

GENERAL NOTES

- This project shall be constructed in strict accordance with the 2009 edition of the "International Building Code", as adopted by the City of Waukee, Iowa, and the latest edition of "Municipal Code" of City of Wauke.
- This project shall also be constructed in accordance with all state and local codes, fire codes, ANSI, Life Safety Code, the Americans with Disabilities Act (ADA), and all federal codes and OSHA regulations.
- The Architect shall not assume responsibility nor incur liability for services not specifically agreed to, nor for any changes in construction, or other modifications, made subsequent to final design, or for services accomplished by any other person, firm or entity. The cost of additional design work or review time necessitated by the Contractor's selection of an alternate means of construction from that shown on the drawings shall be borne by the Contractor choosing the alternative.
- The Architect's Certification applies to a one (1) time use of the drawings to which it is attached. The Architect assumes no responsibility for any re-use of the drawings for more than the above stated structure at the stated address. The architect is not responsible for changes or alterations of any of his, or the Engineer's certified plans or other documentation.
- The Architect is not responsible for, nor is he certifying, the Civil Engineering, the HVAC design and layout, the Plumbing design, the Electrical design. Mechanical, Electrical and Plumbing layout shall be coordinated with the architectural drawings, by each desgn/build contractor.
- Floor line elevation and building location on the property shall be taken from the site survey drawings prepared by Associated Engineering Company of Iowa, 2917 Martin Luther King Jr. Parkway, Des Moines, Iowa 50310.
- The contractor shall be responsible for coordinating all closures of the project area with the owner.
- Provide and maintain for the duration of construction temporary barriers and partitions designed to prevent entry onto the work by the public. At completion of the work remove all temporary barriers and restore adjacent areas to pre-work condition.
- During demolition operations and the erection process the contractor shall be responsible for all required security or traffic control.
- The contractor shall use all means necessary to protect existing construction that is to remain from any form of damage. If items are removed to afford this protection, the contractor shall reinstall items in their original location and condition.
- From the commencement to the completion of the work, keep all parts of the site free from accumulation of water. Whenever existing construction is opened to the elements in preparation for new construction, the contractor shall be prepared to employ temporary means of closure to protect existing construction from weather damage. At the end of each work day, provide a weather tight closure. Contractor shall repair damage to existing and new construction caused from failure to provide adequate protection.
- The contractor shall provide all required temporary utilities/ facilities necessary for the proper completion of the work. The owner will pay all utility costs.
- Provide all material and labor required to perform rough carpentry work shown on the drawings and necessary for a complete installation. Lumber products shall be kiln-dried and comply with American lumber inspection agency conventions. Provide all lumber and fasteners required for wood nailers, curbs and cant strips. Treat all materials in contact with masonry, concrete, roofing materials, flashing, or waterproofing.
- Provide all flashing and sheet metal not specifically described in other areas of work but required to prevent penetration of water thru the exterior shell of the building. Metal flashings, scuppers and downspouts shall be a minimum 24 gauge, galvanized steel, commercial quality, extra smooth (or aluminum sheet of equal thickness and finish). Exposed surface to be primed and finished with a fluoropolymer coating of duranar 200, or equivalent, in a color to match the existing sheet metal flashing. Form and fasten all material in accordance with recommendations contained in the "Architectural Sheet Metal Manual" of SMACNA.
- Provide all sealants, joint backers, and pre-compressed foam sealers required to close joints in the construction and provide a weather tight and watertight finished project. Supply the sealant appropriate for the position of use, compatible with the adjacent materials. Products shall include silicone or polyurethane sealants for exterior joints or glazing.
- Provide fire extinguishers equal to '2a:10b:c' rating. locate as directed by the Fire Marshall and all pertinent codes and regulations.
- Telephone and data locations throughout the facility shall be as directed by the tenant or as shown on the drawing.
- During demolition operations and the construction process the contractor shall be responsible for all required security or traffic control.
- The contractor shall use all means necessary to protect existing construction that is to remain from any form of damage. If items are removed to afford this protection, the contractor shall reinstall items in their original location and condition.
- Demolition work shall proceed in a systematic manner using such methods as required to complete the work indicated on the drawings and required as preparation for the installation of new work. Protect all adjacent construction and areas from damage. Promptly remove all products of the demolition process and dispose of debris in a manner prescribed by governing authorities. Conduct demolition operations and debris removal to ensure minimal interference with pedestrian and vehicular traffic.

