

# SITE PLAN

# AUTOZONE

## LOT 2, WAUKEE MARKETPLACE PLAT I

## WAUKEE, IOWA

930 E. HICKMAN ROAD

### Sheet List Table

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1	COVER
2	DIMENSION PLAN
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### OWNER/APPLICANT

AUTOZONE PARTS, INC.  
123 S. FRONT STREET  
MEMPHIS, TN 38103  
PH: 901-445-8464

### LEGAL DESCRIPTION

LOT 2, WAUKEE MARKET PLACE PLAT I, AN OFFICIAL PLAT, DALLAS COUNTY, IOWA AND CONTAINING 1.14 ACRES MORE OR LESS.

### GENERAL NOTES:

- CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION:
  - CITY OF WAUKEE ENGINEERING DEPARTMENT
  - HURD WAUKEE LLC
  - CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 515.276.4884
  - IOWA ONE-CALL
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO CONSTRUCT THIS PROJECT.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH DEVELOPMENT SERVICES ONE WEEK PRIOR TO COMMENCING CONSTRUCTION.
- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE AT CENTERLINE UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN, OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, BREAKAGE, INTERRUPTION OF SERVICE, ETC. OF EXISTING FACILITIES DOES OCCUR THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE INTERCEPTED DURING CONSTRUCTION AND RECORD LOCATION FOR AS-BUILT PLANS.
- CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER.
- IF THERE IS A DISCREPANCY BETWEEN THE DETAILED PLANS AND QUANTITIES SUMMARY PLEASE CONTACT CIVIL ENGINEERING CONSULTANTS, INC.
- ALL TRENCH BACKFILL SHALL BE 95% STANDARD PROCTOR DENSITY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.
- ANY PROPOSED CHANGES TO THE PLAN SET DURING CONSTRUCTION ARE TO RECEIVE WRITTEN APPROVAL FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT RECEIVED WRITTEN PERMISSION FROM THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT.
- ANY EXISTING FARM FENCE ON THE PROPERTY SHALL BE REMOVED AS PART OF THIS PROJECT.
- ALL FIRE HYDRANTS ARE TO HAVE STORZ FITTINGS INCLUDING ANY RELOCATED HYDRANTS.
- ANY TIE-INS TO EXISTING CITY UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL UTILITIES ARE TO BE TESTED TO THE CITY OF WAUKEE STANDARDS AND TO BE WITNESSED BY WAUKEE ENGINEERING DEPARTMENT STAFF.
- DEBRIS SPILLED IN THE RIGHT-OF-WAY AND STREETS SHALL BE CLEANED UP AT THE END OF EACH WORKING DAY AND PRIOR TO A RAIN EVENT.
- CONSTRUCTION STAKING SHALL BE UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR.
- PEDESTRIAN FACILITIES STAKING SHALL BE UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR.
- CONTRACTOR SHALL PROVIDE THE CITY OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT A 48 HOUR NOTICE PRIOR TO WEEKEND AND HOLIDAY WORK.
- ANY PROPOSED SIGNAGE WILL REQUIRE A PERMIT OF WAUKEE DEVELOPMENT SERVICES DEPARTMENT.
- ANY PROPOSED SIGNAGE SHALL REQUIRE A PERMIT FROM THE WAUKEE DEVELOPMENT SERVICES DEPARTMENT.

### GRADING NOTES

- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL MATCH URBAN STANDARD.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- ADDITIONAL SILT FENCING MAY BE REQUIRED BY THE CITY AFTER FIELD INSPECTION.
- THE GENERAL PERMIT #2 HOLDER SHALL PROVIDE THE CITY OF WAUKEE WITH A WRITTEN VERIFICATION THAT THE TOPSOIL REQUIREMENTS OF THE GENERAL PERMIT #2 AND SUDAS SECTION 2010 HAVE BEEN MET UPON COMPLETION OF THE PROJECT.



