

Exhibit A

INDI RUN TOWNHOMES

PLANNED DEVELOPMENT

CITY OF WAUKEE

APPROVED BY WAUKEE CITY COUNCIL ON _____

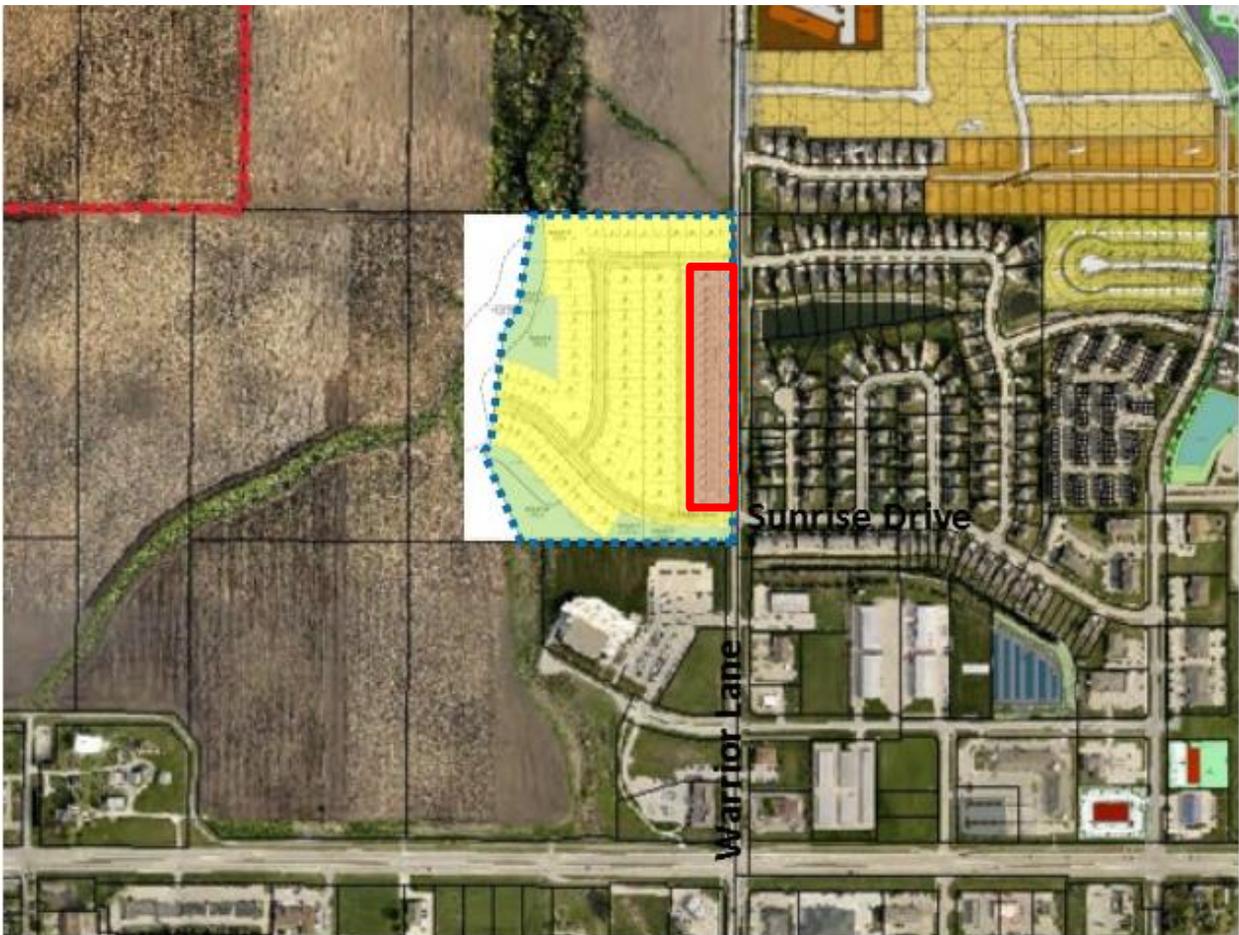


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INDI RUN TOWNHOMES Planned Development

1. Rezoning Request

- Exhibit B – Waukee PD Form
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- Exhibit G – Conceptual Architectural Elevations

EXHIBIT B | INDI RUN TOWNHOMES – PLANNED DEVELOPMENT

Waukee, Iowa

Planned Development Overlay District (PD)

Item 1 Purpose and Scope of District

- A. This Planned Development is intended to allow for the development of a detached townhome development in an environment that would not be possible under the standard R-4 (Row Dwelling and Townhome Dwelling) zoning district.
- B. The dwelling lots within the development are to be owned by individual home owners. Any common areas will be maintained by a homeowners association in similar practice to a townhome or row home development.
- C. The buildings within the complex are intended to be designed in a manner which complements the architecture of the surrounding neighborhood and landscape buffering will be provided in areas where existing uses may not be as compatible with the proposed development.

