHED.
4. ALL PAVEMENT REPLACEMENT SHALL COMPLY WITH THE WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
5. ALL SANITARY SEWER AND STORM SEWER SHALL BE CLEANED AND TELEVISED. THE CITY OF WAUKEE SHALL WITNESS ALL CLEANING AND TELEVISIONING AND COPIES OF THE VIDEOS SHALL BE PROVIDED TO THE CITY OF WAUKEE. IN ADDITION, ALL SANITARY MANHOLES SHALL BE VACUUM TESTED.
6. ALL SANITARY SEWER MAINS SHALL BE PRESSURE TESTED AND TELEVISED AFTER INSTALLING SANITARY SERVICES.

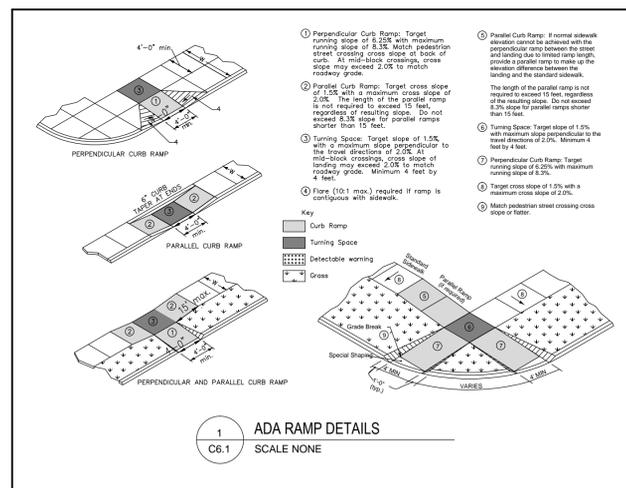
LOT ADDRESSES

- LOT 1: 1599 SE GOLDEN HARVEST DRIVE
- LOT 2: 1593 SE GOLDEN HARVEST DRIVE
- LOT 3: 1589 SE GOLDEN HARVEST DRIVE
- LOT 4: 1583 SE GOLDEN HARVEST DRIVE
- LOT 5: 1579 SE GOLDEN HARVEST DRIVE
- LOT 6: 1573 SE GOLDEN HARVEST DRIVE

PARKING REQUIREMENTS:

PARKING REQUIRED: 2 STALLS/UNIT PLUS 1 ADDITIONAL VISITOR STALL/EVERY 4 UNITS
6 UNITS = 12 + 2 = 14 STALLS TOTAL

PARKING PROVIDED = 2 STALLS/UNIT = 12 STALLS/6 UNITS PLUS 13 EXISTING STALLS
=25 STALLS TOTAL



UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

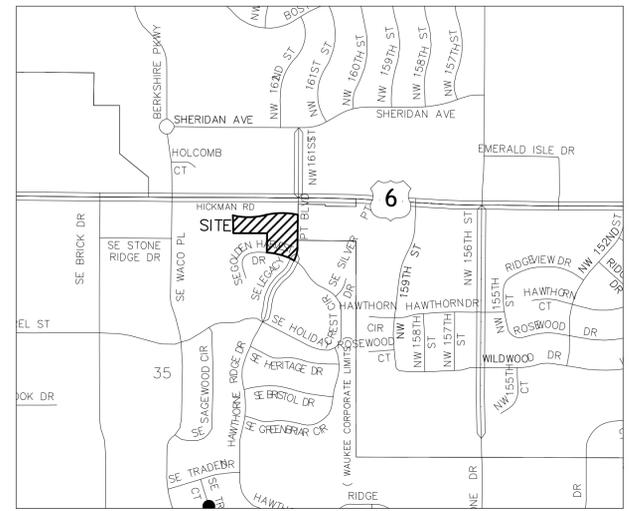
1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY GARDEN & ASSOCIATES.

QUANTITY ESTIMATE:

SANITARY SEWER (PHASE 1):	
MANHOLE	3 EA
8" SANITARY SEWER BORE	102 L.F.
8" SANITARY SEWER	453 L.F.
SANITARY SEWER SERVICE	6 EA
REMOVE EXIST. 6" SERVICE	1 EA
WATER MAIN (PHASE 1):	
WATER SERVICE	6 EA
STORM SEWER:	
SW 513 M-G INTAKE	1 EA
12" RCP	90 LF
STORM SEWER SERVICE	6 EA
MISCELLANEOUS ITEMS:	
MOBILIZATION	1 LS
CLEARING & GRUBBING	1 LS
GRADING / EXCAVATION	1 LS
STRIP & STOCKPILE TOPSOIL	1 LS
RE-SPREAD TOPSOIL	1 LS
EROSION CONTROL	1 LS
SEEDING	1 LS
STREET REMOVAL & REPLACEMENT	152.3 S.Y.
DRIVEWAY REPAIR	1 LS
PAVEMENT REMOVAL & REPLACEMENT	744 S.F.
SIDEWALK REMOVAL & REPLACEMENT	78 S.F.

