



STAFF REPORT

TO: Planning and Zoning Commission

PREPARED BY: Brad Deets

RE: Alices L.C. (Knapp Properties)

DATE: May 24, 2016

GENERAL INFORMATION:

Applicant: Alices LC also known as Knapp Properties

Requested Action Rezoning to include Planned Development Overlay

Location and Size: Property is generally located north of Hickman Road and east of NE Westgate Drive and contains approximately 38.6 acres.

LAND USES AND ZONING:

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant - Undeveloped	Community Village	C-1B
North	Springs at Waukeee Multi-Family	Neighborhood Residential	R-3
South	Undeveloped	Community Village	C-1/PD-1
East	HyVee	Community Village	C-1B
West	Undeveloped	Community Village	C-1

BACKGROUND:

The subject property was originally rezoned as a part of the Crossing at Alice’s Road Development in 2006. The property was rezoned to C-1B Large Scale Commercial District which allows for retail and professional services within buildings that are not restricted by size. The initial development of the property consisted of the HyVee development just to the east of the property now under consideration for a Planned Development Overlay.

In 2013, the zoning for the overall larger property was changed to allow for residential development north of the large scale commercial district which had previously been zoned for commercial office development. The Prairie Crossing residential neighborhoods as well as the Springs of Waukeee development have been constructed to the north of the planned large scale commercial development over the past three years.

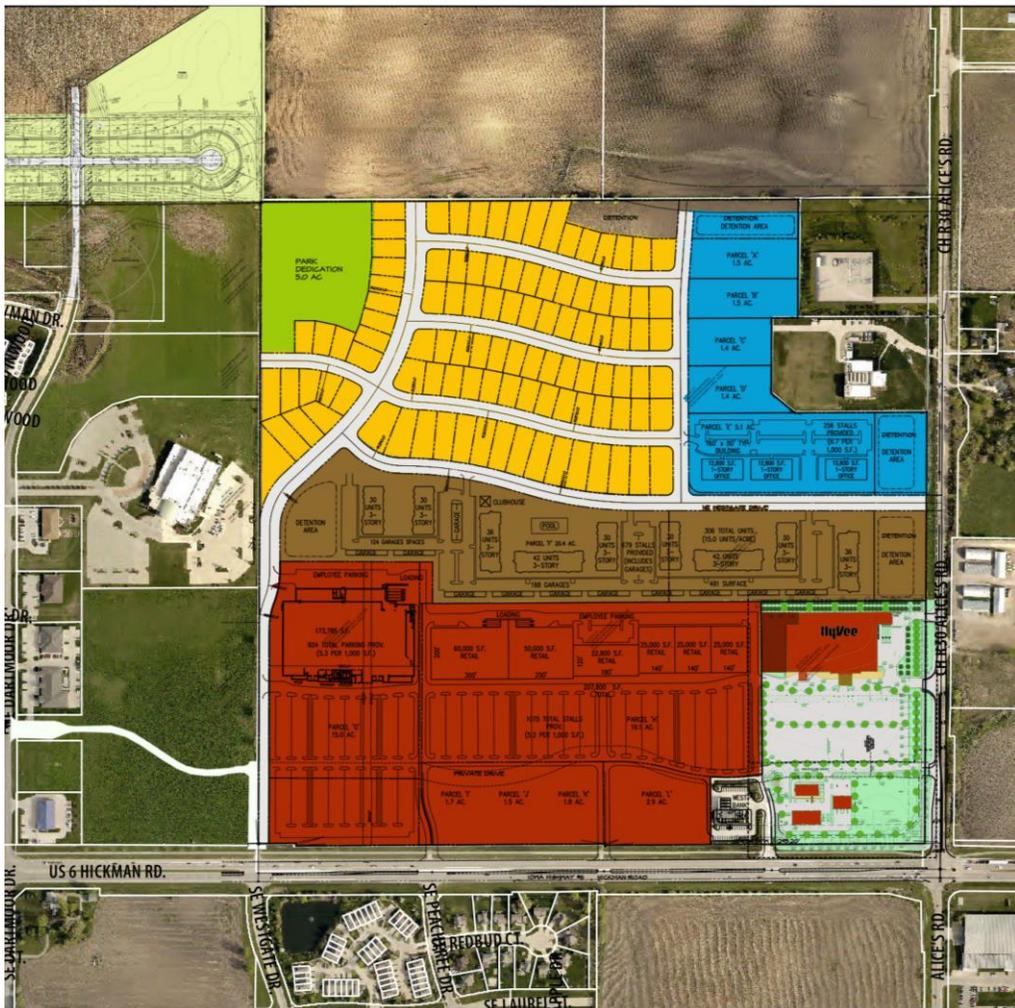
As a part of the 2013 zoning modification, the C-1B zoning classification was maintained as it was still anticipated at that time that there may be several large scale commercial users interested in this particular location. The retail market continues to change and the trend is that larger retailers are reducing the size of

their brick and mortar stores in favor of on line shopping and at home delivery. Although the developer continues to seek out large scale commercial users for the property, there is a concern that the amount of existing C-1B zoning on the property may be too much for today's changing market.

Recently there has been a trend in integrating commercial and residential development as a part of an overall larger development and going away from the traditional stacked zoning with clear distinctions between uses and in some cases even physical barriers between uses such as berms and fencing.

The applicant, Alices L.C. is requesting the creation of a Planned Development Overlay to allow for the potential of additional residential uses that would be integrated into the larger commercial development.

Notice regarding the rezoning request was mailed to the surrounding property owners on May 17, 2016. Additionally, signs regarding the rezoning date and time for Planning and Zoning Commission and City Council have been placed on the property.



2013 CONCEPT PLAN: THE AREA IN RED IDENTIFIED THE PROPOSED C-1B (PLANNED RETAIL COMMERCIAL AREA)



ABOVE: CONCEPT INCORPORATED AS A PART OF THE PROPOSED PLANNED DEVELOPMENT INCORPORATING RESIDENTIAL INTO THE OVERALL DEVELOPMENT

PROJECT DESCRIPTION:

The uses within the proposed Planned Development Overlay would continue to include all of the uses as permitted within the C-1B zoning district. The added uses that would be incorporated into the Planned Development would consist of the residential component. Although it is not clearly defined at the moment, any additional multi-family would be limited to a total of 12 acres of the remaining 38.6 acres.

As a part of the consideration for the flexibility of residential uses within the development, additional standards have been incorporated which will be required as a part of the overall design of the development. All residential units will need to be designed to be integrated and consistent with the surrounding residential and commercial development. Additionally, use of vinyl siding will not be permitted in favor of brick stone and cement product lap siding. Additional provisions have been included requiring architectural design to create a better pedestrian scale and reduce the perceived size of the buildings within the development.

STAFF RECOMMENDATION

Staff understands the ever changing commercial retail market and the need to continue to adapt to new trends and opportunities for development. The proposed Planned Development does not eliminate the potential for larger scale commercial development within the property. Rather, it provides for additional flexibility and options in terms of integrating residential and commercial components while still maintaining a high degree of character and design.

Staff would recommend approval of the proposed Planned Development Overlay.

CITY OF WAUKEE

Brad Deets, AICP

Development Services Director