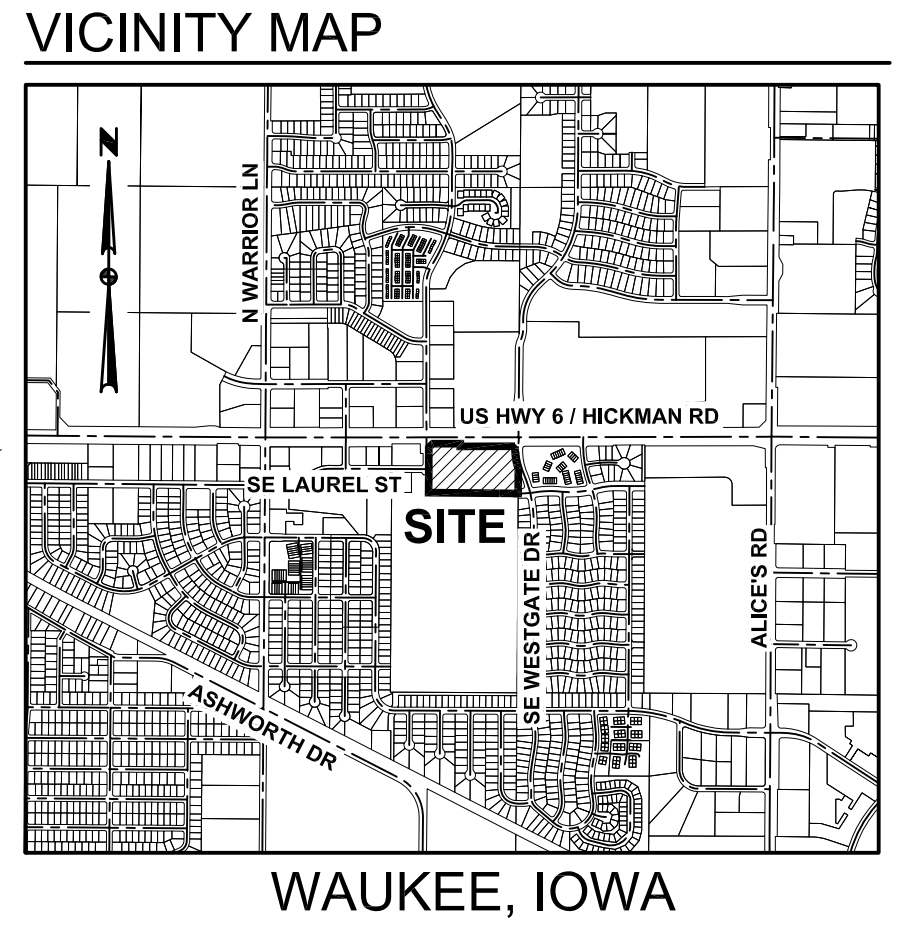