BUILDING COMPONENTS & SYSTEM DESIGN

- Mechanical Contractor shall design all HVAC equipment in accordance with all local, state and federal codes and regulations, including ASHRAE 90.1 - latest edition. Contractor shall be responsible for completing all required design information to show compliance with the State of Iowa Energy Code requirements. The Mechanical Contractor shall provide the Owner with a set of mechanical system drawings with all required equipment specifications and performance information. Contractor shall submit his design drawings and specifications to the appropriate governing agencies for approvals and shall obtain all required permits. Contractor shall, at project close-out, instruct the Owner's representatives in the operation and maintenance of all mechanical systems and shall provide all required warranty information for the Owner's records.
- Electrical Contractor shall design and complete electrical system, power and lighting layouts in accordance with all local, state and federal codes as well as the local Fire Marshall's regulations. The Electrical Contractor shall provide the Owner with a complete set of drawings delineating the proposed power and lighting systems, including all required specifications and performance criteria. The contractor shall submit his design drawings and specifications to the governing authorities for approvals and shall obtain all required permits. Contractor shall, at project close-out, instruct the Owner's representatives in the operation and maintenance of all electrical systems and shall provide all required warranty information for the Owner's records.
- Plumbing Contractor shall design and complete all required plumbing in accordance with all local, state, and federal codes and regulations. Contractor shall provide the Owner with a complete set of drawings delineating the system design, including all appropriate material and system specifications. Contractor shall submit the drawings to the appropriate governing authorities for approvals and shall obtain all required permits. At project close-out the Contractor shall instruct the Owner's representatives in the operation and maintenance of all systems and provide all pertinent warranty information for the Owner's records
- Electrical / data outlets on opposite sides of a wall shall be staggered a minimum of 1'-0" for sound attenuation purposes.
- All lighting (and appropriate switching) shall be located / relocated by electrical contractor, as directed by the owner and general contractor.

CODE REVIEW

Hickman West Industrial Park – Plat 4
1120 SE Westbrook Drive
Waukee, IA 50283

Occupancy:
Warehouse: S-1

Occupancy Separation:
None required.

Construction Type:
Type: II-B
Structural frame fire resistance: 0 hours.
Single story

Fire Protection:
Required – over 6,000 s.f. per building

Tenant Space Area:
19,970 s.f. S-1 occupancy

Occupant Load Factor:
Warehouse: 19,970 s.f./500 s.f. per occupant = 40 occupants (20 men; 20 women)

Exit Width Calculation (IBC Table 1005.3.2):
127 x 0.2 inch = 25.4 inches
Minimum clear width (door @ 90 deg.) of openings: 32 inches

Allowable Building Area (IBC Table 503):
S-1: 17,500 s.f. / story (x 300% (if sprinkled) = 52,500 s.f.)

Accessible Parking Requirements:
S-1: 1 stall / unit = 28 stalls
Total of 29 stalls provided: Per Table 1106.1 – 1 required accessible spot

Exit Access Travel Distance (IFC – Table 1016):
S-1 Occupancy:
Sprinkled: 400 ft.
Non-Sprinkled: 300 ft.

Fire Department Access Doors (IFC – 3206.1):
Access doors required each 100 L.F. of building exterior on required fire apparatus roads.

Corridors (IFC 1018):
Corridor Construction:
Sprinkled: No fire rating required.
Non-sprinkled: One - hour fire rating required.
Corridor Width (Table 1018.2):
Minimum width: 44 inches.

Occupant Loads and Required Number of Exits:
S-1 Occupancy:
1 thru 29 occupants: 1 exit required.
Greater than 29 occs.: 2 exits required.

Chapter 222 – Municipal Code, City of Waukee, Iowa:
Section 903.2: Fire Protection Sprinkler System Requirements:
S-1 Occupancy: System required for buildings over 6,000 s.f.:
Therefore Bldg. 1 (6,000 s.f.) does require a sprinkler system.
Therefore Bldg. 2 (11,970 s.f.) does require a sprinkler system.