VICINITY SKETCH

### SETBACKS

C-1  
FRONT YARD = 30 FEET  
SIDE YARD = 0 FEET  
SIDE YARD = 15 FEET / IF ADJACENT TO R' DISTRICT  
REAR YARD = 30 FEET

### LANDSCAPING

REQUIRED: 1 TREE/1,000 SF (44,650 x 30% = 14,897  
1,000/14,897 SF=15 TREES

1 SHRUB/1,000 SF  
1,000/14,897 SF=15 SHRUBS

### EMPLOYEES

8-12 EMPLOYEES PER STORE

### PARKING

REQUIRED: 5 / 1,000 SF  
7,382/1,000 = 7.3 X 5 =37 SPACES

PROPOSED: 65 SPACES

### ZONING/LAND USE

C-1 COMMUNITY AND HIGHWAY SERVICE  
COMMERCIAL DISTRICT  
PD PLANNED DEVELOPMENT DISTRICT (OVERLAY)

### AREAS

GROSS SITE AREA = 44,650 SQ. FT. - 1.14 ACRES  
OPEN SPACE REQUIRED - 30%  
BUILDING 7,382 SQ. FT. = 14%  
PARKING/RD 24,243 SQ. FT. = 49%  
OPEN SPACE 10,033 SQ. FT. = 31%  
TOTAL 44,650 SQ. FT. = 100%

IMPERVIOUS 34,354 = 64%

### DISTURBED AREA

1.7 ACRES

### GENERAL LEGEND

PROPOSED	EXISTING
PLAT BOUNDARY	LOT LINE
SECTION LINE	SANITARY/STORM MANHOLE
LOT LINE	WATER VALVE
CENTERLINE	FIRE HYDRANT
EASEMENT LINE	STORM SEWER SINGLE INTAKE
FLARED END SECTION	STORM SEWER DOUBLE INTAKE
DRAIN BASIN OR SEDIMENT RISER	STORM SEWER ROUND INTAKE
DRAIN BASIN WITH SOLID GRATE	FLARED END SECTION
WATER VALVE	DECIDUOUS TREE
FIRE HYDRANT ASSEMBLY	CONIFEROUS TREE
BLOW-OFF HYDRANT	SHRUB
SCOUR STOP MAT	POWER POLE
TURF REINFORCEMENT MAT	STREET LIGHT
STORM SEWER WITH SIZE	GUY ANCHOR
WATER SEWER WITH SIZE	ELECTRIC TRANSFORMER
WATER SERVICE	GAS METER
PROPOSED CONTOUR	TELEPHONE RISER
SILT FENCE	SIGN
ADDRESS	UNDERGROUND TELEVISION
RIPRAP	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	SANITARY SEWER WITH SIZE
	STORM SEWER WITH SIZE
	WATER MAIN WITH SIZE
	EXISTING CONTOUR
	TREELINE
	B.S.L. BUILDING SETBACK LINE
	P.U.E. PUBLIC UTILITY EASEMENT
	M.O.E. MINIMUM OPENING ELEVATION

### PROJECT MANAGER

ED ARP  
PHONE: 515-276-4884  
EMAIL: ARP@CECLAC.COM

### BENCHMARK

CUT 'X' ON NORTHEAST BOLT ON BASE OF COKE CLOCK  
SOUTHEAST CORNER OF HIGHWAY #6 & ALICE'S ROAD.

ELEVATION-----1034.63

### CERTIFICATION

EDWARD H. ARP  
LANDSCAPE ARCHITECT  
NO. 250

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
EDWARD H. ARP, IOWA REG. NO. 250  
PAGES OR SHEETS COVERED BY THIS SEAL:  
ALL SHEETS



Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa, 50322  
515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com