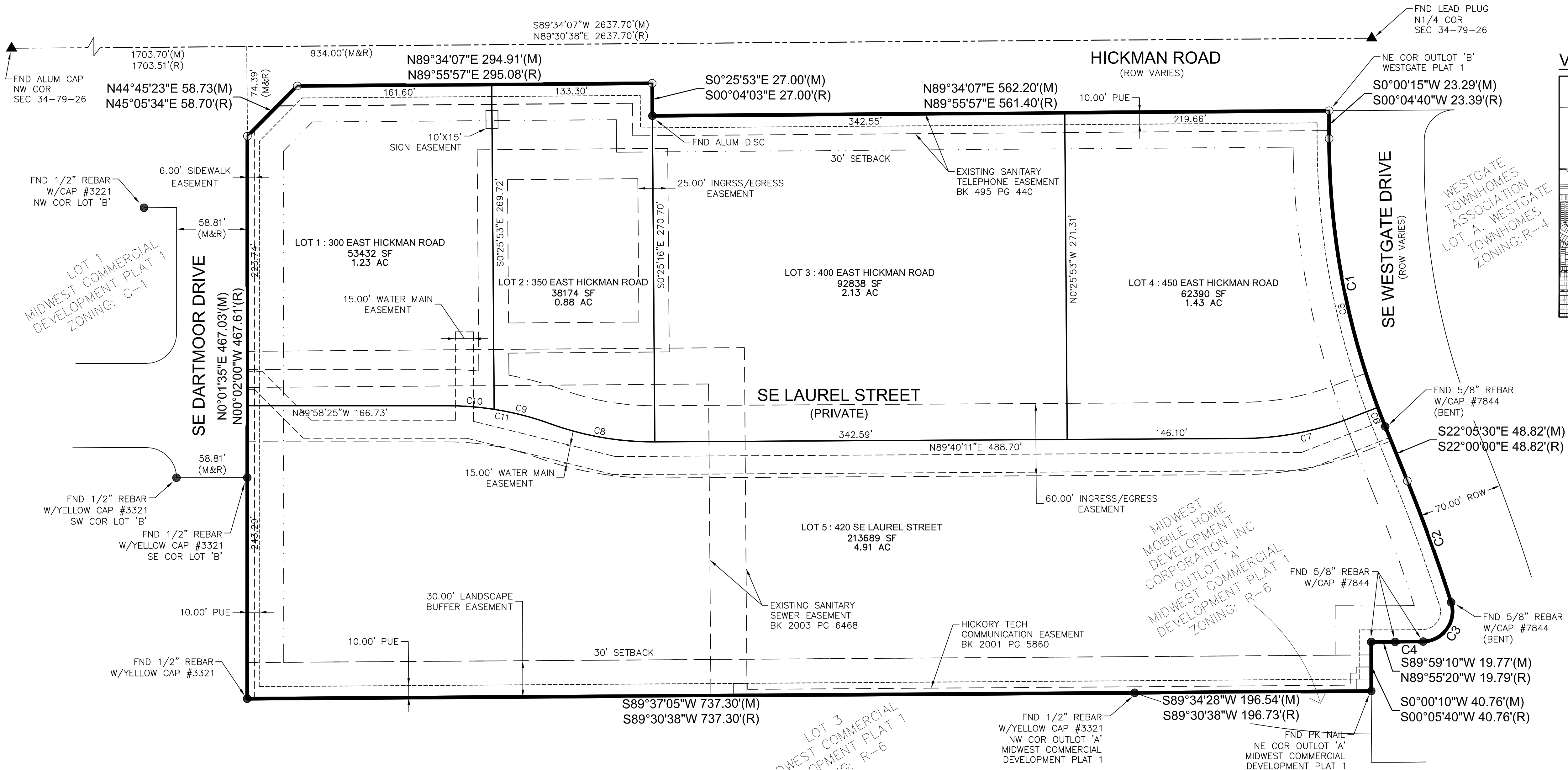