ARCHITECTURAL DRAWINGS

SP1.01 SITE PLAN
A1.01 BUILDING 1 FLOOR PLAN
A1.02 BUILDING 2 FLOOR PLAN
A2.01 BUILDING 1 ELEVATIONS
A2.02 BUILDING 2 ELEVATIONS
A3.01 WALL SECTIONS

PROJECT:

- STORAGE SPACE
1120 SE WESTBROOK DRIVE
WAUKEE, IOWA

OWNER:

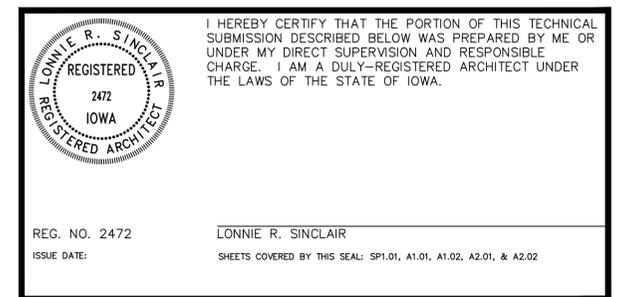
- GYM SPACE, LLC
CY PHILLIPS
1120 SE WESTBROOKE DRIVE
WAUKEE, IOWA 50263
515.422.4731

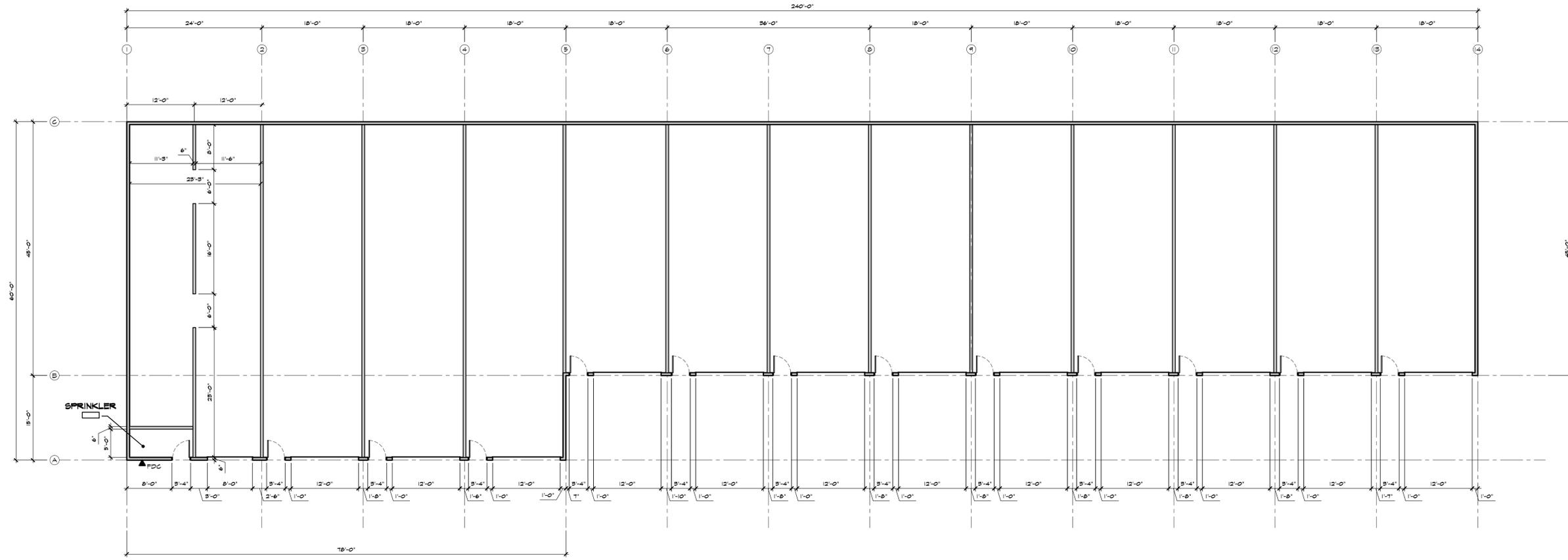
ARCHITECT:

- SINCLAIR ARCHITECTS, L.C.
LON SINCLAIR, AIA
3737 WOODLAND AVENUE, SUITE 640
WEST DES MOINES, IOWA 50266
515.224.6809

LEGAL DESCRIPTION:

- OUTLOT Y IN HICKMAN WEST INDUSTRIAL
PARK PLAT 4





FLOOR PLAN - BUILDING 2

SCALE: 3/32" = 1'-0"

SINCLAIR ARCHITECTS, L.C.