DATE:	REVISIONS	COMMENTS
01-22-16	1	
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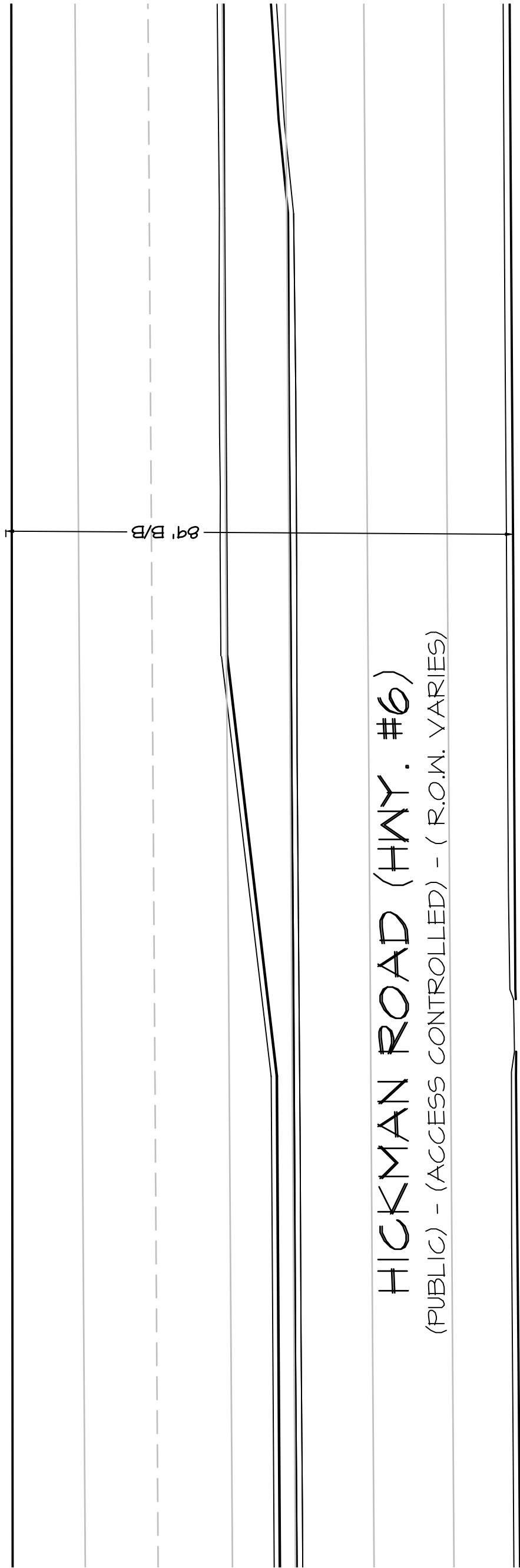
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**AUTOZONE**  
WAUKEE, IOWA