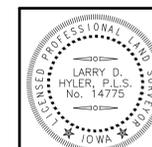


ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

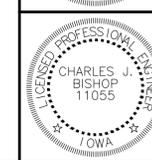
LEGEND:

SAN	SANITARY SEWER	WATER SHUT OFF
ST	STORM SEWER	YARD HYDRANT
W	WATER LINE	ELECTRIC METER
G	GAS LINE	POWER POLE
UE	UNDERGROUND ELECTRIC	TRANSFORMER POLE
—O/E—	OVERHEAD ELECTRIC	★ LIGHT POLE
—TELE—	TELEPHONE LINE	△ TRANSFORMER
—F/O—	FIBER OPTIC	⊖ GUY WIRE
—CATV—	CABLE TV	⊖ ELECTRIC HANDHOLE
--- ---	PHASE LINE	⊖ GAS METER
--- ---	MATCH LINE	⊖ GAS VALVE
⊖	STORM MANHOLE	⊖ AIR CONDITIONING UNIT
⊖	CURB INTAKE	⊖ TELEPHONE RISER
⊖	SURFACE INTAKE	⊖ TELEPHONE VAULT
⊖	FLARED END SECTION	⊖ TELEPHONE MANHOLE
⊖	SANITARY MANHOLE	⊖ TRAFFIC SIGNAL MANHOLE
⊖	CLEANOUT	⊖ FIBER OPTIC RISER
⊖	FIRE HYDRANT	⊖ FIBER OPTIC FAULT
⊖	SPRINKLER	⊖ CABLE TV RISER
⊖	IRRIGATION CONTROL VALVE	● PROPERTY CORNER - FOUND AS NOTED
⊖	WATER MANHOLE	○ PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #12971
⊖	WELL	⊖ SECTION CORNER - FOUND AS NOTED
⊖	WATER VALVE	⊖ STREET ADDRESS



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2016
 PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 5, 2 OF 5, 3 OF 5 & 5 OF 5



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: CHARLES J. BISHOP, P.E. 11055 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2016
 PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 5, 2 OF 5, 3 OF 5 & 5 OF 5

Bishop Engineering



"Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-0467 Fax: (515) 276-0217
 Civil Engineering & Land Surveying
 Established 1959

LEGACY POINTE AT WAUKEE PLAT 7 WAUKEE, IOWA

REFERENCE NUMBER:

DRAWN BY:

GSA

CHECKED BY:

CJB

REVISION DATE:

03-11-16
 03-22-16
 03-28-16

PROJECT NUMBER:

150593

SHEET NUMBER:

1 OF 5

COVER SHEET



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

PRELIMINARY - NOT FOR CONSTRUCTION

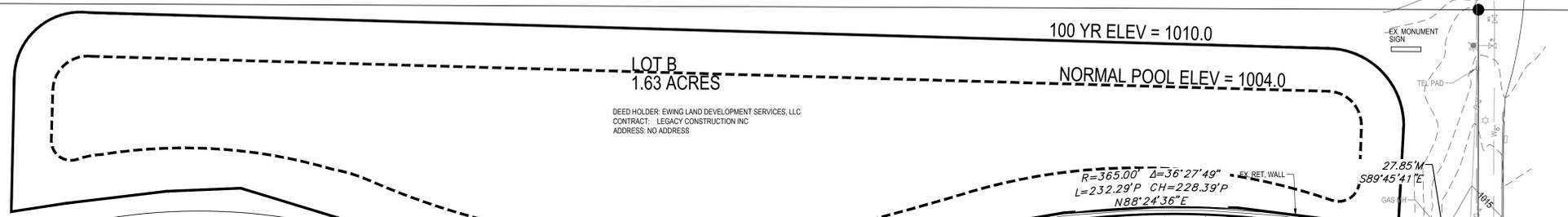
4/8/2016 9:58:59 AM MILAND PROJECTS 2015150593.DWG/PRELIMINARY PLAT.DWG

NORTH 1/4 CORNER
SEC. 35-79-28
FOUND BRASS PLUG

U.S. HIGHWAY NO. 6 (HICKMAN ROAD)

100 YR ELEV = 1010.0

NORMAL POOL ELEV = 1004.0



LOT 2
0.89 ACRES

OWNER: EYERLY, RICHARD G JR
ADDRESS: 1535 SE BLACKTHORNE DR.