3737 WOODLAND AVENUE SUITE 640
WEST DES MOINES, IOWA 50266

PH: 515.224.6204

STORAGE SPACE, L.L.C.

STORAGE FACILITY
1120 WESTBROOK DRIVE

WAUKEE, IOWA

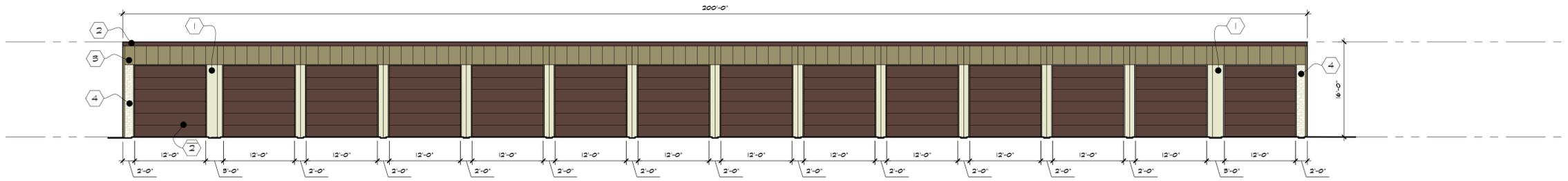
No.	Issue / Revision	Date

Project No.
2016.10

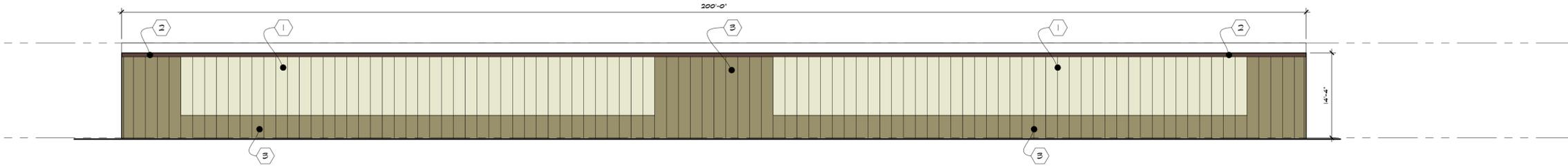
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A1.02

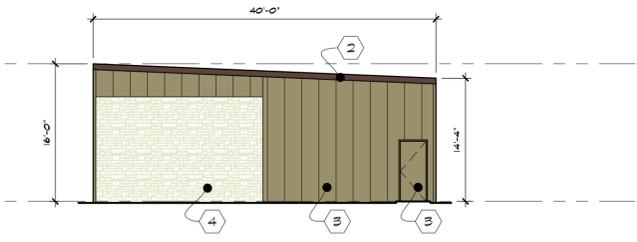
COLOR LEGEND:
 1. ALMOND
 2. MEDIUM BRONZE
 3. BROWNSTONE
 4. ALMOND (STONE)



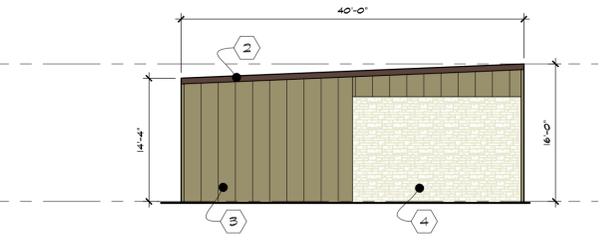
○ WEST BUILDING ELEVATION - BUILDING 1
 SCALE: 3/32" = 1'-0"



○ EAST BUILDING ELEVATION - BUILDING 1
 SCALE: 3/32" = 1'-0"



○ NORTH BUILDING ELEVATION - BUILDING 1
 SCALE: 3/32" = 1'-0"



○ SOUTH BUILDING ELEVATION - BUILDING 1
 SCALE: 3/32" = 1'-0"