Item 2 Location, Size, Legal Description

- D. See Attached: Exhibit C – Vicinity Map
Exhibit D – Property Legal Description
- E. The proposed development is comprised of approximately 4.78 acres. The property is located on the west side of N Warrior Lane, north of the NE Sunrise Drive intersection.
- F. Standard R-2 (One & Two Family Residential District) single family lots are being proposed as part of the overall Indi Run development to the west of this planned development.

Item 3 Conceptual Development Plan

- A. See Attached: Exhibit E – Rezoning Map
Exhibit F – Conceptual Development Plan
- B. Exhibit F represents a conceptual development plan identifying the intended construction of 22 detached single family dwellings with access provided off of a public street to the west of the lots. No driveway access is permitted off of Warrior Lane.

Item 4 Building Design Standards

- A. Primary elevations (front elevation or main dwelling entrance side) should include brick or stone as an accent material. The accent material should wrap a minimum of 2 feet from the primary elevation onto a side elevation.
- B. Townhomes shall be consistent with the requirements of the City's Site Plan Ordinance.

Item 5 Proposed Bulk Regulations - Including Density Regulations, Setbacks, Maximum Heights, and Other Design Standards Specific to the Project

- A. Principal Permitted Uses for this area shall include townhome detached dwelling units.
- B. Minimum Lot Area: 4,500 square feet per housing unit lot
- C. Minimum Lot Frontage: 41 feet
- D. Minimum Floor Area: 1,300 finished square feet per unit
- E. Maximum Density: 5 housing units per gross acre
- F. Front Yard: 30 feet
- G. Side Yard: 5 feet
- H. Rear Yard: 30 feet
- I. Landscaping & Open Space:
 - a. All sites should conform to the City's Ordinance for Landscaping and Open Space with regard to the amount of open space to be provided within the subdivision in addition to the number and type of plantings needed within each lot.
 - b. Buffers: A 25 foot landscape buffer should be provided adjacent to Warrior Lane.
 - i. Buffer Plantings should be provided as prescribed by the City's Landscape and Open Space Ordinance.
- J. Parking:
 - a. A minimum of 2 spaces per dwelling unit.
 - b. A minimum of 2 garage spaces should be provided per dwelling unit.