LOT 3
0.54 ACRES

OWNER: EYERLY, RICHARD G JR
ADDRESS: 1535 SE BLACKTHORNE DR.

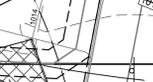


LOT 1
1.90 ACRES

OWNER: ATERRA 20, 1535 SE GOLDEN HARVEST DR WAUKEE, LLC
ADDRESS: 1535 SE GOLDEN HARVEST DR.



OUTLOT Y
6762 SF
0.16 AC



OUTLOT X
85672 SF
1.97 AC



OUTLOT Z
6496 SF
0.15 AC



LOT 6
0.37 ACRES

OWNER: EWING LAND DEVELOPMENT SERVICE

LOT 7

OWNER: EWING LAND DEVELOPMENT SERVICE
ADDRESS: 125 SE GOLDEN HARVEST DR.

LOT 8

OWNER: SELLAH MALLORY
WILLIAM LAWSON
ADDRESS: 1650 & 1540 SE GOLDEN HARVEST DR.

LOT 9

OWNER: MOGENE F. SANDY
ALMEDA JOSEPHINE & RANSOM ROY RANSOM
ADDRESS: 1560 & 1570 SE GOLDEN HARVEST DR.

LOT 10

OWNER: TED & ROSEMARY PRIVITERA
COLLEEN M MONAHAN
ADDRESS: 120 & 130 SE LEGACY POINTE BLVD.

LOT 20

OWNER: ALICE COOPER
J ROGER & JEAN EVANS
ADDRESS: 1625 & 1635 SE HOLIDAY CREST DR.



SE LEGACY POINTE BOULEVARD
(PUBLIC STREET)

OWNER: CAROLE & ARTHUR CRATE
ADDRESS: 1580 HICKMAN RD

OUTLOT B
LEGACY POINTE AT
WAUKEE PLAT 2

OWNER: EWING LAND DEVELOPMENT SERVICE
ADDRESS: NO ADDRESS

LEGACY POINTE AT WAUKEE PLAT 7 WAUKEE, IOWA

LAYOUT & GRADING SITE PLAN

REFERENCE NUMBER:

DRAWN BY:
GSA

CHECKED BY:
CJB

REVISION DATE:
03-11-16
03-22-16
03-28-16
04-08-16

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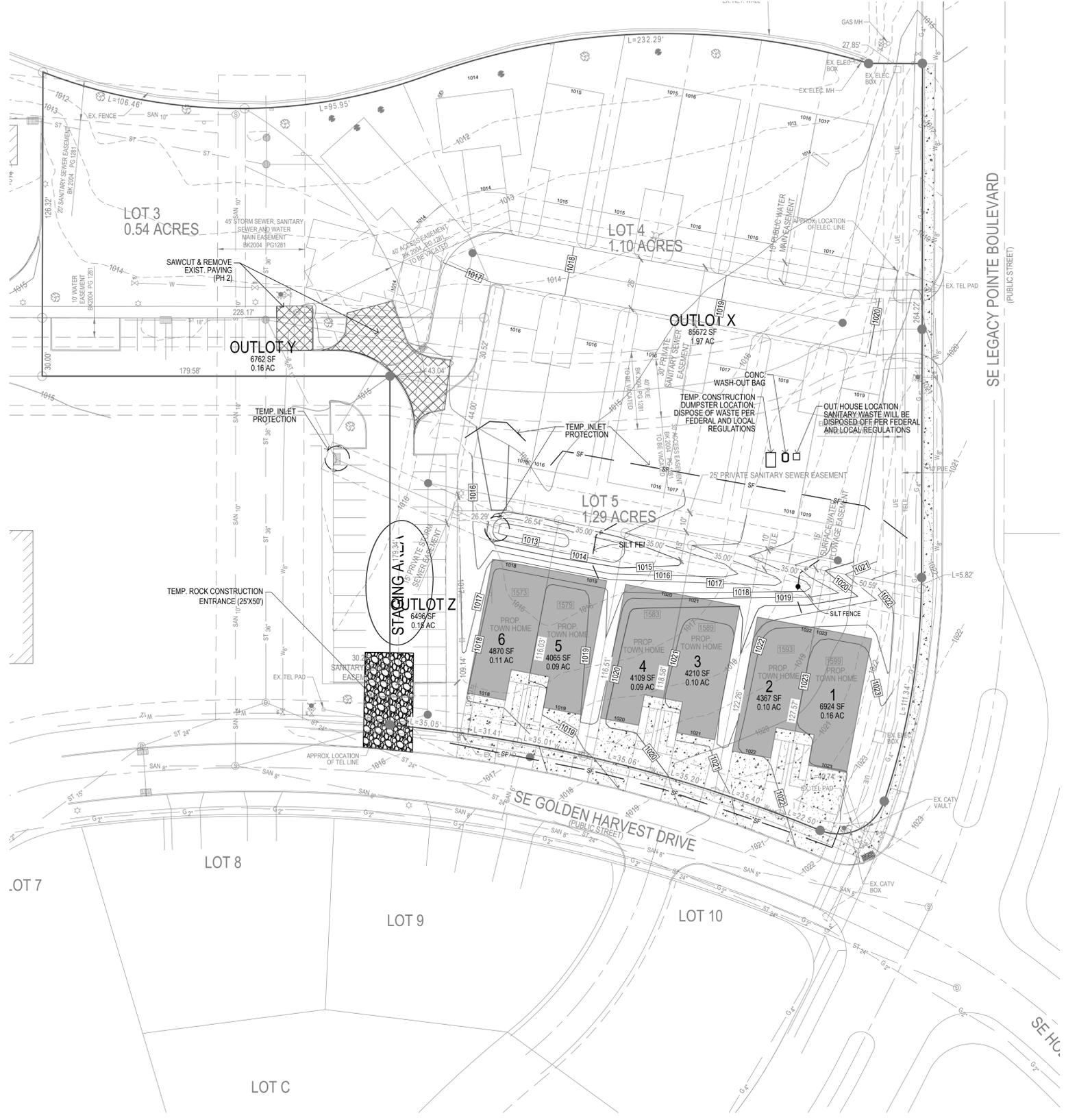
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STORM WATER POLLUTION PREVENTION PLAN