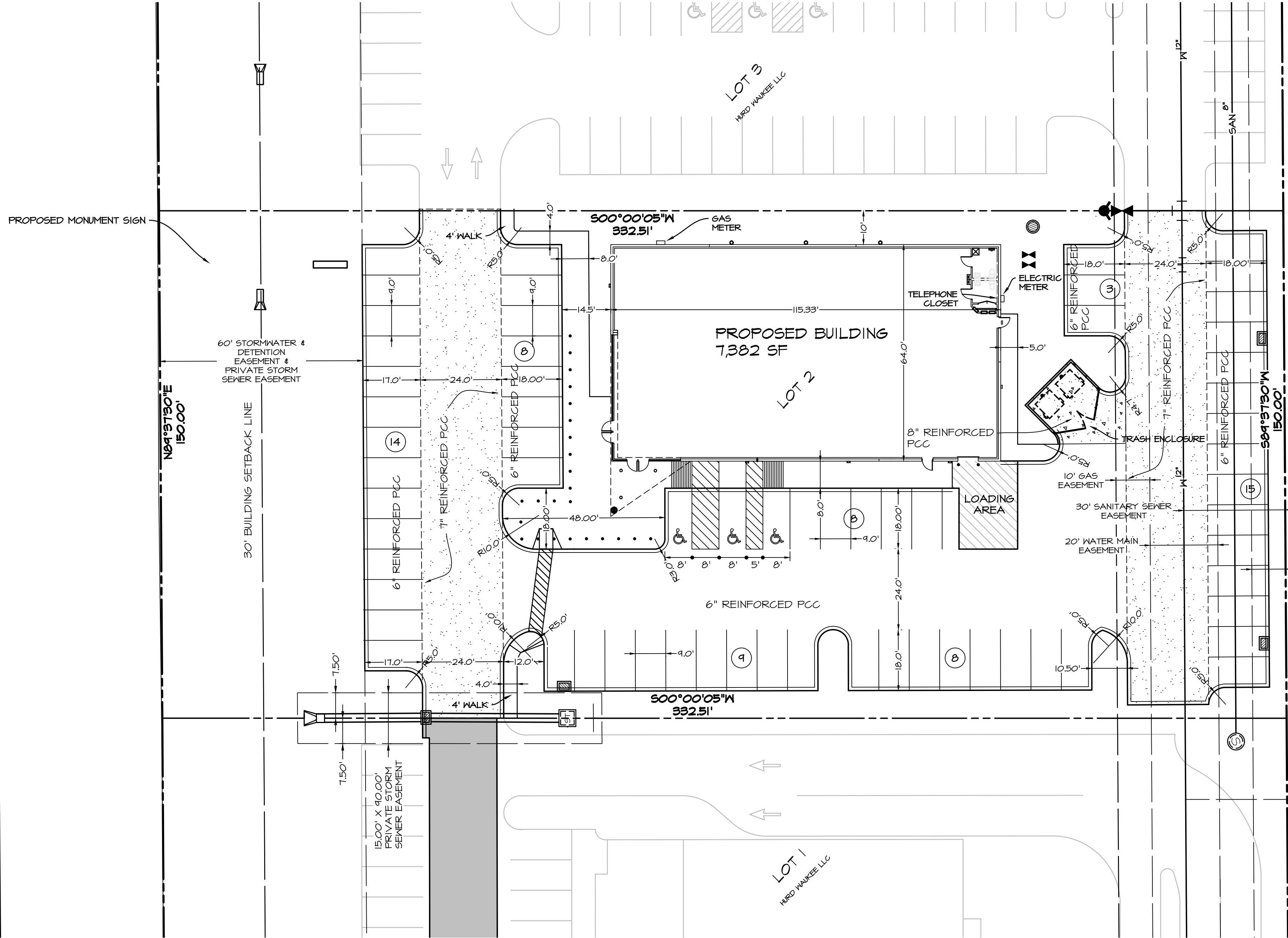
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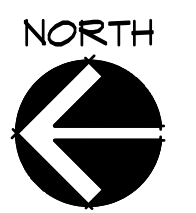
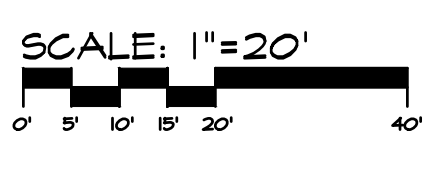
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HICKMAN ROAD (Hwy. #6)  
(PUBLIC) - (ACCESS CONTROLLED) - (R.O.W. VARIES)