EXHIBIT C | VICINITY SKETCH

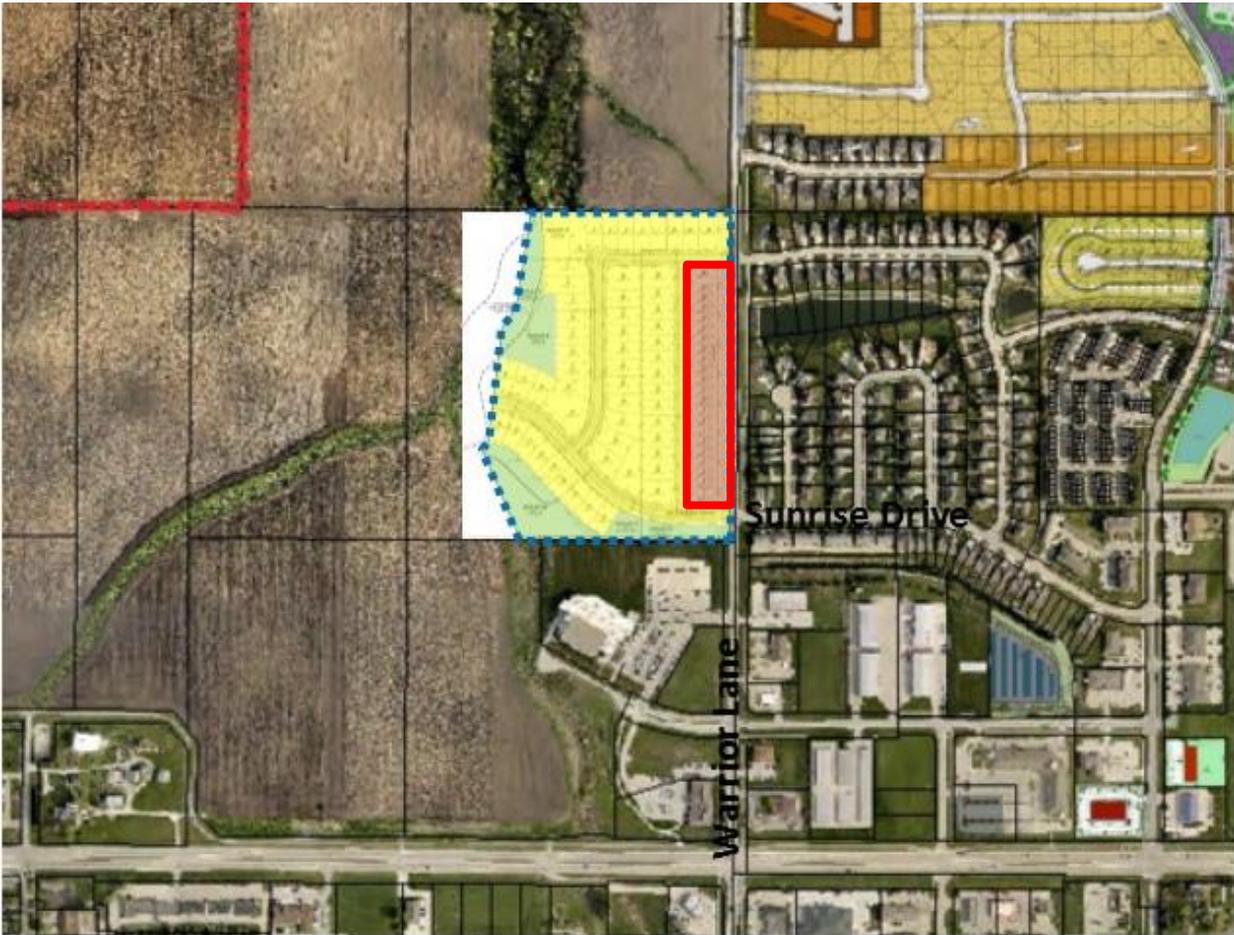
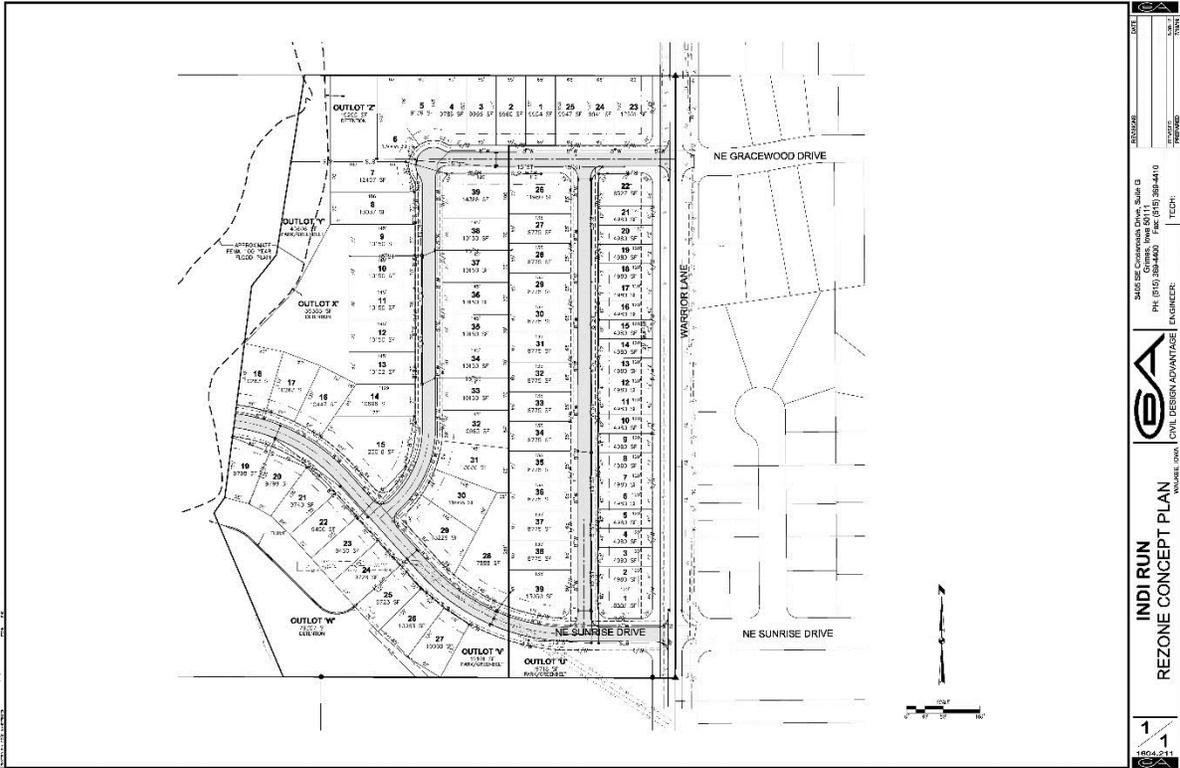


EXHIBIT D | PROPERTY LEGAL DESCRIPTION

A PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 28; THENCE SOUTH 00°00'40" WEST ALONG THE EAST LINE OF SAID SECTION 28, A DISTANCE OF 182.69 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°00'40" WEST ALONG SAID EAST LINE, 1041.67 FEET; THENCE NORTH 89°50'09" WEST, 199.94 FEET; THENCE NORTH 00°01'05" EAST, 1041.16 FEET; THENCE SOUTH 89°58'55" EAST, 199.81 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.78 ACRES

EXHIBIT F | CONCEPTUAL DEVELOPMENT PLAN



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 Corvallis, Iowa 52301
 PH: (319) 398-4400 Fax: (319) 398-4410
 WWW.EADesign.com
 CIVIL DESIGN ADVANTAGE ENGINEERS
 TITLE: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO.: _____
 SHEET NO.: _____
 TOTAL SHEETS: _____
INDI RUN
REZONE CONCEPT PLAN
 1/1
 1804-211

EXHIBIT G | CONCEPTUAL ARCHITECTURAL ELEVATIONS