PROPERTY DESCRIPTION:
 LOTS 3, 4, AND 5, LEGACY POINTE AT WAUKEE PLAT 1, AN OFFICIAL PLAT, ALL INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.

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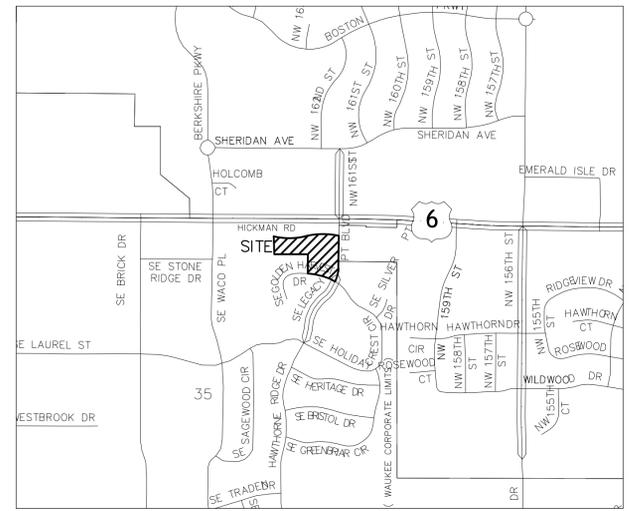
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 WAUKEE, IA 50263

OWNER:
 URBAN FAMILY INVESTMENT LLC
 4800 MILLS CIVIC PKWY.
 SUITE 205
 WEST DES MOINES, IA 50266

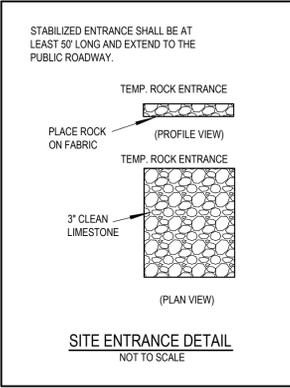
SITE AREA:
 2.93 ACRES

BENCHMARKS:
 OPERATING NUT ON HYDRANT
 ELEV. 1017.51
 OPERATING NUT ON HYDRANT
 ELEV. 1018.96



LEGEND:

- SF-SF-SF- SILT FENCE (TYP)
- - - 120 - - - EXISTING CONTOUR
- - - 120 - - - PROPOSED CONTOUR
- [Symbol] STABILIZED ENTRANCE 25'X50'-6" DEEP 2" CLEAN CRUSHED ROCK DRIVE ON GEOTEXTILE



EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH SUDAS DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