PARCEL B31  
NE 1/4 SEC 34-19-126  
ROBERT E. ETEL LIVING TRUST  
1837 1/2 W. WALKER ST. S.W.  
DES MOINES, IA 50316



AUTOZONE  
WAUKEE, IOWA

DIMENSION PLAN

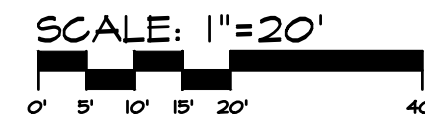
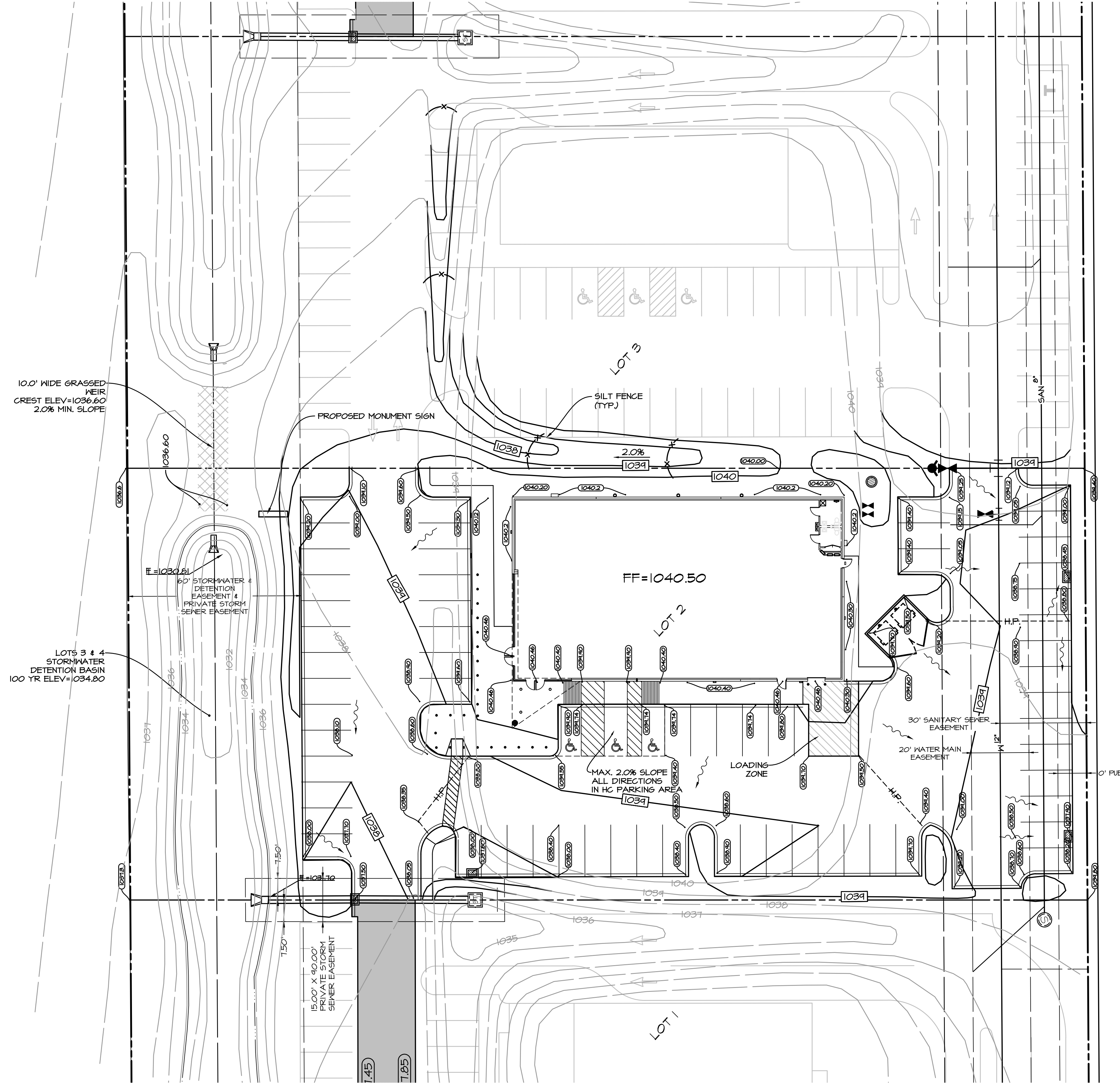
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DATE OF SURVEY:  
DESIGNED BY:  
DRAWN BY:

HICKMAN ROAD (HWY. #6)  
(PUBLIC) - (ACCESS CONTROLLED) - (R.O.W. VARIES)