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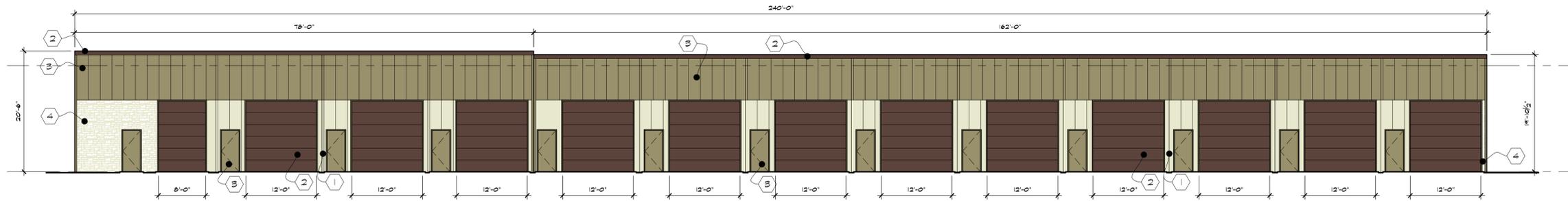
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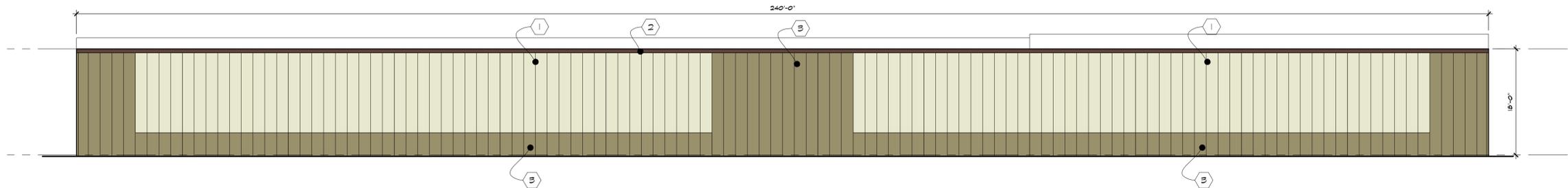
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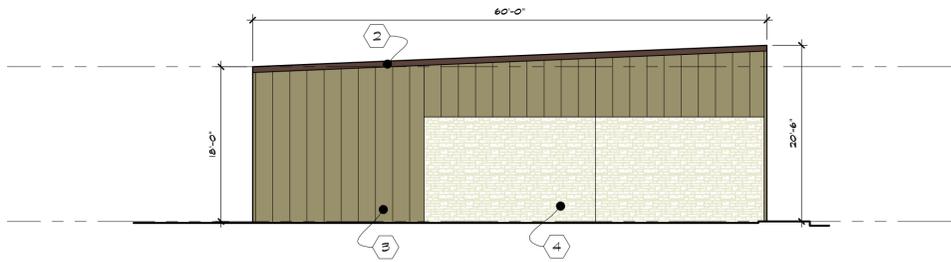
COLOR LEGEND:
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 2. MEDIUM BRONZE
 3. BROWNSTONE
 4. ALMOND (STONE)



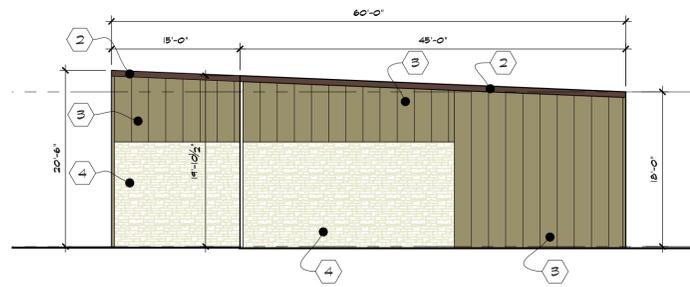
WEST BUILDING ELEVATION - BUILDING 2
 SCALE: 3/32" = 1'-0"



EAST BUILDING ELEVATION - BUILDING 2
 SCALE: 3/32" = 1'-0"



NORTH BUILDING ELEVATION - BUILDING 2
 SCALE: 3/32" = 1'-0"



SOUTH BUILDING ELEVATION - BUILDING 2
 SCALE: 3/32" = 1'-0"

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