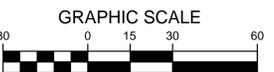
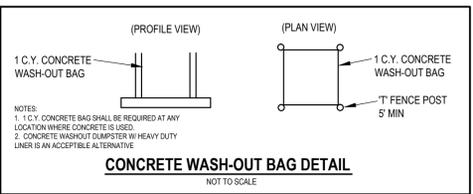
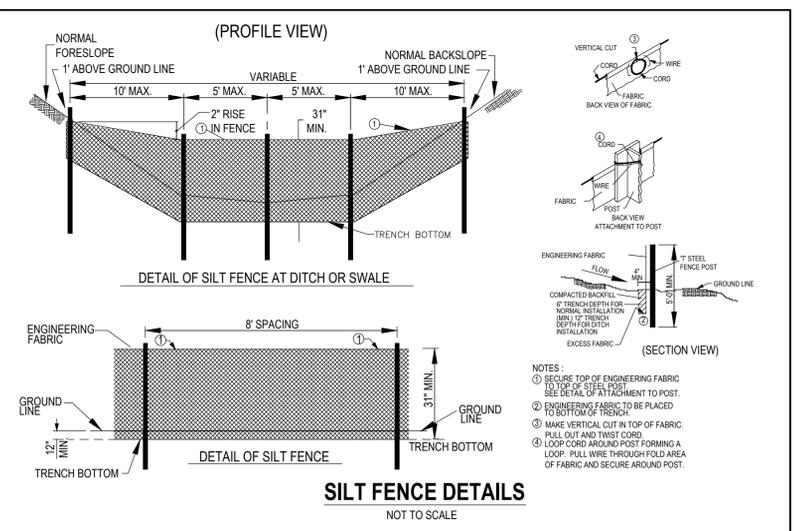
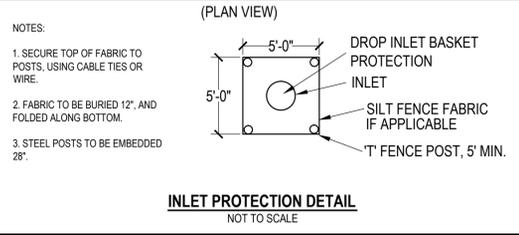
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

DISTURBED AREA = 0.9 ACRES (39,200 S.F.)

LEGEND:

- - - 120 - - - EXISTING CONTOUR
- - - 120 - - - PROPOSED CONTOUR
- SF- SILT FENCE
- SAN- SANITARY SEWER
- ST- STORM SEWER
- W- WATER LINE
- G- GAS LINE
- UE- UNDERGROUND ELECTRIC
- OE- OVERHEAD ELECTRIC
- TELE- TELEPHONE LINE
- F/O- FIBER OPTIC
- CATV- CABLE TV

- [Symbol] STORM MANHOLE
- [Symbol] CURB INTAKE
- [Symbol] SURFACE INTAKE
- [Symbol] FLARED END SECTION
- [Symbol] SANITARY MANHOLE
- [Symbol] CLEANOUT
- [Symbol] FIRE HYDRANT
- [Symbol] SPRINKLER
- [Symbol] IRRIGATION CONTROL VALVE
- [Symbol] WATER MANHOLE
- [Symbol] WELL
- [Symbol] WATER VALVE
- [Symbol] WATER SHUT OFF
- [Symbol] YARD HYDRANT
- [Symbol] ELECTRIC MANHOLE
- [Symbol] ELECTRIC METER
- [Symbol] ELECTRIC RISER
- [Symbol] ELECTRIC VAULT
- [Symbol] POWER POLE
- [Symbol] TRANSFORMER POLE
- [Symbol] LIGHT POLE
- [Symbol] ELECTRIC JUNCTION BOX
- [Symbol] ELECTRIC PANEL
- [Symbol] TRANSFORMER
- [Symbol] GROUND LIGHT
- [Symbol] GUY WIRE
- [Symbol] ELECTRIC HANDHOLE
- [Symbol] GAS METER
- [Symbol] GAS VALVE
- [Symbol] AIR CONDITIONING UNIT
- [Symbol] TELEPHONE RISER
- [Symbol] TELEPHONE VAULT
- [Symbol] TELEPHONE MANHOLE
- [Symbol] TRAFFIC SIGNAL MANHOLE
- [Symbol] FIBER OPTIC RISER
- [Symbol] FIBER OPTIC FAULT
- [Symbol] CABLE TV RISER
- [Symbol] SIGN



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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LEGACY POINTE AT WAUKEE PLAT 7
 WAUKEE, IOWA

REFERENCE NUMBER:
 DRAWN BY:
 GSA
 CHECKED BY:
 CJB
 REVISION DATE:
 03-11-16
 03-22-16
 03-28-16
 04-08-16
 PROJECT NUMBER:
 150593
 SHEET NUMBER:
 5 OF 5