AUTOZONE  
WAUKEE, IOWA

SHEET  
**3**  
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5

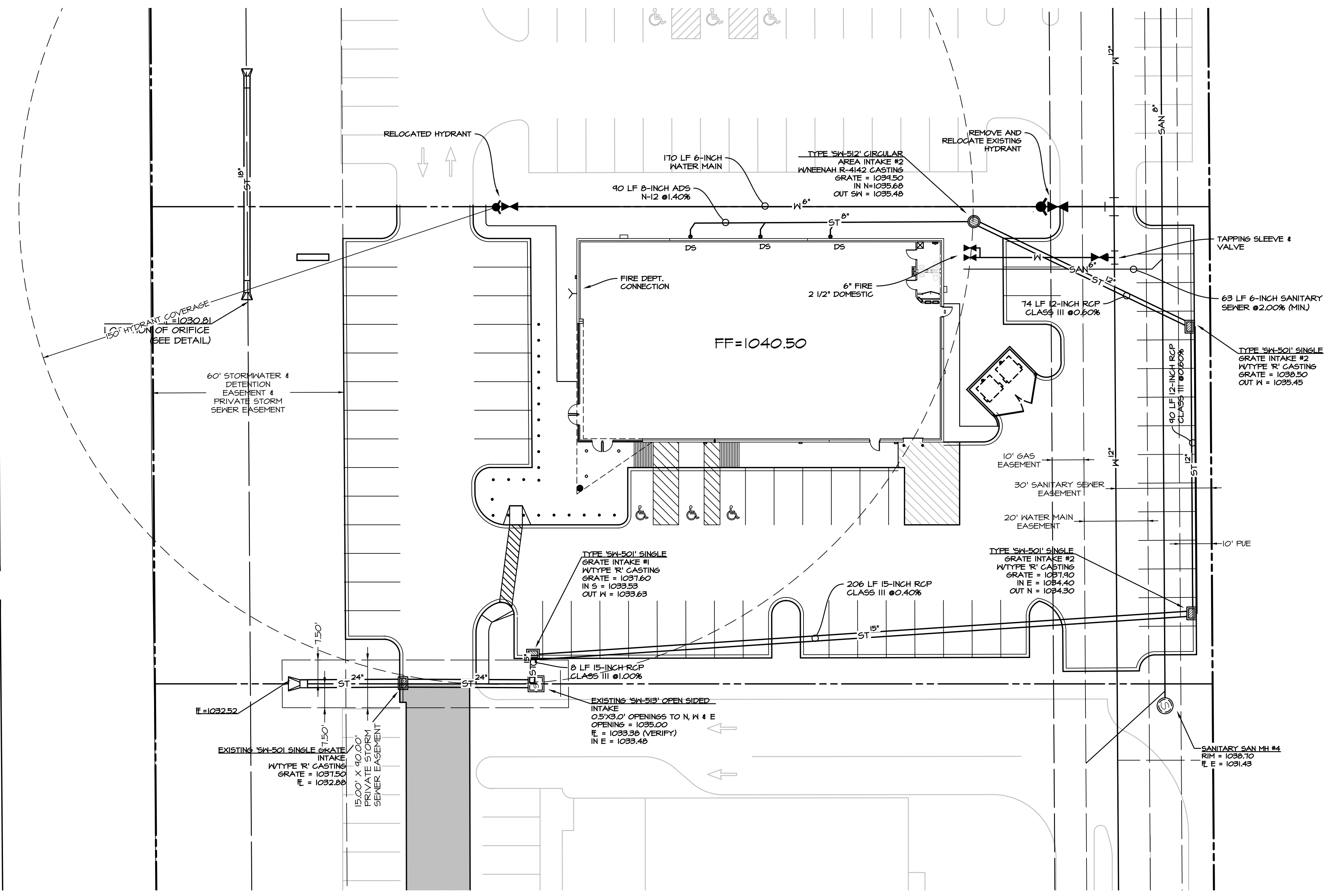
GRADING PLAN

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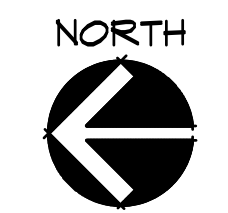
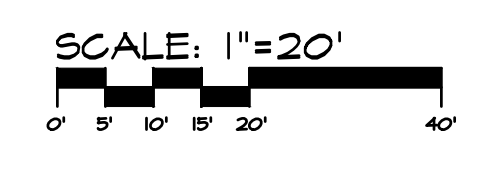
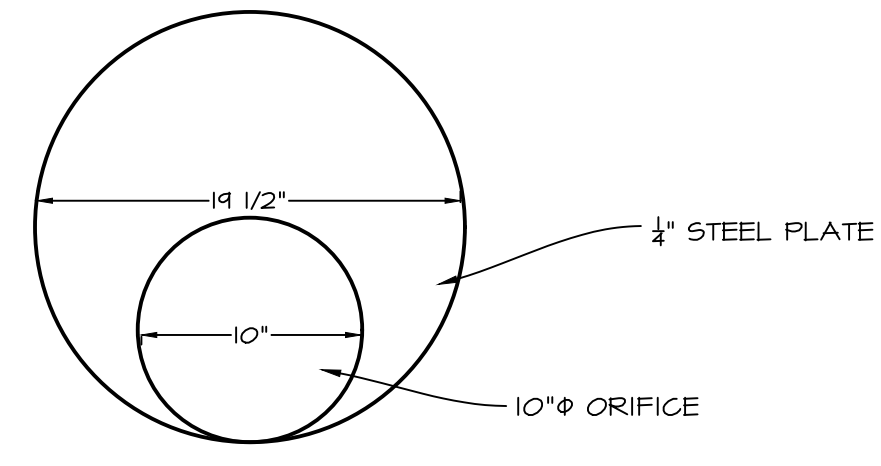