WAUKEE CENTRAL FINAL PLAT



ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: RYAN HARDISTY
PH: 515-369-4400

OWNER:

JOANN M. DAVID
14160 HARDING TRAIL
INDIANOLA, IA 50125

APPLICANT:

WAUKEE CENTRAL, LLC
1400 18TH STREET
SPIRIT LAKE, IA 51360

DATE OF SURVEY:

MAY 20, 2015

ZONING:

C-1 COMMUNITY AND HIGHWAY SERVICE
COMMERCIAL DISTRICT

BULK REGULATIONS:

SETBACKS:

FRONT: 30'-WHEN FRONTING ON THE RIGHT-OF-WAY OF A MAJOR THOROUGHFARE SHOWN ON THE OFFICIAL MAJOR STREET PLAN, THE FRONT YARD SHALL BE MEASURED FROM THE PROPOSED RIGHT-OF-WAY LINE

SIDE: NO MINIMUM SHALL APPLY, EXCEPT WHERE THE SIDE YARD IS ADJACENT TO AN 'R' DISTRICT, IN WHICH CASE THE YARD SHALL BE AT LEAST 15'

REAR: 30'

LEGAL DESCRIPTION:

OUTLOT 'B' OF WESTGATE PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.

AND

THE NORTH 542 FEET OF THE EAST 934 FEET OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 SECTION 34, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., WAUKEE, DALLAS COUNTY, IOWA, EXCEPT LAND DEEDED TO THE CITY OF WAUKEE AND THE STATE OF IOWA AND RECORDED IN BOOK 1998, PAGE 117 AND BOOK 1998, PAGE 118 AND EXCEPT THE WARRANTY DEED RECORDED IN BOOK 796, PAGE 298.

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

PROPERTY CONTAINS 10.57 ACRES (460,523 SQUARE FEET).

CURVE DATA:

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
(M) C1	22°05'46"	635.00'	244.89'	S11°02'37"E	243.37'
(R) C1	22°04'40"	635.00'	244.68'	S10°57'40"E	243.17'
(M) C2	4°29'59"	1365.00'	107.20'	S19°50'31"E	107.17'
(R) C2	4°29'59"	1365.00'	107.20'	S19°45'00"E	107.17'
(M) C3	106°10'00"	25.00'	46.32'	S35°29'29"W	39.98'
(R) C3	106°09'59"	25.00'	46.32'	S35°34'59"W	39.98'
(M) C4	1°24'41"	950.00'	23.40'	S89°16'49"W	23.40'
(R) C4	01°24'41"	950.00'	23.40'	S89°22'19"W	23.40'
C5	20°33'35"	635.00'	227.86'	N10°16'32"W	226.64'
C6	1°32'11"	635.00'	17.03'	N21°19'25"W	17.03'
C7	20°50'46"	250.00'	90.96'	S79°14'48"W	90.46'
C8	20°16'00"	250.00'	88.43'	S80°11'49"E	87.97'
C9	11°05'05"	250.00'	48.37'	S75°36'22"E	48.29'
C10	8°49'31"	250.00'	38.51'	S85°33'40"E	38.47'
C11	11°05'05"	250.00'	48.37'	N75°36'22"W	48.29'

NOTE

- INDIVIDUAL PROPERTY OWNERS MAY BE RESPONSIBLE FOR THE CONSTRUCTION OF SIDEWALKS ON THEIR PROPERTY. PRIOR TO CONSTRUCTION OF ANY SIDEWALKS REFER TO THE PROJECT CONSTRUCTION DRAWINGS AND CONFIRM WITH CITY THE LOCATION, WIDTH AND ELEVATION OF SIDEWALKS.
- ANY ELEVATIONS SHOWN ON THE FINAL PLAT WERE PROVIDED BY PROJECT ENGINEER AND ARE NOT CERTIFIED BY THIS SURVEYOR.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- SE LAUREL STREET IS TO BE A PRIVATELY OWNED AND MAINTAINED STREET. THE HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SE LAUREL STREET.

LEGEND:

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #16747 (UNLESS OTHERWISE NOTED)	●	○
PLATTED BEARING & DISTANCE	P	
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
CENTERLINE	---	
SECTION LINE	----	
EASEMENT LINE	----	

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

MICHAEL D. REED
16747
DATE _____

LICENSE RENEWAL DATE IS DECEMBER 31, 2016
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET

FILE: H:\2015\1603089\1603089-FINAL PLAT.DWG
COMMENT: 1603089-FINAL PLAT
PLOTTER: RYAN HARDISTY
PLOT DATE: 6/21/2016 2:09 PM
DRAWN BY: RYAN HARDISTY
CHECKED BY: WALTER MEYER

DATE	06/21/16	06/09/16	05/24/16
REVISIONS			
THIRD SUBMITTAL			
SECOND SUBMITTAL			
FIRST SUBMITTAL			

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: _____
ENGINEER: _____

WAUKEE CENTRAL
FINAL PLAT

1603.089