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**UTILITY NOTES**

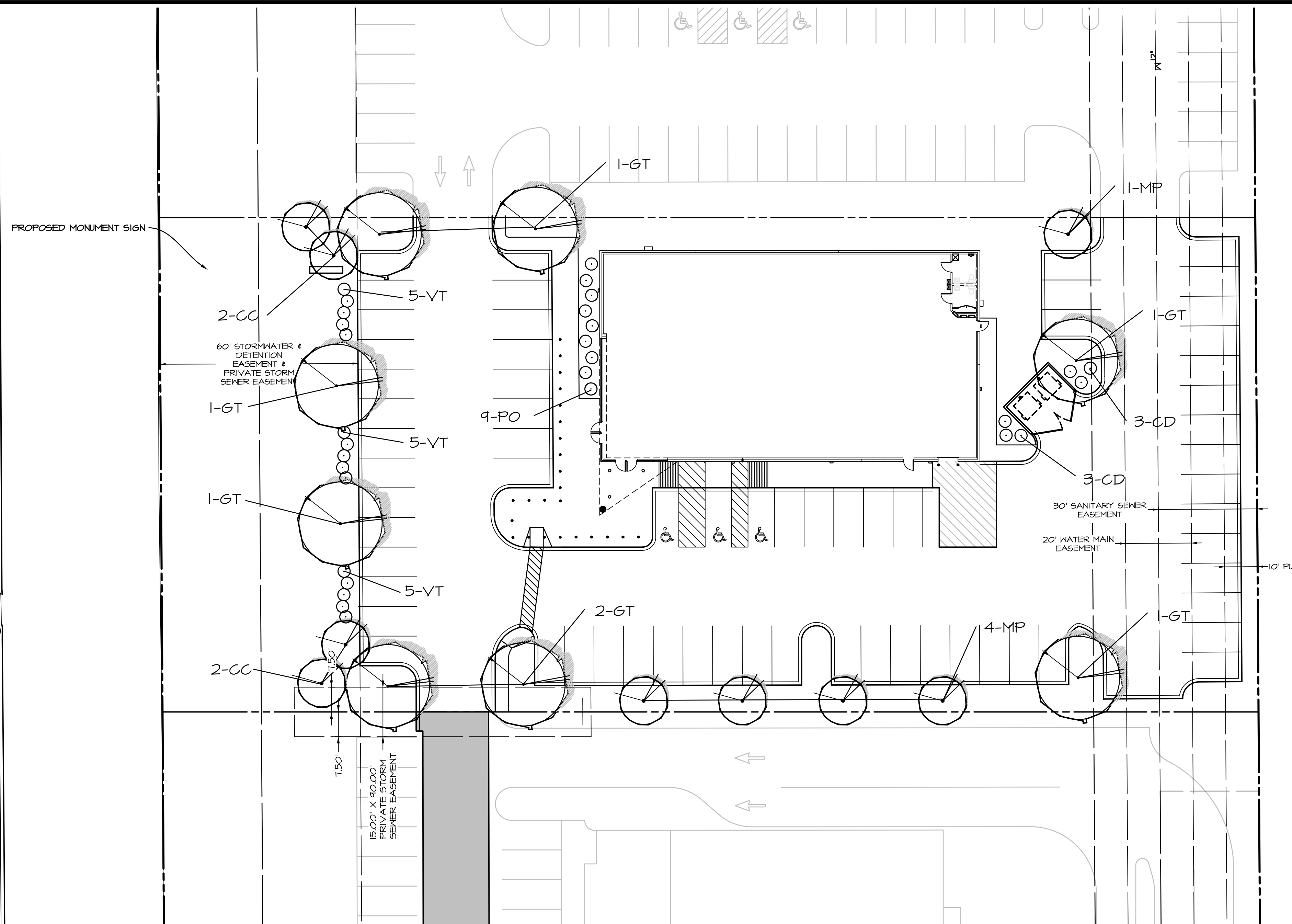
1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL IOWA ONE-CALL BEFORE STARTING WORK.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS.
5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
6. VERIFY WATER MAIN AND SANITARY SEWER SERVICE LOCATIONS WITH ARCHITECTURAL DRAWINGS AND MECHANICAL PLANS.
7. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WAUKEE STANDARD CONSTRUCTION SPECIFICATIONS.



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**PLANTING NOTES**

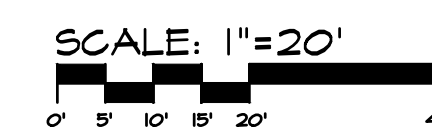
1. ALL SITEMARK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH WAUKEE STANDARD SPECIFICATIONS UNLESS SPECIFIED OTHERWISE.
2. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1986).
3. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNERS REPRESENTATIVE AFTER INSTALLATION.
4. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT AND THE CITY.
5. 2" TO 3" CALIFER DECIDUOUS TREES SHALL BE STAKED (2 STAKES) AND WRAPPED IMMEDIATELY AFTER PLANTING. ALL CONIFERS SHALL BE STAKED (2 STAKES).
6. ALL TREES, SHRUBS, BEDS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
7. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, DRAWING SHALL PREVAIL WHERE CONFLICT OCCURS.
8. ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT CIVIL ENGINEERING CONSULTANTS, INC. (TELEPHONE 515-276-4884).
9. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5' FROM R.O.W. AND CONIFEROUS TREES AT LEAST 10' FROM R.O.W.
10. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SHOWN ON DRAWING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP CORDS ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.

**12. SODDING**

- A. LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF GROUND IS FROZEN OR MUDDY.
- B. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD, DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SUBGRADE OR SOD DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE, ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE. WORK SIFTED SOIL OR FINE SAND INTO MINOR CRACKS BETWEEN PIECES OF SOD; REMOVE EXCESS TO AVOID SMOTHERING SOD AND ADJACENT GRASS.
  1. LAY SOD ACROSS ANGLE OF SLOPES EXCEEDING 1:3.
  2. ANCHOR SOD ON SLOPES EXCEEDING 1:6 WITH WOOD PEGS OR STEEL STAPLES SPACED AS RECOMMENDED BY SOD MANUFACTURER BUT NOT LESS THAN 2 ANCHORS PER SOD STRIP TO PREVENT SLIPPAGE.
  3. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1-1/2 INCHES BELOW SOD.
13. ISLANDS TO BE SODDED WITH MULCH RINGS AT TREE LOCATIONS PER DETAIL.
14. PLANTING SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE WAUKEE DEVELOPMENT SERVICES DEPARTMENT.
15. SOD ALL DISTURBED AREAS.

**PLANTING SCHEDULE**

GT	8	Gleditsia triacanthos 'skyline' Skyline Honeylocust	3" Cal.	B#B	See Plan
CC	4	Crataegus crusgalli 'cockspur' Thornless Hawthorn	2" Cal.	Cont.	See Plan
MP	5	Morus species Pralinefire Crabapple	2" Cal	Cont.	See Plan
CD	6	Coryopteris divaricata 'Snow Fairy' Variegated Blue Mist Spirea	#2	Cont.	See Plan
PO	4	Physocarpus opulifolius 'Padanas' Lemon Candy Golden Ninebark	#2	Cont.	See Plan
VT	15	Viburnum trilobum American Cranberry Bush Viburnum	#2	Cont.	See Plan



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WAUKEE, IOWA  
LANDSCAPE PLAN

SHEET  
OF 5  
A100